



सूची क्र.2

दुय्यम निबंधक : सह.दु.नि.वसई 4

दस्त क्रमांक : 10462/2023

नोंदणी :

Regn:63m

गावाचे नाव : पेल्हार

विनियमाचा प्रकार	गहाणखत
मोबदला	59000000
वाजारभाव(भाडेपट्टयाचा मूल्यपट्टाकार आकारणी नोंदणी पट्टेदार मूद्र करणे)	0
भू-मापन, पॉट्रिस्मा व क्रमांक(असल्यास)	1) पालिकेचे नाव:पालघर इतर वर्णन : इतर माहिती: गांव मौजे पेल्हार,तालुका वसई,जिल्हा पालघर येथील सर्वे नं. 371/अ/14/12,एकूण क्षेत्र 1552.51 चौ. मी. म्हणजेच 16705 चौ. फूट,व व्यावर वांधण्यात येणारी औद्योगिक इमारत एकूण क्षेत्र 2765.72 चौ. मी. विल्टअप हि मिळकत चे गहाणखत.((Survey Number : 371/अ/14/12 ;))
क्षेत्रफळ	1) 15.5251 आर.चौ.मीटर
आकारणी किंवा जुडी देण्यात असेल तेव्हा.	1): नाव:-गजेंद्रदेव एम. पांडेय वय:-48; पत्ता:-प्लॉट नं:-, माळा नं:-, इमारतीचे नाव: डी - 501, माई प्रभात कॉम्प्लेक्स , ब्लॉक नं:-, रोड नं: प्ले ग्राउंड जवळ, वसंत नगरी , वसई ईस्ट , महाराष्ट्र, THANE. पिन कोड:-401208 पॅन नं:-AKAPP8375M
दस्तऐवज करून देणा-या/नेहून ठेवणा-या काराचे नाव किंवा दिवाणी न्यायालयाचा मनामा किंवा आदेश असल्यास,प्रतिवादिचे नाव व पत्ता.	2): नाव:-मनोरमा जी. पांडेय वय:-45; पत्ता:-प्लॉट नं:-, माळा नं:-, इमारतीचे नाव: डी - 501, माई प्रभात कॉम्प्लेक्स , ब्लॉक नं:-, रोड नं: प्ले ग्राउंड जवळ, वसंत नगरी , वसई ईस्ट , महाराष्ट्र, ठाणे. पिन कोड:-401208 पॅन नं:-AQEPP3661J
	3): नाव:-कर्ज घेणार - (वॉरोअर) मे कलरंट्स केम प्रायव्हेट लिमिटेड तर्फे डायरेक्टर गजेंद्रदेव एम. पांडेय वय:-; पत्ता:-प्लॉट नं:-, माळा नं:-, इमारतीचे नाव: डी - 501, माई प्रभात कॉम्प्लेक्स , ब्लॉक नं:-, रोड नं: प्ले ग्राउंड जवळ, वसंत नगरी , वसई ईस्ट , महाराष्ट्र, THANE. पिन कोड:-401208 पॅन नं:-AAFCC0233R
	4): नाव:-कर्ज घेणार - (वॉरोअर) मे कलरंट्स केम प्रायव्हेट लिमिटेड तर्फे डायरेक्टर मनोरमा जी. पांडेय वय:-; पत्ता:-प्लॉट नं:-, माळा नं:-, इमारतीचे नाव: डी - 501, माई प्रभात कॉम्प्लेक्स , ब्लॉक नं:-, रोड नं: प्ले ग्राउंड जवळ, वसंत नगरी , वसई ईस्ट , महाराष्ट्र, THANE. पिन कोड:-401208 पॅन नं:-AAFCC0233R
दस्तऐवज करून घेणा-या शकाराचे व दिवाणी न्यायालयाचा कुमनामा किंवा अमल्यास,प्रतिवादिचे नाव व पत्ता	1): नाव:-कर्ज देणार - दि कॉम्मांस कॉ-ऑप बँक लिमिटेड तर्फे अधिकृत स्वाक्षरीकर्ता योगिता वझरकर वय:-; पत्ता:-प्लॉट नं:-, माळा नं:-, इमारतीचे नाव: मौर्या शॉपींग सेंटर, ब्लॉक नं:-, रोड नं: सर्वे नं 16, हि नं 10,11, नवघर, अंबाडी रोड, वसई प, ता वसई, जि पालघर, महाराष्ट्र, THANE. पिन कोड:-401202 पॅन नं:-AAAAT0742K
दस्तऐवज करून दिल्याचा दिनांक	22/06/2023
दस्त नोंदणी केल्याचा दिनांक	22/06/2023
अनुक्रमांक,खंड व पृष्ठ	10462/2023
वाजारभावाप्रमाणे मुद्रांक शुल्क	177000
वाजारभावाप्रमाणे नोंदणी शुल्क	15000
शेरा	

सह. दुय्यम निबंधक वर्ग-२
वसई क्र. ४

मोक्तनामाठी विचारात घेत नव्हा तपशील:-

मुल्यांकनाची आवश्यकता नाही कारण दस्तप्रकारनुसार आवश्यक नाही कारणाने तपशील दस्तप्रकारनुसार आवश्यक नाही

क शुल्क आकारताना निव घेतलेला अनुच्छेद

Any other case



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१ / ६३

० महाराष्ट्र शासन - नोंदणी व मुद्रांक विभाग ०

मुल्यांकन अहवाल सन २०२३-२४

१. दस्ताचा प्रकार ० गहाणखत अनुच्छेद क्रमांक ० 40(b)
२. सादरकर्त्याचे नाव ० व्ही कोरमोस को. ग्रोप. लॅक लिमिटेड
३. तालुका ० पन्हाई ४. गावाचे नाव ० पेल्हार
५. नगर भुमापन क्रमांक/ सि.टी.एस.नं. / सर्वे नं. ० 371/अ/14/12
६. मुल्यदर विभाग (झोन) ० _____ ७. उपविभाग - दर ० -
८. मिळकतीचा प्रकार ० सदनिका / औद्योगिक / दुकान / खुली जमीन
९. दस्तात नमूद केलेल्या मिळकतीचे क्षेत्रफळ ० 16705 चौ.फुट खुली जमीन
2765.72 चौ. मी. बिल्टअप
१०. मजला क्रमांक ० ---
११. आंधकाम वर्षे ० --- घसारा ० ---
१२. आंधकामाचा प्रकार ० - आरक्षीक्षी / इतरपक्के / अर्धे पक्के / कच्चे
१३. निर्धारित केलेले आजारमूल्य ० ---
१४. दस्तामध्ये दर्शविलेला मोलदला (कर्ज) ० Rs. 5,90,00,000/-
१५. देय मुद्रांक शुल्क ० Rs. 1,77,000/-
१६. भरलेले मुद्रांक शुल्क ० Rs. 1,77,000/-
१७. देय नोंदणी फी ० Rs. 15,000/-

लिपीक


सह-दुय्यंम निबंधक पन्हाई - ४



CHALLAN
MTR Form Number-6



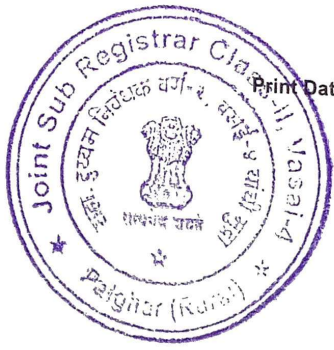
MH003973048202324E

BARCODE



Department Inspector General Of Registration		Date 21/06/2023 14:39:49	Form ID 40(07)
Stamp Duty		Payer Details	
Registration Fee		वसई ४	
Registration Name VSI1_VASAI NO 1 SUB REGISTRAR		दस्ता क्र 908E21 २०२३	
Registration Location PALGHAR		3 1E3	
Registration Period 2023-2024 One Time		Full Name THE COSMOS CO OP BANK LTD	
Account Head Details		Flat/Block No. SURVEY NO. 371 A, OPEN LAND 16705 SQ. FT.	
046401 Stamp Duty	Amount In Rs. 177000.00	Premises/Building	
063301 Registration Fee	15000.00	Road/Street PELHAR	
		Area/Locality VASAI EAST	
		Town/City/District	
		PIN 4 0 1 2 0 8	
		Remarks (If Any)	
		PAN2=AKAPP8375M--SecondPartyName=GAJENDRADEO	
		MOOLCHANDRA PANDEY AND OTHER TWO~	
		Amount In	One Lakh Ninety Two Thousand Rupees Only
		Words	
Payment Details STATE BANK OF INDIA		FOR USE IN RECEIVING BANK	
Cheque-DD Details		Bank CIN	Ref. No. 00040572023062148428 CKX2492101
Account No./DD No.		Bank Date	RBI Date 21/06/2023-14:24:40 Not Verified with RBI
Branch of Bank		Bank-Branch	STATE BANK OF INDIA
Branch of Branch		Scroll No. , Date	Not Verified with Scroll
Registration ID :		Mobile No. : 8956365670	

This challan is valid for document to be registered in Sub Registrar office only. Not valid for unregistered document.
चलान केवल दुर्यम निबंधक कार्यालयात नोंदणी करावयाच्या दस्तासाठी लागू आहे. नोंदणी न करावयाच्या दस्तासाठी सदर चलन लागू



DEED OF MORTGAGE

THIS DEED of Mortgage is made at Vasai on the 22nd day of June 2023.

BETWEEN

1. **MR. GAJENDRADEO PANDEY**, Age- adult,

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दस्त क्र. 908E23023
4/63 Occupation- Business,



2. **MRS. MANORAMA PANDEY**, Age- adult, Occupation- Business

Both are residing at D- 501, Sai Prabhat Complex, Near Play Ground Vasant Nagari Vasai, Palghar-401208.

3. **M/S COLORANTS CHEM PVT LTD.** A company incorporated under Indian Companies Act, 1956 having its registered office at 107, Kahan Prerana, Inside Rajprabha Industrial Estate, Opp- Golani Complex, Waliv Road, Vasai (E) 401208.

Through its Authorised Directors authorized vide Board resolution dtd. 14.06.2023.

Mr. Gajendradeo Pandey, age- adult, occupation- Business, residing at D- 501, Sai Prabhat Complex, Near Play Ground Vasant Nagari Vasai, Palghar-401208 And

Mrs. Manorama Pandey, age- adult, occupation- Business, residing at D- 501, Sai Prabhat Complex, Near Play Ground Vasant Nagari Vasai, Palghar-401208

Hereinafter called and referred to as THE BORROWER & C-BORROWERS/ MORTGAGORS

(which expression unless it be repugnant to the context shall mean and include all present/future directors of the Borrower company, their successors in office, legal heirs of the Borrower & co-borrower, their executors, administrators and assignees, etc.) THE PARTY OF THE ONE PART.

[Handwritten signature]

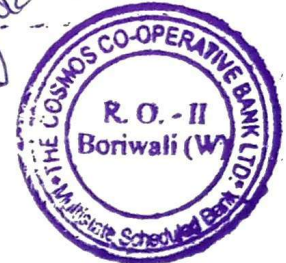


For Cosmos Co-operative Bank Ltd.

[Handwritten signature] Authorised Officer

COLORANTS CHEM PVT. LTD.
[Handwritten signature]
DIRECTOR

COLORANTS CHEM PVT. LTD.
[Handwritten signature]
DIRECTOR



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AND

THE COSMOS CO-OPERATIVE BANK LTD. A multi state co. op. Bank registered under the Multi-state Co-op. Societies Act and governed by Banking Regulation Act, having its Head Office at Cosmos Tower Plot No. 6 ICS Colony University Road Ganesh Khind, Shivaji Nagar, Pune- 411 007 and its branch at **Vasai West through its Authorized officer Mrs. Yogita Wazarkar.**

Hereinafter called and referred to as **THE BANK/THE MORTGAGEE** (Which expression shall unless it be repugnant to the context and meaning thereof shall mean and include its administrators, executors, directors, assignees etc.) **PARTY OF THE SECOND PART.**

WHEREAS Mr. Gajendradeo Pandey and Mrs. Manorama Pandey i.e. Borrower & Co- Borrower / Mortgagors are owners of the property being land adm.16705 sq.ft.(1552.51 sq.mtrs.) out of land bearing Survey no/ Gut no. 371/A/14/12 (erstwhile Plot nos. 371, 371/1/1, 371/2, 371/3, S.No. 371 Plot nos. 1 to 10) forming part of Old S. Nos. 110,112, 113,114,116,117,120,121,300,301 lying, being and situate at village Pelhar, Taluka Vasai Dist. Palghar. 7/12 extracts of said property are attached herewith and marked as Annexure A. Said property is more particularly described in the Schedule written hereunder.

And Whereas the Borrower/ Mortgagor company is engaged in the business of Manufacturing of broad range of dyes, Aluminium dyes, Polymer soluble dyes etc. The Borrower & Co- Borrower / Mortgagors herein are directors of said Borrower / Mortgagor Company.

AND WHEREAS the Borrower/ Mortgagor company herein with an intent to construct factory on said property owned by Borrower & Co- Borrower / Mortgagors herein entered into Letter of Intent dtd. 21.06.2023 for letting the land along with the construction thereon on Leave & License basis. Copy of said LOI is attached herewith and marked as Annexure B.

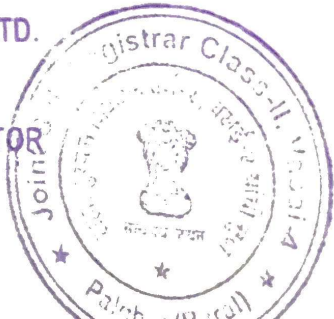
COLORANTS CHEM

Gajendradeo Pandey
DIRECTOR

Manorama Pandey
For Cosmos Co-operative

COLORANTS CHEM PVT. LTD.

Manorama
DIRECTOR



AND WHEREAS the
obtained Commencement
proposed Industrial
Commencement ce
marked as Annexure

Subsequent to these
Mortgagor Company
construction of fac
create charge of said

AND WHEREAS the
title and interest i
30.01.2019 duly re

AND WHEREAS the
Mortgagors to the
marketable and fre
acquisition and let
said property with

AND WHEREAS ta
Co- Borrower / Mo
property alongwith
Bank has issued sa
23 dtd. 12.06.2023
(Rupees Five Crore)
conditions of said

AND WHEREAS the
Mortgagor Compan
agreed to abide and
and the bank paid

COLORANTS CHEM
Gajendradeo Pandey
DIRECTOR

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६/६३

AND WHEREAS the Borrower & Co- Borrower / Mortgagors have already obtained Commencement certificate and approved plans for construction of proposed Industrial Building on aforementioned land. Copies of said Commencement certificate and Approved plans are attached herewith and marked as Annexure C & D respectively.

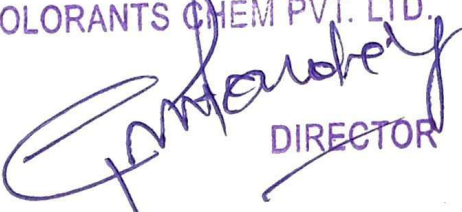
Subsequent to these facts, Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company herein approached to the Bank for availing Term Loan for construction of factory premises on aforementioned property and agreed to create charge of said Term Loan on the property described hereunder.

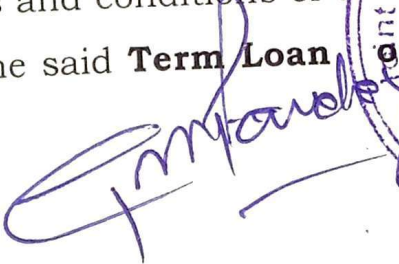
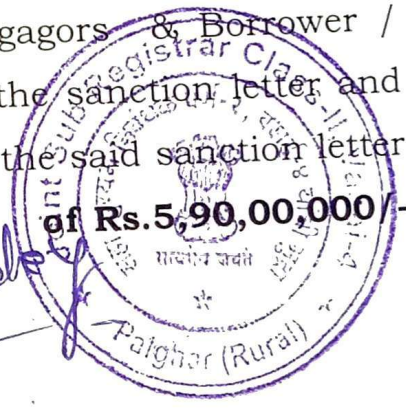
AND WHEREAS the Borrower & Co- Borrower / Mortgagors have acquired right, title and interest in the said property by virtue of Deed of Conveyance dtd. 30.01.2019 duly registered at sr. no. VASAI 1-975-2019.

AND WHEREAS the Mortgagors herein have represented the Bank that title of Mortgagors to the said property which is offered as security is clean, clear, marketable and free from any type of encumbrances, charges, lien, notice of acquisition and letter of attachment and the Mortgagors have right to mortgage said property with the bank

AND WHEREAS taking into consideration the bonafide need of the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company and immoveable property alongwith proposed construction offered as security, said Mortgagee Bank has issued sanction letter bearing no. Ref. No. COS/BVI /RE II/36/2022-23 dtd. 12.06.2023 and hereby sanctioned **Term Loan of Rs.5,90,00,000/- (Rupees Five Crores Ninety Lakhs only) subject to compliance of terms & conditions of said sanction letters.**

AND WHEREAS the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company herein accepted & acknowledged the sanction letter and agreed to abide and observe all terms and conditions of the said sanction letter and the bank paid & or to be paid the said **Term Loan of Rs.5,90,00,000/-**

COLORANTS CHEM PVT. LTD.

DIRECTOR
मनोरमा
DIRECTOR

For Cosmos Co-operative Bank Ltd.

Authorised Officer



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(Rupees Five Crores Ninety Lakhs only) to them subject to execution of this Deed and accordingly the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company herein by executing this Deed in favour of the Bank mortgaged the property as security to above said **Term Loan** of **Rs.5,90,00,000/- (Rupees Five Crores Ninety Lakhs only)**, its repayment together with interest and other monies and as such subject to the execution of this Deed of Mortgage on execution of demand pro-note and other documents and upon condition of its repayment with interest and other moneys and by observing all other terms and conditions and the bye-laws and the rules of the said loan/facilities and the Directives of the RBI and /or the resolution passed by the Board of Directors and the Bank relating to the aforesaid loans/facilities and transaction and upon the terms and conditions stated herein below.

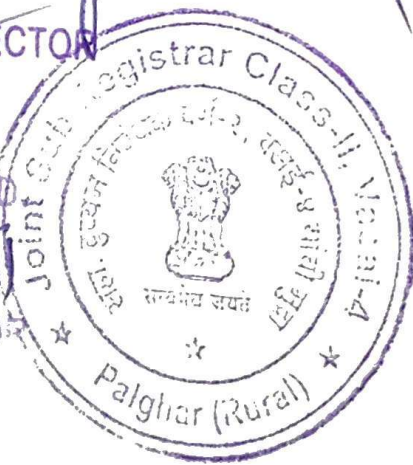
NOW THIS INDENTURE WITNESSETH AND IT IS HEREBY MUTUALLY AGREED BY AND BETWEEN THE PARTIES HERETO AS FOLLOWS:

1. The recitals appearing hereinabove shall always be integral part of this Deed and shall be accordingly binding on the parties herein.
2. In pursuance of the above representations and agreements and in consideration of the Mortgagee having granted or agreed to grant **Term Loan** of **Rs.5,90,00,000/- (Rupees Five Crores Ninety Lakhs only)**, on such terms and conditions as may be stipulated by the Mortgagee from time to time, Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company being owner hereby transfers interest in the scheduled property by way of mortgage to the Mortgagee as a security for repayment of the amounts so advanced with interest thereon **@9.25% per annum**, and/or at such other rate as may be fixed by the Bank as per the guidelines of Reserve Bank of India issued from time to time and upon and subject to the following terms, covenants and conditions.
3. The Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company hereby covenant with the bank that they shall make the repayment of the said Loan together with interest thereon as stipulated herein below:-

COLORANTS CHEM PVT. LTD.

DIRECTOR

मंगारमा
DIRECTOR



For Cosmos Co-operative Bank Ltd

मंगारमा

Authorized Officer



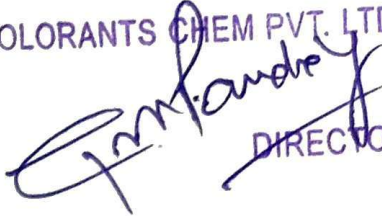
Term Loan of Rs.5,90,00,000/- (Rupees Five Crores Ninety Lakhs Only) 2/2023
(1) Rate of Interest - @9.25% p.a. as per present credit rating E 1 E3
(2) Repayment Period: - 84 months (including 8 months moratorium period)
(3) Monthly Installment : Rs. 10,28,693/-

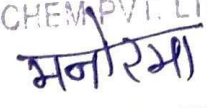
4. THE Mortgagors hereby declare that they absolute owners of said property and there is no encumbrance or charge of any nature existing over the said property and they have the power, to mortgage the said property and that all taxes, rents and dues payable on the said property are paid upto date and there is no attachment or revenue recovery proceedings pending in respect of the said property.

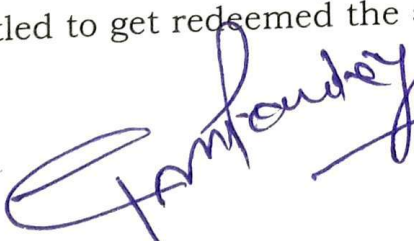
5. THE BORROWER & CO- BORROWER / MORTGAGORS & BORROWER / MORTGAGOR COMPANY HEREBY COVENANTS WITH THE MORTGAGEE AS FOLLOWS:

a) That the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company shall not so long as the Mortgage debt is outstanding and not paid, encumber or charge the said property or any part thereof without the consent in writing of the Mortgagee, which the Mortgagee shall be entitled to refuse or to grant without assigning any reason therefor.

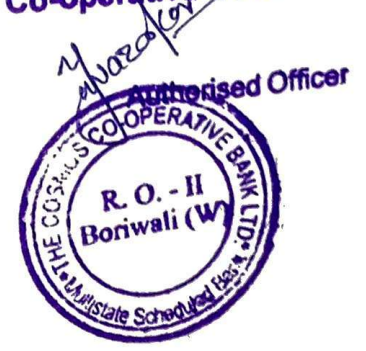
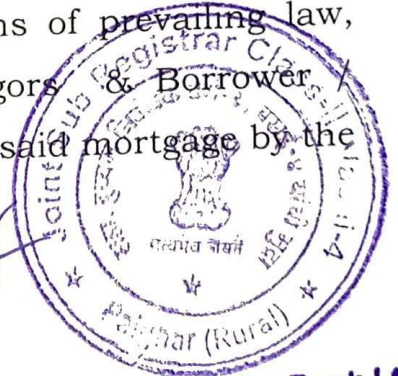
b) The Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company hereby state and declare that in case of the said Loan with the interest and the expenses is not paid within the time as agreed hereinabove in the form and in the manner as stated in this Indenture and/or any other agreement executed by the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company and/or if Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company fail to pay any agreed installments in terms of sanction letter and loan agreements executed by them in favour of the Mortgagee; it shall be lawful for the Mortgagee to enforce this mortgage as per provisions of prevailing law, Provided that the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company shall be entitled to get redeemed the said mortgage by the

COLORANTS CHEM PVT. LTD.

DIRECTOR

COLORANTS CHEM PVT. LTD.

DIRECTOR


For Cosmos Co-operative Bank Ltd.





वसई-४
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90/63

payment of the mortgage debt inclusive of interest even on or before the time provided for the repayment of the loan amount.

c) That the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company shall pay interest with monthly rests as may be stipulated by the Mortgagee from time to time.

d) That the Mortgagors shall pay regularly all taxes, rents and dues payable to the Government or local authorities levied on the said property.

e) That the Mortgagors shall be personally liable for repayment of the Mortgage debt in spite of the security given by this deed.

f) That this security / mortgage shall be a continuing security for the balance from time to time due by the Borrower company to the Bank on the said account and the said account is not be considered as closed for the purpose of this security and the security not to be considered exhausted by reason of the said account being brought to the credit at any time or from time to time or of its being drawn upon to the full extent and afterwards brought to credit. The charge of the Bank on the mortgaged security i.e. on said property shall continue unaffected until the said Loan is paid in full.

g) The Mortgagee shall not be required to make or continue any of the loans otherwise than at the mortgagee's absolute discretion.

h) The Mortgagors shall at all times keep the mortgaged property, insured with an insurance company approved and suggested by the Mortgagee against loss or damage by fire, earthquake and other risks as may be required by the mortgagee and shall deliver to the mortgagee all such policies. It shall also be lawful for but not obligatory upon the mortgagee to insure and keep insured the mortgaged property, by debiting the Borrower's account. The proceeds of such insurance shall at the option of the mortgagee either be applied towards replacement of the mortgaged property or towards the satisfaction of the mortgages dues hereunder.

COLORANTS CHEM PVT. LTD.

DIRECTOR



For Cosmos Co-operative Bank Ltd.

Authorised Officer

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CO-OPERATIVE BANK LTD.

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दस्ता क्र. ००४६२२०२३
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i) The Mortgagors shall permit the mortgagee and its employees and agents from time to time and at all reasonable time and without notice to the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company and the Mortgagors but at the risk and expenses of the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company and if so required as Attorney for and in the name of the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company to enter into and upon the mortgaged Property and to inspect the same. The B Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company shall bear and pay all out of pocket expenses of such inspection as may be carried out by the mortgagee in respect of the mortgaged property.

6. THE MORTGAGEE WILL BE ENTITLED TO CAUSE THE SAID PROEPRTY TO BE SOLD IF:

- a) The Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company fails to pay the loan amount, interest and other charges and/or any instalments thereof.
- b) The Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company fails to pay the mortgage debt or any part thereof when it becomes due and payable.
- c) The Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company commits breach or default in the observation and performance of any of the terms and conditions on which the loan/credit Facility is granted to Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company .
- d) In the opinion of Mortgagee circumstances exist under which the mortgagee's interests are in jeopardy, or the whole or any part of the security is/are likely to be adversely affected/reduced/lost/diminished by or in consequence of any act or omission of the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company or for any other reason whatsoever.

On the happening of any one or more of the events, the moneys for the time being owing on the security of these presents shall at the option of the mortgagee become immediately payable to the mortgagee and the mortgagee shall be

COLORANTS CHEM PVT. LTD.
[Signature]
DIRECTOR

[Signature]

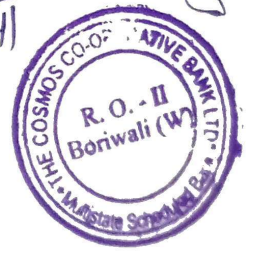


For Cosmos Co-operative Bank Ltd

[Signature]
Authorized Officer

COLORANTS CHEM PVT. LTD.
मनोरमा
DIRECTOR

मनोरमा



Cosmos Co-operative Bank
[Signature]



92/2023
entitled to any of its rights and remedies in its discretion for realization of the mortgage debt and the decision of the mortgagee as to whether any one or more of the aforesaid circumstances exist shall be conclusive and binding on the Borrowers.

e) All the obligations of the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company and all the rights and remedies and powers of the Mortgagee under the law for the time being in force except so far as they be expressly varied or may be inconsistent with these presents shall be deemed to be incorporated in these presents. PROVIDED THAT the provision of Sections 61, 65A and 67A, respectively, of the Transfer of Property Act, 1882, shall not apply to these presents or to the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company or the Mortgagee *interse* and this shall be deemed a contract to the contrary for the purpose of these sections.

f) The Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company undertakes that all sums of moneys as may be awarded as compensation for any compulsory acquisition or requisition of all or any portion of the mortgaged property would be receivable by the mortgagee directly on behalf of the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company for the adjustment of the amounts due under this mortgage and further undertakes to execute any other document including a power of attorney in favour of the Mortgagee. Further the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company consent and confirm that in the event of such monies in trust for and on behalf of the mortgagee and shall forthwith deposit the amounts with the mortgagee as per the directions of the mortgagee.

7. All costs, charges and expenses (including the costs between Attorneys and Client) incurred by the Mortgagee for realization and recovery of the mortgage debt and/or interest shall be paid by the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company and be added to and shall form part of the Mortgage debt.

COLORANTS CHEM PVT. LTD.
DIRECTOR

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COLORANTS CHEM PVT. LTD.

मनोरमा
DIRECTOR



मनोरमा

For Cosmos Co-operative Bank

[Handwritten signature]
Authorised Officer

8. All payments / Mortgage Company to the Mortgagee will first be appropriated towards the interest that may be then due, costs, charges, expenses, if any, incurred and the balance towards the principal sum.

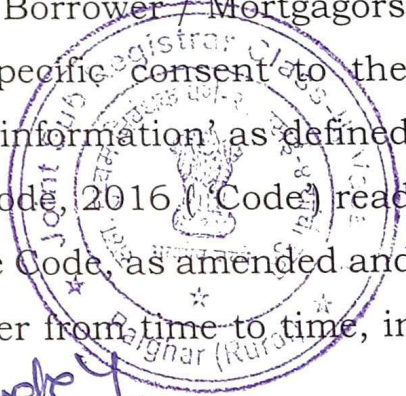
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9. The Borrower & Co- Borrower / Mortgagors & Borrower / Mortgage Company further agrees that all stamp duty, registration charges and other out of pocket expenses for the execution and registration of this deed and reconveyance deed shall be borne by the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgage Company .

10. The Borrower & Co- Borrower / Mortgagors & Borrower / Mortgage Company shall pay all the stamp duty, penalty, costs, charges and expenses in anywise incurred or paid by the said Bank/s of and incidental too in connection with these presents or this security and to be incurred for the assertion or defense of the rights of the said Bank/s as well as for the protection and security of the Mortgaged Property and for the demand realization and recovery of the said principal sums, interest and other moneys payable to the said Banks and will indemnify them against all actions, proceedings, costs, charges, expenses, claims and demands whatsoever which may be brought or made against or incurred by them in respect of any matter or thing done or omitted to be done in respect of or in relation to the Mortgaged property.

11. In the event of any portion of this Indenture being void or becoming void in that event, only such portion of the Indenture will be unenforceable & the rest of the Indenture shall be always enforceable.

12. Notwithstanding the aforesaid, the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgage Company hereby give specific consent to the Bank/Lender for disclosing/submitting the 'financial information' as defined in Section 3 (13) of the Insolvency and Bankruptcy Code, 2016 (Code) read with the relevant Regulations/ Rules framed under the Code, as amended and in force from time to time and as specified there under from time to time, in



COLORANTS CHEM PVT. LTD.

[Signature]
DIRECTOR

[Signature]

For Cosmos Co-operative Bank Ltd.

[Signature]
Authorised Officer

COLORANTS CHEM PVT. LTD.

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DIRECTOR

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१४/२३

respect of the securities created by us for securing the Credit/ Financial facilities availed by the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company from the Bank/ Lender, from time to time, to any 'Information Utility' ('IU') as defined in Section 3 (21) of the Code, in accordance with the relevant Regulations framed under the Code, and directions issued by Reserve Bank of India to the banks from time to time and hereby specifically agree to promptly authenticate the 'financial information submitted by the Bank/Lender, as and when requested by the concerned 'IU' in all Registered Mortgages hereinafter.

13. It is agreed and declared by the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company that the Mortgagee Bank is fully authorized, empowered to take appropriate actions in respect of the Mortgaged properties under the provisions of Securitisation & Reconstruction of Financial Assets and Enforcement of Security Interest Act, 2002 in the event of default on the part of the Borrower & Co- Borrower / Mortgagors & Borrower / Mortgagor Company .

14. In the event of any portion of this Indenture being void or becoming void in that event the only such portion of the Indenture will be unenforceable & the rest of the Indenture shall be always enforceable.

15. The possession of mortgaged properties shall always remain with the Mortgagors unless & until the event of default occurs.

SCHEDULE OF THE PROPERTY REFERRED HEREINABOVE

All that piece and parcel of land adm.16705 sq.ft.(1552.51 sq. mtrs.) out of land bearing Survey no/ Gut no. 371/A/14/12 (erstwhile Plot nos. 371, 371/1/1, 371/2, 371/3, S.No. 371 Plot nos. 1 to 10) (Forming part of Old S. Nos. 110,112, 113,114,116,117,120,121,300,301) area adm. 162019.50 sq. mtrs. lying, being and situate at village Pelhar, Taluka Vasai Dist. Palghar alongwith proposed construction of factory premises thereon and the said property is situated

COLORANTS CHEM PVT. LTD.

[Signature]
DIRECTOR

COLORANTS CHEM PVT. LTD.

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DIRECTOR



For Cosmos Co-operative Bank

[Signature]

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Authorised

R.O.

THE

within Registration District and Sub District of Palghar and within local limits of Vasai Virar city Municipal Corporation and bounded as under :

On or towards
East : By Road
West : By Adjoining Plot
North : By Adjoining Plot
South : By Forest Land

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दस्त क्र १०४६२/२०२३
१५ / ६३

Alongwith undivided share, right, title and interest in the said property, proposed construction thereon and with right of ways, easements and parking available to said property

IN WITNESS WHEREOF THE PARTIES HEREIN HAVE PUT THE RESPECTIVE SEAL HEREUNDER ON THE DAY AND DATE AND YEAR FIRST MENTIONED HEREINABOVE.

SIGNED AND DELIVERED
By the within named
"BORROWER & CO-BORROWER / MORTGAGORS
& BORROWER / MORTGAGOR COMPANY"

1. MR. GAJENDRADEO PANDEY



G. Pandey

2. MRS. MANORAMA PANDEY



मं.पं. २५

3. M/S COLORANTS CHEM PVT LTD.

Through its Authorised Director:
Mr. Gajendra Deo Pandey

COLORANTS CHEM PVT. LTD.
G. Pandey
DIRECTOR



बसई-४
दस्त क्र. १०४६२/२०२३
१६ / ६३

Mrs. Manorama Pandey

COLORANTS CHEM PVT. LTD.

मनोरमा
DIRECTOR



SIGNED AND DELIVERED

By the within named "Mortgagee Bank"

THE COSMOS CO.OP.BANK LTD.

Through its Authorised officer

Mrs. Yogita Wazarkar

For Cosmos Co-operative Bank Ltd.

Yogita Wazarkar
Authorised Officer

In the presence of ...

1. Signature Yash Pandey

Name: Yash Pandey

Address: Vasai (E)



2. Signature K.S. Nanda

Name: Kanaiya Nanda

Address: Vasai (E)



VCMC/TP/CC/VP-6537/544/2022-23

Dated 31/03/2023

To
1. Mr. Gajendradeo Moolchandra Pandey &
Mrs. Manorama Gajendradeo Pandey
D-501, Sai Prabhat Complex, Near Play Ground,
Vasant Nagari, Vasai East, 401208

2. Ar. Devendra Mistry,
07/1st Floor, Royal apt.
Gurunanak Nagar, Ambadi road,
Vasai(w), 401202

Assessment order

SUB -- Commencement Certificate for proposed Industrial bldg on land bearing S.No:371/A/14/12 of Village: Pelhar Taluka Vasai, Dist Palghar.

Ref -- 1) Your Architect's letter dated 31/12/2021

Sir / Madam,

Find enclosed Assessment order issued herewith as per Sec 124(E) of MR & TP Act 1966.

- | | | |
|--|---|---|
| 1 Name of Assessee owner / P.A. Holder | : | Mr. Gajendradeo Moolchandra Pandey & Mrs. Manorama Gajendradeo Pandey |
| 2 Location | : | Pelhar |
| 3 Land use (Predominant) | : | Industrial bldg |
| 4 Gross plot area (As per 7/12) | : | 1552.51 Sqm. |
| 5 Gross plot area (As per Measurement sheet) | : | 1935.62 Sqm. |
| 6 Area Undr Road Widening | : | |
| 7 Net plot area | : | 52.32 Sqm. |
| Built up Area with reference to basic F.S.I | : | 1500.19 Sqm. |
| 8 Area (7)x Basic FSI 0.20 | : | 300.03 Sqm. |
| 9 Maximum Permissible Premium FSI- | : | |
| 10 Proposed FSI on payment of premium | : | 1242.00 Sqm. |
| 11 Total Entitlement | : | 1237.00 Sqm. |
| Ancillary area FSI upto 60% or 80% with | : | 1537.03 Sqm. |
| 12 payment of charges | : | 1229.62 Sqm. |
| 13 Total Entitlement | : | |
| 14 Total proposed BUA (P-llne) | : | 2766.65 Sqm. |
| 15 Area for Assessment | : | 2765.72 Sqm. |

UDCPR Regulation dtd 02/12/2020 Charges are as follows

Weighted Average of Open land value as per ASR 2022-23

Industrial : 1552.51 Sq.m. x 35.475 = Rs. 4,730.00

b) On BUA Industrial : 2765.72 Sq.m. x 141.9 { Rs. 4,730.00 x 0.50% x 1.5 } = Rs. 55,075.29

Development Charges { Rs. 4,730.00 x 2.00% x 1.5 } = Rs. 392,455.67

Development Charges Paid Vide
a) Receipt No.73336 dated 28/03/2022 = Rs. 389,000.00

b) Receipt No.73335 dated 28/03/2022 = Rs. 57,000.00

c) Receipt No.73417 dated 31/03/2022 = Rs. 2,000.00

Rs. 448,000.00

17 Balance development charges to be paid = Rs. Nil

18 Date of Assessment = / /2022

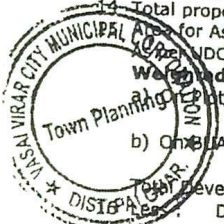
19 Premium Components

a) BUA on paymnet of premium FSI @ the rate of 20% as per UDCPR 1237 Sq.m. x 946.00 { Rs. 4,730.00 x 20% x 1 } = Rs. 1,170,202.00

b) BUA on paymnet of Ancillary FSI @ area at the rate of 10% as per UDCPR 1229.62 Sq.m. x 473.00 { Rs. 4,730.00 x 10% x 1 } = Rs. 581,610.26

20 Less : Premium Pald Vide

Rs. 1,751,812.26



VVCMC/TP/CC/VP-6537/544/2022-23

Dated 31/03/2023

- a) Receipt No.73338 dated 28/03/2022
b) Receipt No.73337 dated 28/03/2022
c) Receipt No.73342 dated 28/03/2022
d) Receipt No.73341 dated 28/03/2022
- 21 Balance Premium Charges to be paid
22 Labour Charges
a) On Construction Area : 2765.72 Sq.m. x $\frac{26620.00}{100} \times 1\%$
- 23 Less : Labour Charges Paid Vide
a) Receipt No.73340 dated 28/03/2022
b) Receipt No.73339 dated 28/03/2022
- 24 Balance Labour CESS Charges to be paid
25 As requested by you vide letter _____ for balance payable amount, installment facility is hereby granted . The balance amount will attract 18% interest till the date of payment. The Schedule of payment is given below:

=	Rs. 951,000.00
=	Rs. 220,000.00
=	Rs. 494,000.00
=	Rs. 88,000.00
=	Rs. 1,753,000.00
=	NII
=	Rs. 736,234.66
=	Rs. 736,234.66
=	Rs. 112,000.00
=	Rs. 625,000.00
=	Rs. 737,000.00
=	NII

SCHEDULE OF PAYMENT					
Sr. No.	Amount for Development Charges (In Rs.)	Amount for Premium Charges (In. Rs.)	Amount for fire Charges (In Rs.)	Due Date of Payment	Interest (In Rs.)
-----NII-----					



sd/r
Commissioner

Vasal-Virar City Municipal Corporation

Certified that the above permission is issued by Commissioner VVCMC, Virar.

Deputy Director,
VVCMC, Virar.

मुख्य कार्यालय, विरार
विरार (पूर्व),
ता. वसई, जि. पालघर - ४०१ ३०५.



वसई-४
दस्त क्र. 90882/2023
दुरध्वनी : ०२५० - २५२१०१ / ०२/०३/०४/०५/०६
फॅक्स : ०२५० - २५२१०७
ई-मेल : vasalvirarcorporation@yahoo.com
22/83

जावक क्र.: व.वि.श.म.
दिनांक :

VVCMC/TP/CC/VP-6537/ 545/2022-23

31/03/2023

To,
✓ 1. Mr.Gajendradeo Moolchandra Pandey &
Mrs.Manorama Gajendradeo Pandey
D-501,Sai Prabhat Complex, Near Play Ground,
Vasant Nagari,Vasai East,401208

2. Ar.Devendra Mistry,
07/1st Floor,Royal apt.
Gurunanak Nagar,Ambadi road,
Vasai(w),401202

Sub: **Commencement Certificate for proposed Industrial bldg on land bearing S.No:371/A/14/12 of Village: Pelhar Taluka Vasai, Dist Palghar.**

- Ref :
1. Land Conversion Certificate from Tahasildar Vasai, (Revenue Dept) vide letter No: REV/K-1/T1/JAMINBAB-1/KAVI-/SR-88 A/2018 dtd.18/02/2018.
 2. TILR M.R. No.60/2022 dtd.01/06/2022 for measurement.
 3. Your Architect's letter dated 31/12/2021

Sir/ Madam,
The Development Plan of Vasai Virar Sub Region is sanctioned by Government of Maharashtra vide Notification no TPS-1205/1548/CR-234/2005/UD-12 dated 09/02/2007. Keeping 113 EPS in pending. Further 5 EPS were approved vide Notification No. TPS-1208/1917/CR-89/09/UD-12 dtd. 13/03/2009, 31 EPS were approved vided Notification No.TPS-1208/1917/CR-89/09/UD-12 dtd 19/09/2009, Notification No. TPS-1208/1917/CR-89/08/UD-12 dtd 05/10/2009, 11 EPS were approved vide Notification No.TPS-1209/1917/CR-89/09 UD-12 dtd. 4th April 2012, 1 EP was approved vide notification no.TPS-1214/975/CR-77/14/UD-12 dtd. 16th August 2014 and 64 EPs were approved vide notification no. TPS-1214/975/CR-77/14/UD-12 dtd. 27th February 2015. Govt. entrusted Planning Authority functions for respective jurisdiction of Vasai-Virar City Municipal Corporation vide notification no. TPS-1209/2429/CR-262/2010/UD-12 dtd. 07/07/2010. Further Vasai Virar City Municipal Corporation is appointed by Govt.of Maharashtra as SPA for 21 villages Arnala, Arnala Killa, Patilpada, Mulkam, Tembi, Kolhapur, Chandrapada, Tokri, Khairpada, Vasalai, Rangao, Doliv, Khardi, Khochiwada, Pali, Tivri, Octane, Tarkhad, Maljipada, Satpala & Kalamb, notification no. TPS-1214/UOR-54/CR-17/15/UD-12 dtd. The 21st February 2015. The Development permission is granted on the basis of unified Development Control and promotion Regulations which was published as per Govt. notification No. TPS-1818/CR-236/18/SEC 37 (1AA)/UD-13 dtd.2nd December 2020. In the capacity of as Planning Authority/Planning Authority for respective jurisdiction and SPA for 21 villages VVCMC is functioning as per MRTTP Act 1966. The details of permission are as under:.

The conditions mentioned in the letter No.VVCMC/TP/CC/VP-6537/ 545 dated 31/03/2022 Are binding on you. The details of the layout is given below:

1	Name of Assessee owner / P.A. Holder	Mr.Gajendradeo Moolchandra Pandey & Mrs.Manorama Gajendradeo Pandey
2	Location	Pelhar
3	Land use (Predominant)	Industrial bldg
4	Gross plot area (As per 7/12)	1552.51 sq.mt
5	Gross plot area(As per Measurement sheet)	1935.62 sq.mt
6	Area Under Road Widening	52.32 sq.mt
7	Net plot area	1500.19 sq.mt



VVCMC/TP/CC/NP-6537/545/2022-23

31/03/2023

8	Built up Area with reference to basic F.S.I Area (7)x Basic FSI 0.20	300.03 sq.mt
9	Maximum Permissible Premium FSI-	1242.00 sq.mt
10	Proposed FSI on payment of premium	1237.00 sq.mt
11	Total Entitlement	1537.03 sq.mt
12	Ancillary area FSI upto 60% or 80% with payment of charges	1229.62 sq.mt
13	Total entitlement	2766.65 sq.mt
14	Total proposed BUA (P-line)	2765.72 sq.mt
15	No of bldg.	01 bldg

The details of the Buildings is given below:

Sr. No.	Predominant Building	Bldg No	No. Floors	of	No. of Shops/ Gallas	Built Up Area (in sq. mt.)
1	Industrial bldg	1	Gr+2		03	2765.72 sq.mt

- 1) The commencement certificate shall remain valid for a period of one year for the particular building under reference from the date of its issue (Clause 2.7.1 of Unified Development Control and Promotion Regulations-2020).
- 2) You shall transport all the construction material in a good transport system and the material shall not be stacked in unhygienic / polluting condition/on road without permission of VVCMC.
- 3) You shall see that water shall not be stored to lead to unhygienic conditions like mosquito breeding/disease prone conditions.
- 4) You shall provide drainage, sewerage, water storage systems strictly to the satisfaction of Vasal-Virar City Municipal Corporation. Else occupancy certificate shall not be granted to you, which may please be noted.

You shall develop the access road to the satisfaction of Vasal-Virar City Municipal Corporation as per the width as shown in the approved plan (D.P. Road/ access obtained as the case may be) before applying for Plinth Completion Certificate. You shall give detailed engineering report comprising reclamation level to be maintained, Storm Water drainage systems, sewerage systems and water supply (tank sizes etc) before applying for Plinth Completion Certificate.

- 6) You shall construct cupboard if any, as per UDCPR Regulation.
- 7) You shall provide Mosquito proof treatment in order to avoid Mosquito breeding to the satisfaction of VVCMC. Occupancy Certificate will not be granted if Mosquito treatment is not provided by providing Dr. Major Covells system of Mosquito proofing to control Malaria to the satisfaction of VVCMC.
- 8) You shall provide two distinct pipelines for potable and for non-potable water.
- 9) You shall provide the Rain Water Harvesting systems as per Govt. notification No.TBA-432001/2133/CR-230/01/UD-11 dtd. 10/03/2005 & TPB-4307/396/CR-24/2007/UD-11 dtd. 06/06/2007 by appointing the Rain Water Consultants empanelled by VVCMC. Occupancy Certificate shall be granted after certification of Rain Water Harvesting systems by said empanelled consultant of VVCMC.



मुख्य कार्यालय, विरार
विरार (पूर्व),
ता. वसई, जि. पालघर - ४०१ ३०५.



वसई-४
दस्ता क्र. 908E2/2023
दुरध्वनी : ०२५० - २५२५१०९/०२/०२/०६/०५/०६
फॅक्स : ०२५० - २५२५१०७
ई-मेल : vasaivirarcorporation@yahoo.com
28 / 83

जावक क्र.: व.वि.श.म.
दिनांक :

VVCMC/TP/CC/VP-6537/ 545/2022-23

31/03/2023

- 10) You shall construct the compound wall /Retaining as per site condition which will be design & supervised by certified structural engineer before Plinth Completion Certificate.
- 11) You shall submit subsoil investigation report for structural stability & Rain water harvesting purpose before Plinth completion Certificate.
- 12) You are responsible for the disputes that may arise due to Title/ Access matter. Vasai-Virar City Municipal Corporation is not responsible for any such disputes.
- 13) You shall provide flush tanks in all W.C/Toilets with dual valve system.
- 14) You shall do structural Audit for the buildings under reference after 30 years of completion as per Government of Maharashtra Act No.6 of 2009.
- 15) You shall plant the plants by taking the sapling/Plants available with Vasai Virar City Municipal Corporation. You shall contact DMC, Vasai-Virar City Municipal Corporation and shall plant the same as will be directed by DMC, VVCMC under intimation to this office.
- 16) You are responsible for obtaining various permissions from other authorities subsequent to grant of permission like revised N.A order, PWD NOC, NOC from Highway Authority, NOC from Railway, NOC from MSEB, NOC from Eco Sensitive Zone, TWLS, MOEF, CRZ/wetlands etc., as may be applicable and N.A TILR as required as per N.A order and other applicable compliances. If any of the compliances as per other Dept/Acts/ requirements are not done, only you shall face the consequence arising out of such lapse from your side and VVCMC is not responsible for the lapses from your side.
- 17) You are responsible for complying with all conditions of N.A. order/sale permission / other permissions of other authorities including MOEF/CRZ/wetlands, TWLS etc. In case of any violation with reference to conditions of N.A. order / permissions of other Authorities, only you shall be responsible for the said violation and the same may call for actions by Concerned Authority as per their statutory provisions. Vasai Virar City Municipal Corporation has no role in the said matters. However if any conditions pertaining to validity of said orders are not complied like validity of N.A. order etc. Only you are liable for any actions as may be contemplated by the said authority notwithstanding the permission granted by VVCMC as the same need to be ensured by Concerned Authority.
- 18) You shall take all precautionary measures as per various statutory provisions including provisions as contained In National Building code of India in order to avoid injury/loss to lives and property during construction and till the property is handed over to the subsequent legitimate owner of the property. If any such Incident occurs you are responsible for the same and VVCMC is not responsible for your negligence, In providing various precautionary measures to avoid accidents leading to loss of life, injury or loss of property
- 19) The responsibility of obtaining any other statutory NOC as per other acts shall be with the applicant.
- 20) You are responsible for the disposal of Construction & Demolition Waste (debris) that may be generated during the demolition of existing structure & during the execution work of buildings.



वसई-४
दस्त क्र. १०४६२/२०२३
२५ / ६३

VVCMC/TP/CC/VP-6537/545/2022-23

31/03/2023

- 21) You shall provide separate dust bins per wing of buildings for Dry & Wet waste & Composting unit as per MSW rules 2016 prior to Occupancy Certificate.
- 22) You shall abide by all conditions mentioned in MSW rules 2016 and guidelines/order about Solid Waste Management which needs to be implemented in your proposal from time to time as instructed by this office as per Swacch Bharat Mission and guidelines from VVCMC and State/Central Govt. You shall submit compliance report regarding the above before approaching this office for grant of Occupancy Certificate
- 23) VVCMC has asked IIT-Bombay and NEERI to prepare Comprehensive flood management plan by reviewing current development plan and past studies. The applicant shall have to adhere and do the necessary implementation as per recommendations of IIT Bombay and NEERI for flood management of Vasai Virar Sub region affecting for your layout.
- 24) You shall provide temporary toilet Blocks at site for labours/ Workers for the ongoing construction activity. The temporary constructed toilets blocks shall be demolished before final Occupancy Certificate.
- 25) You shall provide Septic tank & Underwater tank on site as per IS Code 2470.
- 26) You will be liable to pay any charges/areas with applicable interest for your proposal as and directed by VVCMC/any other competent authority.
- 27) You shall provide Grey Water recycling plant for said layout, if applicable.
- 28) You shall provide Solar Assisted water heating SWH system to said layout if applicable.
- 29) Fire infrastructure charges to be paid as per guidelines from Govt. of Maharashtra.
- 30) Right to access agreement shall be submitted before Commencement of work failing to which this Commencement Certificate stands invalid.
- 31) You shall be legally responsible for taking care of provisions of RERA in respect of present amendment where third party rights are created by way of registered agreement for sale or lease of apartment by taking consent from interested party or persons. Any disputes that may arise due to violation of said provisions Vasai Virar City Municipal Corporation is not responsible for such disputes.
- 32) If any legal matter arises at any Civil/Criminal Courts or in Hon'ble High Court, any revenue/co-operative court or with any Govt. Authority like Police, NCILT, ED, etc., the said permission stand cancelled without giving prior notice or opportunity being heard.
- 33) This permission is subject to verdict in the Hon'ble High Court, Mumbai in PIL 27/2022 regarding Green Zone notification of Government of Maharashtra. Decision of the verdict is binding on you. If the verdict goes against the State then said permission stands cancelled without giving prior notice or opportunity being heard.
- 34) You shall submit revised N.A order before Plinth Completion certificate, however undertaking regarding this is submitted by you and contents of which is binding on you and if any violation of undertaking is found, the said order stands cancelled without giving opportunity to be heard.
- 35) You shall submit registered right of Access documents before Plinth Completion certificate, if not the said order stands cancelled without giving opportunity to be



मुख्य कार्यालय, विरार
विरार (पूर्व),
ता. वसई, जि. पालघर - ४०१ ३०५.



दुरध्वनी : ०२५० - २५५१०१ / ०२/०२/०४/०५/०६

फॅक्स : ०२५० - २५५१०७

ई-मेल : vasalvirarcorporation@yahoo.com

दस्त क्र. ५०४६२४२०२३
2E / EB

जाबक क्र.: व.वि.श.म.

दिनांक :

VVCMC/TP/CC/VP-6537/545/2022-23

31/03/2023

heard. However any complaint comes from any person regarding right of access the responsibility purely lies with the applicant.

- 36) You shall develop existing road of 12mt width before Plinth completion certificate and submit photographs to VVCMC, if not the said order stands cancelled without giving opportunity to be heard.
- 37) You shall comply the conditions mentioned within the given set of timelines, if not the said order stands cancelled without giving opportunity to be heard
- 38) Any breach of any condition mentioned above will lead to cancellation of this order without giving any notice or any opportunity to be heard by following natural justice

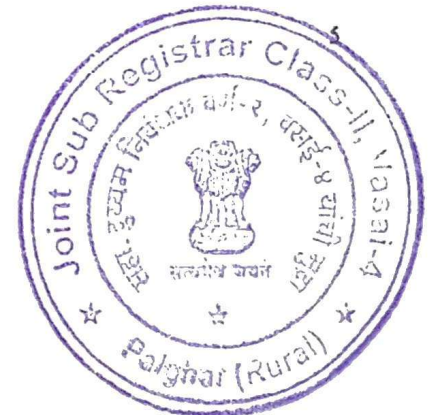


Encl.: a/a.
c.c. to:

1. Asst. Commissioner, UCD,
Vasai-Virar city Municipal Corporation.
Ward office

Commissioner
Vasai Virar City Municipal Corporation
Certified that the above permission is
issued by Commissioner VVCMC, Virar.

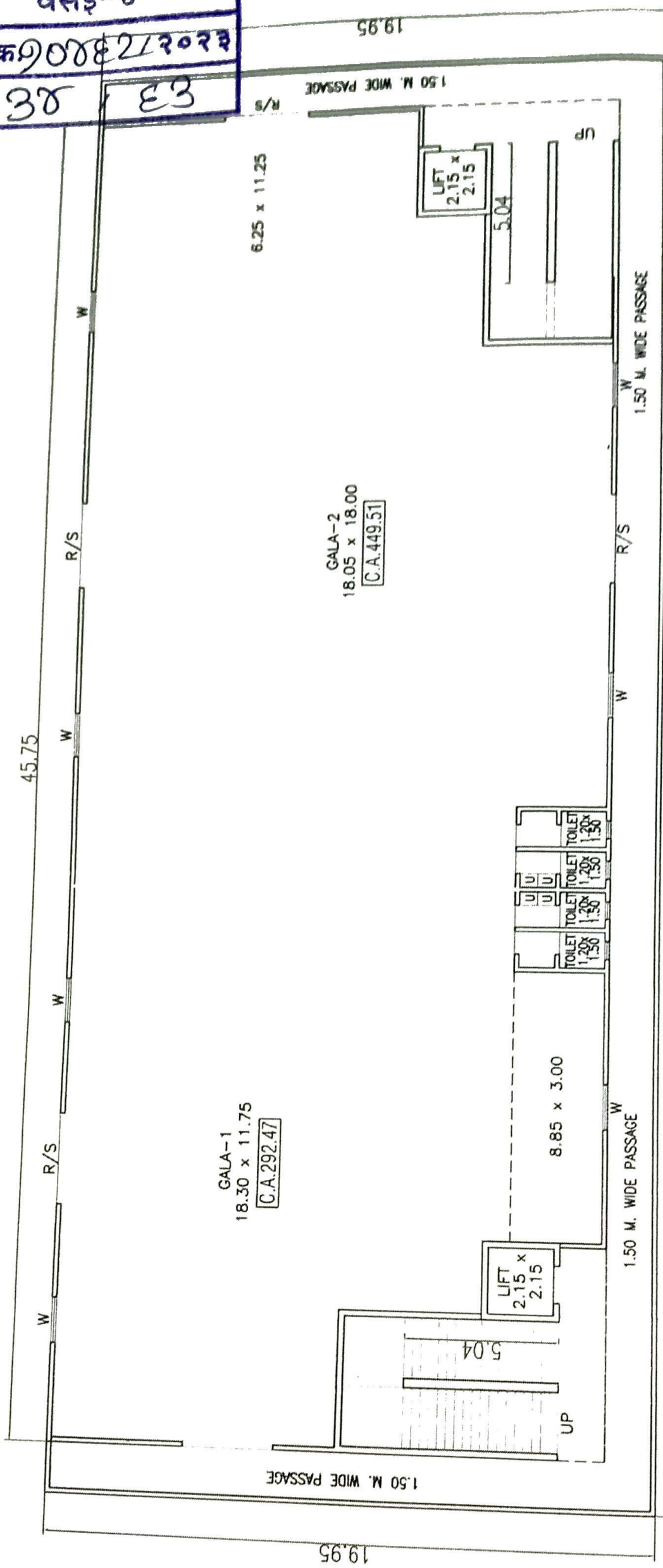
Deputy Director,
VVCMC, Virar.



वसई-४

दस्त क्र १००८२/२०२३

३४ ३३



1ST & 2ND FLOOR PLAN

SCALE:1:100





Giri & Shaikh Infra Private Limited

वसत क्र. 90782/2023
०५ / १३

Date: - 04-01-2023

To,
Gajendradeo Pandey & Manorama Gajendradeo Pandey
D-501, Sai Prabhat Complex,
Near Play Ground, Vasant Nagari,
Vasai (E) Thane MH 401208

Subject: - Quotation for construction of proposed Industrial G+1 at Lotus Industrial Park

Dear Sir,

With reference to the above, we are glad to submit our most competitive quotation for the construction of mentioned Industrial building and hope that you will find the same as a reasonable and acceptable.

The construction as per the specification that attached herewith shall be charged at the rate of Rs: 2475/- (Rupees Two Thousand Four Hundred Seventy-five Only) per Sq. Ft. on built up area for R.C.C + finishing (lock and key) for Ground floor & first floor.

Quotation shall be subject to the following notes:-

- 1) The client shall be allowed to construct temporary cement Godown and labour hut men.
- 2) We will arrange drinking water for labour
- 3) We shall arrange and supply the water required for construction and curing for building.
- 4) If rock cutting or pilling is required the same shall be carried out by us.
- 5) GST will be charged extra as per applicable.

Steel & Concrete Consumption

We have considered steel consumption up to 7 kg per Sq.ft. of built-up area any variation beyond this will be paid extra at the rate of Rs. 100/- per kg.

We have considered concrete consumption up to 1.75 CFT Per SFT of built-up area any variation beyond this will be paid extra at the rate of Rs 12000/CUM for M35 Grade

A-203, Shanti Enclave, Sector 1, Near Mira Road Station,
Mira Road (e), Thane - 401107, Mobile No.: 9322416106
Email: giriandshaikhinfra@gmail.com



वसई-४

दस्त क्र. 908E2/2023



Giri & Shaikh Infra Private Limited

GENERAL SPECIFICATIONS: ----

- A. The construction shall be undertaken and carried out as pre sanctioned plans and details working drawing as per instruction of Architect and RCC consultant. External elevation treatment shall be carried out as per detailed drawing.
- B. Reinforcement concrete work shall be carried out as per RCC consultant.
- C. All external walls shall be of 6" thick brick masonry in 1:4 cement mortars.
- D. External wall shall be finished with 1:4 cement mortar 20mm thick plasters in two coats.
- E. Internal wall shall be finished with 1:4 cement mortar 12mm thick plasters in single coats.
- F. Bathroom loft shall be made in RCC bottom finish with plaster and finish with IPS.
- G. Plumbing chamber, drainage & building peripheral soiling work
- H. Any Type of Electrical work is in our scope of work
- I. Septic tank, UG tank, fire tank shall be in our scope of work.

SCOPE OF WORK

- Distemper Paint on Internal wall & outer side weather paint
- Sliding window with anodizing
- Kota Flooring with Diamond Polish
- Toilets flooring
- M.S Grills, Rolling Shutters
- Toilet dado tiles
- Window marble framing
- M-35 Grade Concrete for Slab
- Terrace & Toilet Waterproofing
- Industrial lift - 2 Nos Heavy Duty
- Fire fitting complete solution.
- Rain Harvesting System
- Compound Wall
- Drainage System
- Plumbing Work
- Electrical Work

**A-203, Shanti Enclave, Sector 1, Near Mira Road Station,
Mira Road (e), Thane - 401107, Mobile No.: 9322416106
Email: giriandshaikhinfra@gmail.com**

Basic rate of cement / steel / sand / metal shall mean the cost of material will be inclusive of material cost transport / leave / royalty / loading unloading with material received at site and also, we shall absorb the difference cost of above mention, but above this will be charged extra and shall be paid along with our running bill

BASIC RATE

- Cement -Rs. 280/- Per Bag.
- Steel -Rs. 55/- Per Kg.
- River Sand -Rs. 8000/Brass
- Crushed sand -Rs. 4200/Brass
- Coarse Aggregate (1,2 No.) -Rs.3200/Brass
- Cirit Powder -Rs.4500/Brass
- Bricks -Rs. 7.5/No
- Rubble -Rs.2200/Brass
- Crussed Aggregate (4 No.) -Rs.2700/Brass
- Normal Kapchi -Rs.3000/Brass

वसई-४

दस्तावेज क्र. 90082/2023

70 / 83

Mode of Measurement

We have considered Built up area 30700 as per Architect plan any variation beyond this shall be charged extra for Rs. 2475/ Sft of Built-up area.

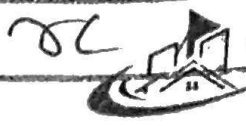
Mode of Payment

Discription	Percentage	Total Area	Rate	Amount	GST @ 18	Total Amount
Building Built-up Area as per Architect	100	30,700	2,475	75,982,500	13,676,850	89,659,350
On Completion of Plinth	16	4,912	2,475	12,157,200	2,188,296	14,345,496
On Completion of 1 st Slab	14	4,298	2,475	10,637,550	1,914,759	12,552,309
On Completion of 2 nd Slab	14	4,145	2,475	10,257,638	1,846,375	12,104,012
On Completion of 3 rd Slab	14	4,145	2,475	10,257,638	1,846,375	12,104,012
On Completion of Masonry	5	1,535	2,475	3,799,125	683,843	4,482,968
On Completion of Internal Plaster	5	1,535	2,475	3,799,125	683,843	4,482,968
On Completion of External Plaster	5	1,535	2,475	3,799,125	683,843	4,482,968
On Completion of Plumbing	2	614	2,475	1,519,650	273,537	1,793,187
On Completion of Electrical	3	921	2,475	2,279,475	410,306	2,689,781

**A-203, Shanti Enclave, Sector 1, Near Mira Road Station,
Mira Road (e), Thane - 401107, Mobile No.: 9322416106
Email: giriandshaikhinfra@gmail.com**



दस्त क्र. 908E2/2023



G. & S. Infra Private Limited

On Completion of Waterproofing	2	614	2,475	1,519,650	273,537	1,793,187
On Completion of Compound Wall, Soling, Pcc	3	768	2,475	1,899,563	341,921	2,241,484
On Completion of Painting	2	614	2,475	1,519,650	273,537	1,793,187
On Completion of Grills & Shutters	2	614	2,475	1,519,650	273,537	1,793,187
On Completion of Sliding Window	2	461	2,475	1,139,738	205,153	1,344,890
On Completion of Kota flooring, window framing & toilet	5	1,535	2,475	3,799,125	683,843	4,482,968
On Completion of Septic tank, fire tank, UG tank, OH	3	768	2,475	1,899,563	341,921	2,241,484
On Completion of Rain harvesting system	2	461	2,475	1,139,738	205,153	1,344,890
On Completion of Fire fitting system	3	768	2,475	1,899,563	341,921	2,241,484
On Completion of Passenger/Industrial Lift/Elevators	2	461	2,475	1,139,738	205,153	1,344,890

Note -

1. Any on site incident or accident being occurred to any of our person involved in the construction activity shall only be at our sole discretion. The Landlord shall not be held liable for any such on site event.

If any, we mutually convenient and agreed discussion as per progress....

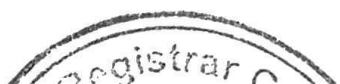
Thanking You,

For G. & S. Infra Private Ltd

Santosh Giri

Director

A-203, Shanti Enclave, Sector 1, Near Mira Road Station,
Mira Road (e), Thane - 401107, Mobile No.: 9322416106
Email: giriandshaikhinfra@gmail.com





अहवाल दिनांक : 22/02/2023

महाराष्ट्र शासन

गाव नमुना सात (अधिकार अभिलेख पत्रक)

[महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवहा (तयार करणे व सुस्थितीत ठेवणे) नियम, १९७१ यातील नियम ३,५,६ आणि ७]



23353263016

पेलहार (944156)
PIN : 23353263016तालुका :- वसई
भूमापन क्रमांक व उपविभाग : 371/अ/14/12

जिल्हा :- पालघर

भू-धारणा पध्दती :	खाते क्र.	भोगवटादाराचे नांव	क्षेत्र	आकार	पो.ख.	फे.फा.	शेताचे स्थानिक नाव :	कुळ, खंड व इतर अधिकार
क्षेत्र, एकक व आकारणी आर.चौ.मी 15.52.51 310.50	39.44	गजेंद्रदेव एम. पांडेय मनोरमा जी. पांडेय -----ताप्राईक क्षेत्र-----	15.52.51	310.50		(8178) (8178)		कुळाचे नाव व खंड इतर अधिकार प्रलंबित फेरफार : नाही. शेवटचा फेरफार क्रमांक : 8178 व दिनांक : 17/02/2023
क्रमांक : (1127) (1202) (1471) (2217) (2218) (2219) (2220) (2221) (2222) (2223) (2224) (2225) (2226) (2228) 29) (2336) (4126) (4245) (4253) (4254) (4963) (5063) (5064) (5123) (5321) (5460) (5541) (5563) (5586) 16) (5932) (6164) (6329) (6331) (6440) (6528) (6729) (6902) (6913) (6917) (6986) (7084) (7479)								सीमा आणि भूमापन विद्दे :

गाव नमुना बारा (पिकांची नोंदवही)

[महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवहा (तयार करणे व सुस्थितीत ठेवणे) नियम, १९७१ यातील नियम २९]

गाव :- पेलहार (944156)

तालुका :- वसई

जिल्हा :- पालघर

पिकाखालील क्षेत्राचा तपशील							लागवडीसाठी उपलब्ध नसलेली जमीन		शेरा
हंगाम	खाता क्रमांक	पिकाचा प्रकार	पिकाचे नाव	जल सिंचित	अजल सिंचित	जल सिंचनाचे साधन	स्वरूप	क्षेत्र	(११)
(२)	(३)	(४)	(५)	(६)	(७)	(८)	(९)	(१०)	(११)
				ह.आर. चौ.मी	ह.आर. चौ.मी				ह.आर. चौ.मी

* सदरची नोंद मोबाइल ॲप द्वारे घेणेत आलेली आहे

"या प्रमाणित प्रतीसाठी फी म्हणून १५/- रुपये मिळाले."
 दिनांक :- 22/02/2023
 सांकेतिक क्रमांक :- 2721000802734700002202311435

सहाय्यक जमीन मालकी अधिकारी
 तालुका सातः- पेलहार वसई जि :पालघर
 ता वसई, जि पालघर

