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मालमत्ता पत्रक

दस्त क्रमांक २५०६०/२०२२
जिल्हा -- कृष्णा

विभाग/मोजे -- ठाणे शहर

तालुका/न.भु.मा.का. -- ठाणे

नगर पुराणन	शिट नंबर	प्लॉट नंबर	क्षेत्र	धारणाधिकार	शासनाला दिलेल्या अकारणाची किंवा भाड्याच्या तपशील (अथवा त्याच्या फेर तपशील (मिळत असल्यास))
क्रमांक / फा. प्ला. न.			चौ.मी.		
१५ २८३	१५	२८३			

दिनांक	व्यवहार	खंड क्रमांक	नविन चारक (धा) पट्टदार (प) किंवा भार (भा)	साक्षात्कृत
३१/०१/१९७२	मा.जिल्हाधिकारी ठाणे यांचे कडील क्र.आर.बि.४ एन्.ए.पी.ए. २९९८ दि.१३-२-१९६५ अन्वये नविन पोट हिस्सा पाडणेत आलेले त्याची नवीन कांड काढून क्षेत्राची दुरुस्ती केली. (नों)	S.I.F.		सती - ०२/०२/१९७२ न.भु.अ.ठाणे
०४/०९/१९७२	मं.डि.ड. कलंबटर सां. ठाणे प्रांत हु.। कडील आदेश क्र. NAP-२१४ ता. २५-६-५२ अन्व सं पांचपाखाडी स.नं. ३६५ हि. न. ६० ४५० चौ. वार. व स. नं. ३६७ हि. नं. १/१ १.६९८ चौ. वार मिळून ११.४८ चौ. वार क्षेत्राचा विन शंत। प्लॉट श्री वासुदेव कृष्ण शहाटे यांचे नांव मंजूर झाल्याने न.भु.अ. ठाणे यांचे कडील आदेश क्र. न.भु. वार. र. (१) ४९५ ता. ४-९-७२ अन्वये नोंद घेतली. सामील टि. नं. १६ सि. स. नं. १५५.	S.I.F.	(H) [वासुदेव कृष्ण शहाटे]	सती - ४/०९/१९७२ C.T.S.O.
०४/०९/१९७२	गायचे हुकुम पत्र काढून फेरफार नोंद नं. १५९० ता. २७-४-५४ अनुसार वासुदेव कृष्ण काडून नं. ००००/०००० ता. ०९/११/१९७२ रोजी खरेली घेतल्याने न.भु.अ. ठाणे कडील आदेश क्र. न.भु. वार. र. (१) ४९५ ता. ४-९-७२ अन्वये नोंद घेतली. सामील टि. नं. १६ सि. स. नं. १५५.	S.I.F.	(H) [शंकराबाई शंकर वाकटे]	सती - ०४/०९/१९७२ C.T.S.O.

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मालमत्ता पत्रक

(5) 20/11/2022 (C)

विभाग/मौजे -- ठाणे शहर

तालुका/न. भु. मा. का. -- ठाणे

जिल्हा -- ठाणे

नगर भूमापन क्रमांक/फा. प्लॉ. नं.	शिफ्ट नंबर	प्लॉट नंबर	क्षेत्र चौ.मी.	धारणाधिकार	शासनाली दिलेल्या आकारणाचा किंवा भाड्याचा तपशील आणि त्याच्या फर तपासणीचा नियत अंळ)
१५-२८३	१५	२८३			
३६५अ/६			५२३३		

ट न न - २
 स्त क्रमांक २५७८७ / २०२२
 ७० / ७८



५६०
 [[४६७३]]
 चौ.मी.
 ३९०७-२
 २५५२-५
 १३५४-७

सि.स.नं. २८अ, २८ब, २८क
 चे क्षेत्र वजा
 १३५४.७
 ७७४.० टि.नं. १६ सि.स.नं. १९
 चे क्षेत्र वजा
 ५८०.७

सुविधाधिकार

हक्काचा मुळ धारक वर्ष १९४७
 अंग्रीकलनचरल

पट्टदार

इतर भार

इतर शरे

दिनांक	व्यवहार	थंड क्रमांक	नायब ग्राव्ह (भा) पट्टदार (व) किंवा भार (भा)	शाक्षक!
२१/०९/१९५६	मे.प्रांत ऑफीसर ठाणे यांज कडील ह. No. NAP ७४ of ता. २१-३-५२ प्रमाणे कंबाईन्ड N.A. प्लॉट पडल्यामुळे टिका नं. १२ १२ सि.स.नं. १६६ मध्ये सामील झाल्यामुळे तेवढे क्षेत्र कमी.	S.F.		मते. 12
०८/१२/१९६८	भा.ग.च्या १९५६ च्या वजरा मागाचे वायव्या-नागल भ.रा म.च्या १९५८ अंमलवजावणी कायद्यानुसार व भा.स.च्या नागसंस्था कायद्यानुसार क्षेत्रआकाराचे रूपांतर ये.न			मते. 12



मालमत्ता पत्रक

विभाग/मोजे -- ठाणे शहर तालुका/न.भु.मा.का. -- ठाणे जिल्हा -- ठाणे
 शासनाला दिलेल्या आकाराचा किंवा भाड्याने तपशील आणि त्याच्या फेर तपसणीची नियत वेळ)

29/5
 (C)

क्र. नु.मान	शिट नंबर	प्लॉट नंबर	क्षेत्र चौ.मी.	धारणाधिकार
१६ १५	१६	१५		
३६७/१/१			[[२५७]] चौ.मी. २१४.८८	



ठाणे
 न - २
 दस्त क्रमांक २५७०/१० / २०२२
 २९ / ०६

सुविधाधिकार	--
हक्काचा मुळ धारक	ऐंगीकल्चरल
पट्टा	--
इतर नं.	--
इतर नं.	--

दिनांक	व्यवहार	खुंड क्रमांक	नविन धारक (धा) पट्टदार (प) किंवा धार (धा)	साक्षात्करण
०९/१२/१९६८	भा.स.च्या १९५६ च्या बजट न्यायाचे कायद्यान्वयेत म.रा.स.च्या १९७८ अंमल बजावणी कायद्यानुसार य भा.स.च्या नाणिसंधी कायद्याचा अर्थ रद्द.आकाराचे रूपांतर करणे.	क २१५८ क १६		मदी - ०९/१२/१९६८ दि.नि.नि.सं.५५५ (१) कायदा
०२/०२/१९७२	टि.नं.१५ सि.स.नं.२८ ३ प्रमाणे वि.श.प्लॉट मजूर झाल्याने न.भू. अ.ठाणे यांचे कडील आदेश प.न.भू.वा.र. (१) ४९५ ता.४-९-७२ अन्वये नोंद घेतली.		(III) (शारदादेव कृष्ण गहाडे)	मदी - ०२/०२/१९७२ C.T.S.O
०४/०९/१९७२	टि.नं.१५ सि.स.नं. २८-३ प्रमाणे खरेदी घेतल्याने न.भू.अ. ठाणे यांचे कडील क्र. नं.न.भू.वा.र.(१)४९५ ता.४-९-७२ अन्वये नोंद घेतली.		(H) (शारदादेव गंकर वाकडे)	मदी - ०४/०९/१९७२ C.T.S.O
	टि.नं.१५ सि.स.नं. २८-३ प्रमाणे खरेदी घेतल्याने न.भू.अ. ठाणे यांचे कडील आदेश क्र.न.भू.अ.न.भू. वा.र.र.(१)४९५ ता ४-९-७२ अन्वये नोंद घेतली.		(III) शारदादेव गंकर वाकडे शारदादेव गंकर वाकडे	मदी - ०४/०९/१९७२ C.T.S.O

सत्यप्रति

नक्कल आल्याची तारीख नोंदी
 नक्कल तयार तारीख ११/११/२३ रुपये ७५ + २
 नक्कल दिल्याची तारीख १८/११/२३
 नक्कल तयार करणार ठाणे
 नक्कल बपासणी करणार ठाणे
 एकूण फी ७६/-

प्रमुख लिपिक
 नगर भूमापन अधिकारी
 ठाणे



(C)

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मालमत्ता पत्रक

२६/५

विभाग/मोजे -- ठाणे शहर

तालुका/न.भू.मा.का. -- ठाणे

जिल्हा -- ठाणे न - २

नगर भूमापन क्रमांक 'स.प.न. न.	शिफ्ट नंबर	प्लॉट नंबर	क्षेत्र चौ.मां.	धारणाधिकार
१५ २८३	१५	२८३		

शासनाचा दिलेल्या आकाराची किंवा भाड्याचा तपशील आणि त्याच्या फर तपशीलाचा नियत दस्त) दस्ता क्र.मांक २५७८७/२०२२

साक्षकन ७८

दिनांक	व्यवहार	खंड क्रमांक	नविन धारक (धा) पट्टेदार (प) किंवा भार (भा)	सती -
०४/०९/१९७२	सेक्रेटरी प्रिय दर्शनी को.ऑ.होसिंग सोसायटी चे ता.२३-६-७१ चे अजां वरून व श्रीमती इंदिराबाई शंकर वाकडे यांचे ता.१८-६-७१ चे अजां वरून व स.र. उणे कडोल नोंद क्र. ३११ ता.१८-६-७१ चे Index II चे उतान्या वरून सदर हू मिळकती नंकी व टि.नं.१६ सि.स.नं.१५ मिळून ११४८ चौ.वाराचा प्लॉट र.रु.१,१४,८००/- पांटी खरंदी कान्याने सोसायटीचे नावे दाखल न.भू.अ.ठाणे कडोल भादरा क्र.न.भू.वार (१) ४९५ ता.४-९-७२ अन्वये नोंद	S.I.F.	(H) प्रिय दर्शनी को.ऑ. होसिंग सो.लि.	०४/०९/१९७२ C.T.S.O.
२०/०९/१९७७	मं.डि.ड.कलेक्टर ठाणे यांचे कडोल क्र.N.A.P.१०६ ता.८-११-८८ चे आदेशान्वये नवीन विन शंती सि.ग.नं.११ (टिका १६,पं) झालेने ७७४ चौ.वार मिटर क्षेत्र कमां कने			सती - न.भू.अ.ठाणे

तपासणी करणारा -

खरंदी नकारात -

ठ.णं

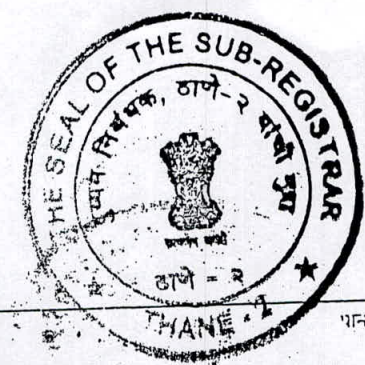
ठाणे

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सत्यप्रत

नक्कल आख्याची तारीख नोंदी ५
 नक्कल घयार तारीख ११/११/१९ रुपये १२०१.३
 नक्कल वित्याची तारीख १८/११/१९
 नक्कल घयार करणार
 नक्कल बपासणी करणार
 एकूण फी १२२/-

१०६९८१११९७
 प्रमुख लिपिक
 नगर भूमापन अधिकारी
 ठाणे



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Annexure C (D)

THANA BORO MUNICIPALITY COUNCIL

OCCUPATION CERTIFICATE NO. 1177/2770

79/2-12-72

Date 3-1-73

No. 1627

Commencement Certificate No. 44 Date 23-4-71

(1) Architects Name DUAVE KODLIKAR DINKAR CHAND
 Address Dr. Mous Road, Thana

(2) Owner's Name FOR PRIYADARSHINI CO-OP. HOUSING
 Address Ram Maruti Road Thana

(3) Locality u u u Tika No 16 C. S. Nos. 15

C. T. S. u H. No. u Plot No. u

Date of Certificate 2-1-73 And for which Floor Gr, 1st, 2nd, 3rd (part)

DIMENSIONS

	G.F. = FF = SF	J.P.
1) Ground Floor	1) Five Drawing 14' x 10' 6"	1) Three Drawing 14' x 10' 6"
2) First Floor	2) Two Bed = 10' x 11' 6"	2) Two Bed = 10' x 11' 6"
3) Second Floor	3) " " = 10' 6" x 11'	3) one " = 10' 6" x 11'
4) Third Floor (part)...	4) " " = 11' 6" x 10' 6"	4) Two Kitchens = 10' 6" x 10' 6"
5) Fourth Floor	5) " " = 11' 6" x 10' 6"	5) one " = 9' 6" x 11'
6) Priva	6) Two Kitchens = 9' 6" x 11' 6"	6) Three W.C.s = 4' x 3'
7) Water Tap :-	7) one " = 9' 6" x 11' 6"	7) " Baths = 6' x 4'
8) Sewerage	8) Two " = 10' 6" x 9' 6"	8) Balcony 3' & 4' 6" wide
9) Septic Tank	9) Five W.C.s = 4' x 3'	
10) Siphon	10) " Baths = 6' x 4'	
11) Trench	11) Balcony 3' & 4' 6" wide.	

Permission is hereby granted to occupy the above building as mentioned above.

- 1) Completion certificate shall be issued when the building is completed in all respects; you shall have to apply for it after the completion of the bldg. work
- 2) Building shall be taxed from the date of issue of occupation certificate.

3) Sewerage Control Chamber in the soak-pit shall be removed and inlet and outlet pipes from soak-pit shall be at proper levels.

THANA MUNICIPAL COUNCIL
 Town Development Officer
 Thana Brough Municipality



त न न - ५
 दात क्रमांक ८०३२ / २०२३
 ६० / २०४५



Certificate No. 5135

THANE MUNICIPAL CORPORATION, THANE

UDCPR Regulation No. 2, C. 5, 2, 7,
(Registration No. 3 & 24)

SANCTION OF DEVELOPMENT

PERMISSION/ COMMENCEMENT CERTIFICATE

Amended Permission/C.C.-

Building :- Ground (Pt.) + Stilt (Pt.) + Mezzanine /1st floor (pt.) + 2nd to 7th floors only.

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२५०८० / २०२२
२ - २

V. P. No. S02/0122/14

TMC / TDD / 4215 / 22

Date : 10/10/2022

To, Shri / Smt. 10 Folds Architects & Consultants (Architect)

Shri Priyadarshani CHS Ltd. (Owner) (Owners)

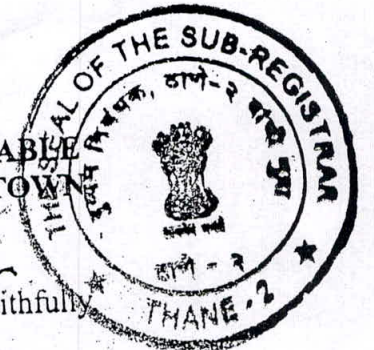
M/s. Aniruddha Group through its POA Holder Shri. Hemchandra Bhaskar Vaidya

With reference to your application No. 603 dated 1/04/2022 for development permission / grant of Commencement certificate under section 45 & 69 of the the Maharashtra Regional and Town Planning Act, 1966 to carry out development work and or to erect building No. As above in village Naupada Sector No. 2 Situated at Road/ Street 2.00 Mt. Road S.No./C.S.T.No./F.P.No. As below

The development permission / the commencement certificate is granted subject to the following conditions.

- 1) The land vacated in consequence of the enforcement of the set back line shall form Part of the public street.
 - 2) No new building or part thereof shall be occupied or allowed to be occupied or permitted to be used by any person until occupancy permission has been granted.
 - 3) The development permission / Commencement Certificate shall remain valid for a period of one year Commencing from the date of its issue.
 - 4) This permission does not entitle you to develop the land which does not vest in you.
- Mauje Naupada, Ghantali Road, Tal. & Dist. Thane on plot bearing C.T.S. No.15, Tika No. 16 & C.T.S. No.28/D/1, 28/D/2, Tika No.15.
- 5) This Permission is being issued as per the provisions of sanctioned Development Plan and Development Control Regulation. Any other statutory Permissions, as required from State and Central Govt. Departments undertaking shall be taken by the applicant. If any irregularity is found at later date, the Permission shall stand cancelled.
 - 6) Necessary Charges shall be paid to TMC as and when become due.
 - 7) Necessary Permissions from Revenue Department required for Development of land shall be taken as per Maharashtra Land Revenue Code & prevailing policies.

WARNING : PLEASE NOTE THAT THE DEVELOPMENT IN CONTRAVENTION OF THE APPROVED PLANS AMOUNTS TO COGNASIBLE OFFENCE PUNISHABLE UNDER THE MAHARASHTRA REGIONAL AND TOWN PLANNING ACT. 1966



Yours faithfully,

Office No. _____

Office Stamp _____

Date _____

Issued _____

Municipal Corporation of
the city of Thane.

P.T.O.,

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दस्ता क्रमांक २५७८७/२०२२

8) Thane Municipal Corporation shall not supply water for construction.
9) Applicant will remain responsible for any disputes regarding Ownership and boundary of plot & approach Road.

- 10) Permissions /Clearances/ NOC's from other Government Department, if any required shall be obtained by the applicant at appropriate stages.
- 11) Solar Water Heating System should be installed before applying for Occupation Certificate.
- 12) All site safety arrangements to be made while construction phase.
- 13) It is mandatory to implement Vector Borne Disease action plan.
- 14) Information Board to be displayed at site till Occupation Certificate.
- 15) The proposed Building should be structurally designed by considering seismic forces as per B.S. Code No.1893 & 4326 and certificate of structural stability should be submitted at the stage of plinth and Occupation Certificate.
- 16) It is necessary to submit Status of Work every three months by Architects & Applicants.
- 17) Design drawings from Service consultant for storm water drainage completion certificate of SWD Department before applying for Occupation Certificate.
- 18) If the no. of female labours on site is more than 10 then babysitting & other arrangements are to be provided for their children.
- 19) Lift Certificate from PWD should be submitted before Occupation Certificate.
- 20) Letter Box should be installed on ground floor before applying Occupation Certificate.
- 21) If any permissions/NOCs from other Government department should be obtained by Applicant, if applicable.
- 22) It shall be binding upon the owner/developer/POA to follow and abide by all the guidelines, rules and regulations issued by Central/State Government and TMC from time to time for prevention of COVID-19 pandemic.
- 23) Developer's Undertaking with respect to ULC shall be binding upon them.
- 24) C.C.T.V. shall be installed on site and completion certificate from consultants for the same will be submitted before applying for Occupation Certificate.
- 25) Rain water harvesting System should be installed before applying for Occupation Certificate.
- 26) Sanad from Hon. Collector department shall be submitted before applying for Occupation Certificate.

सावधान

"सर्वत्र नवप्रकल्पानुसार आधुनिक व फरणे तसेच विकास निर्वाह नियमावलीनुसार आवश्यक व्हा परवानग्या व देता बांधकाम बाबर फरणे, सहा.गव्ह प्रारंभिक व नगर रचना अधिनियमाचे कलम ५२ अनुसार शहरविकास मुळा अर्हे. त्यासाठी जास्तीत जास्त २ वर्षे वेळ घेऊ १०००/० वेड होऊ शकतो"

Yours Faithfully,

कार्यकारी अभियंता,
शहर विकास विभाग

Municipal Corporation of
the city of Thane.





Maharashtra Real Estate Regulatory Authority
CERTIFICATE FOR EXTENSION OF REGISTRATION OF PROJECT
FORM 'F'
[See rule 7(2)]

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दस्ता क्रमांक २५०६०/२०२२
४९ / ०६

This extension of registration is granted under section 6/7 of the Act, to the following project: *Project: PRIYADARSHANI CHS LIMITED* Plot Bearing / CTS / Survey / Final Plot No.: CST - 28 D, 15 at Thane (M Corp.), Thane, Thane, 400602; registered with the regulatory authority vide project registration certificate bearing No P51700016267 of

1. Aniruddha Group Shilpali Project having its registered office / principal place of business at Tehsil: Thane, District: Thane, Pin: 400602.

2. This renewal of registration is granted subject to the following conditions, namely:-

- The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 (2) of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
- The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub-clause (D) of clause (l) of sub-section (2) of section 4 read with Rule 5;

OR

That entire of the amounts to be realised hereinafter by me/promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated receivable of the project is less than the estimated cost of completion of the project.

- The registration shall be valid up to 30/12/2022 unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 6/7 of the Act read with rule 7 the Act.
- The promoter shall comply with the provisions of the Act and the rules and regulations made there under;
- That the promoter shall take all the pending approvals from the competent authorities
- If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.

Dated: 02/11/2022
Place: Mumbai

Signature valid
Digitally Signed by
Dr. Vasantrao Premanand Prabhu
Signature (Secretary, Maharashtra Real Estate Regulatory Authority)
Date: 02/11/2022 16:33:04
Maharashtra Real Estate Regulatory Authority



ट न न - २

दस्त क्रमांक २५७८७० / २०२२

10 FOLDS

ARCHITECTS & CONSULTANTS

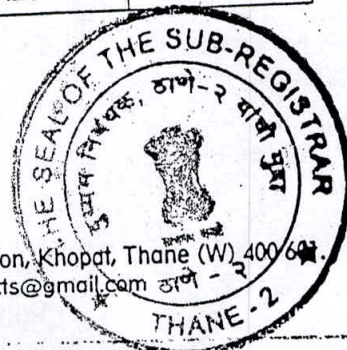
Date : 27/02/2018

TO WHOMSOEVER IT MAY CONCERN

This is to certify that the amended plans for the proposed development on plot bearing C. T. S. No. 15, Tika No. 16 & C. T. S. No. 28D, Tika No. 15 at village Ghantali Tal. & Dist. Thane for M/s. Aniruddha Group.

This to further certify that Amended Permission/Commencement Certificate is issued by Thane Municipal Corporation under V.P. No. S02/0122/14 vide no. TMC/TDD/1984/16 dated 08/11/2016 for **Building** - Ground (Part) + Still (Part) + Mezzanine/1st Floor (Part) + 5th Floor + 6th Floor (Part). The Carpet Areas (including Internal Walls, Door Jambs and Structural Members) as per the RERA Specifications is as under. The Area Statement is proposed by considering further increase in FSI by way of D.R./T.D.R. Premium FSI is details as below:

Building No.				
Area statement on Ground & Mezzanine Floor (Shop)				
	Ground Floor		Mezzanine Floor	
Shop No.	Carpet area (Sq.Mt.)		Carpet area (Sq.Mt.)	
Shop No. 1	69.68		34.94	
Shop No. 2	69.68		34.94	
Area statement of 1 st Floor				
Flat No.	Carpet Area (Sq.Mt.)	Balcony Area (Sq.Mt.)	Cupboard Area (Sq.Mt.)	Sr. Duct (Sq.Mt.)
1	56.49	9.57	2.46	2.96
2	56.49	9.57	2.46	3.96
Area statement of 2 nd Floor				
Flat No.	Carpet Area (Sq.Mt.)	Balcony Area (Sq.Mt.)	Cupboard Area (Sq.Mt.)	Sr. Duct (Sq.Mt.)
1	50.67	2.44	1.34	2.50
2	56.43	9.57	2.46	3.15
3	56.27	9.57	2.46	3.22
4	71.25	13.93	1.26	2.71



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दस्ता क्रमांक २५७७७/२०२२
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10 FOLDS
ARCHITECTS & CONSULTANTS

Area statement of Typical floor (3 rd & 5 th Floor)				
Flat No.	Carpet Area (Sq.Mt.)	Balcony Area (Sq.Mt.)	Cupboard Area (Sq.Mt.)	Sr. Duct (Sq.Mt.)
1	56.43	9.57	2.46	3.15
2	56.43	9.57	2.46	3.15
3	56.27	9.57	2.46	3.22
4	56.27	9.57	2.46	3.22
Area Statement of 4 th Floor				
Flat No.	Carpet Area (Sq.Mt.)	Balcony Area (Sq.Mt.)	Cupboard Area (Sq.Mt.)	S. R. Duct
1	56.43	9.57	2.46	3.15
2	56.43	9.57	2.46	3.15
3	56.27	9.57	2.46	3.22
4	61.37	9.57	2.46	3.22
Area statement of 6 th Floor				
Flat No.	Carpet Area (Sq.Mt.)	Balcony Area (Sq.Mt.)	Cupboard Area (Sq.Mt.)	Sr. Duct (Sq.Mt.)
2	56.43	9.57	2.46	2.93
3	56.27	9.57	2.46	3.22
4	56.27	9.57	2.46	3.22

Note: The room dimensions mentioned in sanctioned plan may vary due to the structural members and the thickness of wall finishing.

This certificate is issued on request of the client.

Yours faithfully,
10 FOLDS
Architects & Consultants.

(Signature)

(ARCHITECT)
Reg. No. CA/2001/2698



ट न न - २ (A)
 क्रमांक २५७७० / २०२२
 ५७ / ७८

DESCRIPTION OF PROPOSAL AND PROPERTY
 TIKA NO. 16, C.T. S. NO. 2070, C.T. S. NO. 16 AT MALPADA, GHAWATI RD. THANE (W)

PROFORMA - I

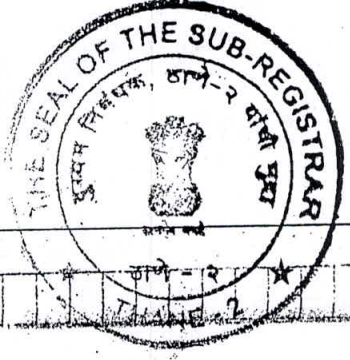
AREA STATEMENT	SQ. MT.
1. AREA OF PLOT (Minimum area of 4.12 to be considered)	980.00
2. As per consented documents (7/12, CTS, extract)	820.50
3. As per consented sheet	178.48
4. As per sheet	578.02
5. Deducted for: a. Proposed D.P./D.P. Road width as per Services Road/Highway 12.20 M. W.D. (D.U.)	34.75
b. As per D.P. (Sanitary) Area	8.71
c. Total (a+b)	43.46
6. Balance area of plot (1+2)	837.04
7. AMENITY Spaces (If applicable)	915.20
8. Net Plac Area (1+4-6)	837.04
9. Recreational Open spaces (If applicable)	837.04
10. Internal Road area	837.04
11. Placable area (If applicable)	837.04
12. Built up area with reference to Basic F.S.I. as per front road width (Sr. No. Schedule F.S.I.) (605.25 X 1.1 = 665.77 SQ.MT.)	665.77
13. Addition of FSI on payment of premium	177.38
14. Maximum permissible premium FSI based on road width (TDR Zone). 50% ADDITIONAL FSI WITH PREMIUM (885.80 X 50% = 442.90 sq. mt.)	177.38
15. Proposed FSI on payment of premium already utilized	177.38
16. Net - Site FSI / TDR loading	109.50
17. In-situ area against D.P. road [2.8x Sr. No.2 (e)], if any (54.75 X 2) = 109.50 SQ.MT.	109.50
18. In-situ area against Amenity Spaces if handed over (2.90 or 1.85 X Sr. No. 2 (b) and/or (c)).	109.50
19. TDR area 65% D.R. / D.R. PERMISSIBLE OF (860.00 X 65% = 559.00 sq. mt) (30% G.U.M. T.O.R. 1) = 252.00 X 30% = 75.60 SQ.MT. (70% Regular T.O.R. 1) = 624.00 X 70% = 436.80 SQ.MT. D.R. Generated in own plot = 109.50 SQ.MT. REGULAR TDR BALANCE: 436.80 - 109.50 = 327.30 SQ.MT. D.R.C. No.-122 (282.00 SQ.MT.)	282.00
20. 100% in-situ / TDR loading proposed (11(a)+(b)+(c))	361.50
21. Additional FSI area under Chapter No.7 As per JUDPR 10.2.10 (1.50% Additional Area of Existing Reg. Area. As Per Mentioned Para Dated - 23-4-77. 359.72 x 50% = 179.86 sq.mt.	479.86
22. Total entitlement of FSI in the proposal	2044.51

STAMP OF DATE OF APPROVAL OF PLANS

Plans are approved subject to conditions
 prescribed in Form (No. V.P. 32A) dated 10/12/2011
 TIKA/10-08/15/41/1/1/2011

[Signature]
 Deputy Engineer
 (TDR)
 The Municipal Corporation
 Thane City of Thane

[Signature]
 सचिव
 नगरपालिका, ठाणे - २
 शिवाजी नगर, ठाणे - २
 पत्तिका सं. १०१, ठाणे - २
 वेबसाईट: www.thanemunicipal.gov.in



[Signature]

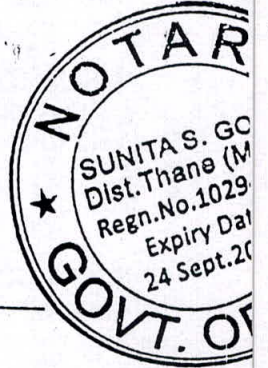
M.B. Satra

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दस्ता क्रमांक २५०७७ / २०२२
५० / ७८

(K)

CHINMAY S. APTE
ADVOCATE

OFF: - 403 CHAITANYA AVENUE, LBS ROAD, NR. TEEN PETROL PUMP,
PANCHPAKHADI, THANE (W) - 400 602.



TITLE CERTIFICATE

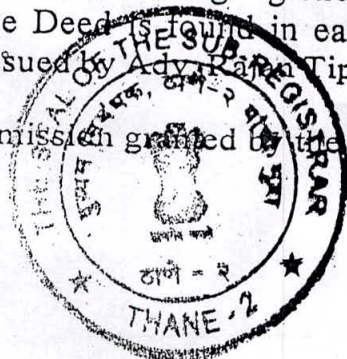
The subject matter of the present Title Certificate is all that piece and parcel of plot of land bearing City Survey no.28D, Tikka no.15 and City Survey no.15 and Tikka no.16, an area admeasuring 1148 Square Yards i.e. 960 Square Meters, lying being and situated at Ram Ganesh Gadkari Path, Village - Panchpakhadi, Taluka and District - Thane and now within the territorial limits of Thane Municipal Corporation, and bounded as under: -

- On or towards East : Kaka Sohoni Path
- On or towards West : Kamadhenu Society's private road.
- On or towards South : Ram Ganesh Gadkari Path.
- On or towards North : Property of Dr. Bhagwat.

(This property is hereinafter referred to as the "Said Property")

As per the instructions received from my client Priyadarshani Co-operative Housing Society, through its Power of Attorney M/s Aniruddha Group (Shilpali project), having address at: -Shop no.1, Shubh Jyot, Ghantali, Naupada, Thane (W) 400 602. I have investigated the title of the Said Property, during the investigation of Title, I had an occasion to inspect the following documents: -

1. Certificate of Incorporation of the Priyadarshani Co-operative Housing Society Limited issued by the Assistant Registrar of Co-operative Societies, Thane dated 6th April 1971 bearing registration no.TNA-HSG-766.
2. Sale Deed dated 23rd April 1971 executed by one Smt. Indirabai Shankar Wakade, in favor of Priyadarshani Co-operative Housing Society Limited. The said Sale Deed dated 23rd April 1971 is duly registered with the office of Sub-Registrar Thane bearing registration no.THN-311/1971. Reference of this Sale Deed is found in earlier Title Certificate dated 28th October 2013 issued by the Dy. Registrar, Thane.
3. Order of Permanent Non-Agricultural Permission granted by the Dy. Collector, Thane dated 25th June 1952.



4. Indenture of Mortgage dated 10th September 1971, 14th November 1972 and dated 31st December 1973 executed by and between Life Insurance Corporation of India and Priyadarshani Co-operative Housing Society.

5. Occupation Certificate issued by the then Thana Municipal Council bearing no.1179/2740 dated 3rd January 1973.

6. Agreement of Release/Redemption dated 15th January 2001 executed between the Life Insurance Corporation of India and Priyadarshani Co-operative Housing Society. The Agreement for Release/Redemption is duly registered with the office of Sub-Registrar of Assurances, Thane bearing registration no.TNN-1/257/2001 which refers to the Indenture of Mortgage dated 10th September 1971, 14th November 1972 and dated 31st December 1973.

7. No-claim, No-dues letter issued by the Life Insurance Corporation of India in favor of Priyadarshani Co-operative Housing Society.

8. Development Agreement dated 2nd August 2013 executed by Priyadarshani Co-operative Housing Society in favor of M/s Aniruddha Group (Shilpali project): The said Development Agreement dated 2nd August 2013 is duly registered with the office of Sub-Registrar of Assurances, Thane bearing registration no.TNN-5/8032/2013.

9. Power of Attorney dated 2nd August 2013 executed by Priyadarshani Co-operative Housing Society in favor of M/s Anirudha Group (Shilpali project) bearing registration no.TNN-5/8033/2013.

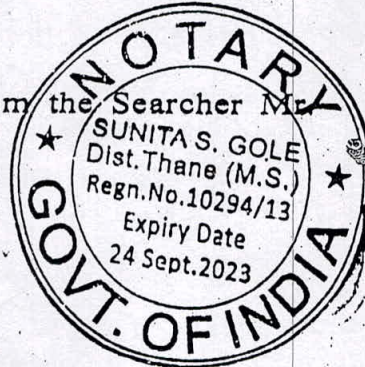
10. Commencement Certificate issued by the Thane Municipal Corporation bearing VP no. S02/0122/14/TMC/TDD/3644/21 dated 28th July 2021.

11. Property Card pertaining to City Survey no.28D, Tikka no.15.

12. Property Card pertaining to City Survey no.15, Tikka no.16.

13. Paper Notice published in daily 'Thane Vaibhav' in its edition dated 14th September 2022.

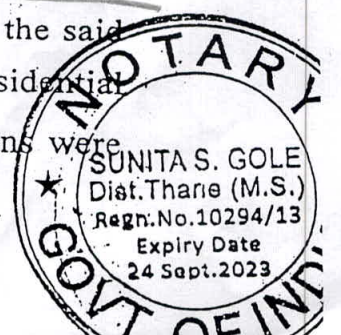
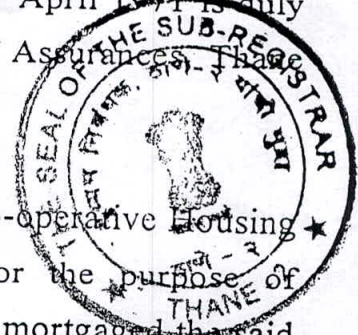
14. Search Report dated 26th September 2022 from the Searcher Mr. Sachin Patil in respect of the said property.



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From all the aforesaid documents following observations can be made:-

- A. From the perusal of the Property Card pertaining to the Said Property, it appears that originally one Smt. Indirabai Shankar Wakde purchased the said property from one Shri. Vasudev Krishna Shahade. From the perusal of the Order dated 25th June 1952 passed by the Dy. Collector, Thane, it appears that the permanent Non-Agricultural permission was granted in respect of the said property. The Priyadarshani Co-operative Housing Society was formed under the provisions of Maharashtra Co-operative Societies Act, bearing its registration no. TNA-HSG-766-1971 and accordingly Certificate of Incorporation was issued by the Assistant Registrar of Co-operative Societies, Thane on 6th April 1971.
- B. The said Priyadarshani Co-operative Housing Society purchased the said property along with the structure standing thereon from the owner i.e., Smt. Indirabai Shankar Wakde vide a Sale Deed dated 23rd April 1971. The said Sale Deed dated 23rd April 1971 is duly registered with the Office of Sub-Registrar of Assurances, Thane bearing registration no. THN-311/1971.
- C. It further appears that the said Priyadarshani Co-operative Housing Society for the purpose of raising funds for the purpose of construction of a new building, the said society mortgaged the said property with the Life Insurance Corporation of India. Accordingly, Agreements dated 10th September 1971, 14th November 1972 and Agreement dated 31st December 1973 were entered into in between the Life Insurance Corporation of India and the said Priyadarshani Co-operative Housing Society. After sanctioning the loan, the said Priyadarshani Co-operative Society caused to construct a residential building upon the said property. And accordingly, the plans were



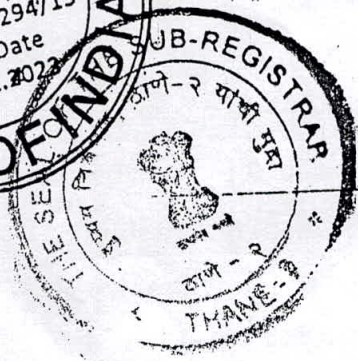
दस्ता क्रमांक 24666 / 2022

submitted to the planning authority and the planning authority was pleased to issue Commencement Certificate in respect of the said property bearing no.44 dated 23rd April 1971. The said Priyadarshani Co-operative Housing Society appears to have constructed the building as per the sanctioned plan, and the then Thana Municipal Council was pleased to issue the Occupation Certificate dated 3rd January 1973 bearing no.1179/2740.

D. In due course of time, the said Priyadarshani Co-operative Housing Society repaid the whole loan amount to the Life Insurance Corporation of India. Contemporaneously Agreement for Redemption/Release was executed between the Life Insurance Corporation of India and the said Priyadarshani Co-operative Housing Society dated 15th January 2001. The said Agreement for Redemption/Release is duly registered with the Office of Sub-Registrar of Assurances, Thane bearing its registration no.TNN-1/257/2001. As the said Priyadarshani Co-operative Housing Society repaid total loan amount along with the interest, the Life Insurance Corporation of India was also pleased to issue No-Claim/No-Dues Certificate in favor of the said Priyadarshani Co-operative Housing Society.

E. Thereafter with a view to reconstruct the building on the said property or to redevelop the said property, the said Priyadarshani Co-operative Housing Society in confirmation with its members entered into the Development Agreement dated 2nd August 2013 with M/s Aniruddha Group (Shilpali project). The said Development Agreement dated 2nd August 2013 is duly registered with the Office of Sub-Registrar of Assurances, Thane bearing registration no.TNN-5/8032/2013. In addition to the Development Agreement

the said Priyadarshani Co-operative Housing Society also executed

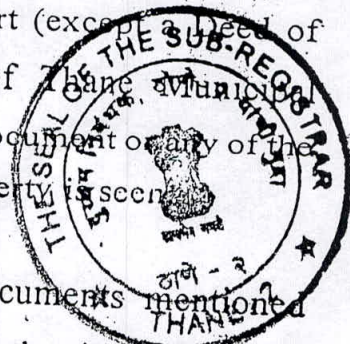


Builder
After
Agreement for sale

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a Power of Attorney in favor of M/s Aniruddha Group (Shilpali Project) dated 2nd August 2013. The said Power of Attorney dated 2nd August 2013 is also duly registered with the Office of Sub-Registrar of Assurances, Thane bearing registration no. TNN-5/8033/2013. The said M/s Aniruddha Group (Shilpali Project) after getting the rights to develop the said property, appears to have submitted the plans to the Thane Municipal Corporation through its Architect. The Thane Municipal Corporation appears to have issued issue the Commencement Certificate in respect of the said property dated 28th July 2021 bearing VP no. S02/0122/14/TMC/TDD/3644/21.

- F. After taking consent from the Priyadarshani Co-operative Housing Society, the paper publication was published in daily 'Thane Vaibhav' in its edition dated 14th September 2022 for inviting objections from the public at large (if any). The undersigned or even the said Priyadarshani Co-operative Housing Society Limited has not received any of the objection/s from anyone in respect of the said property. The undersigned also took the search of the said property for last 30 years i.e. from the year 1992 to 2021 from the searcher Mr. Sachin patil, the searcher has submitted his search report dated 26th September 2022 and in that search report (except a Deed of Transfer dated 21st June 2017 in favor of Thane Municipal Corporation) no any objectionable registered document or any of the registered document in respect of the said property has been seen.
- G. Therefore, in my opinion, subject to the documents mentioned hereinabove, including the chain of documents the title of the said Priyadarshani Co-operative Housing Society in respect of the said property appears to be clear and marketable. I also observe that, the said developer M/s Aniruddha Group (Shilpali Project) has



lawful rights of development / redevelopment of the said property on the basis of registered Development Agreement and Power of Attorney both dated 2nd August 2013 read with Commencement Certificate dated 28th July 2021 issued by TMC and other documents.

H. Hence this Title Certificate.

Place - Thane

Date - 27.09.2022

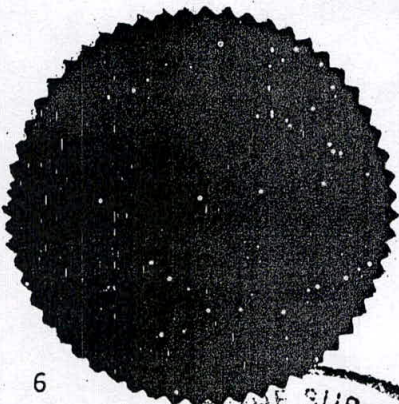
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दस्त क्रमांक २५७८८० / २०२२
६० / ७८

SAPTE
27.9.22
Chinmay S. Apte
Advocate

CHINMAY SANJAY APTE
ADVOCATE
9819815553



TRUE COPY
Sunita S. Gole
SUNITA S. GOLE
ADVOCATE & NOTARY
Off.: Shop No. 3, Near Food Box Hotel,
Behind Sai Baba Mandir, Thane Court Naka,
Thane (W)-400601. Mob.: 9819815553



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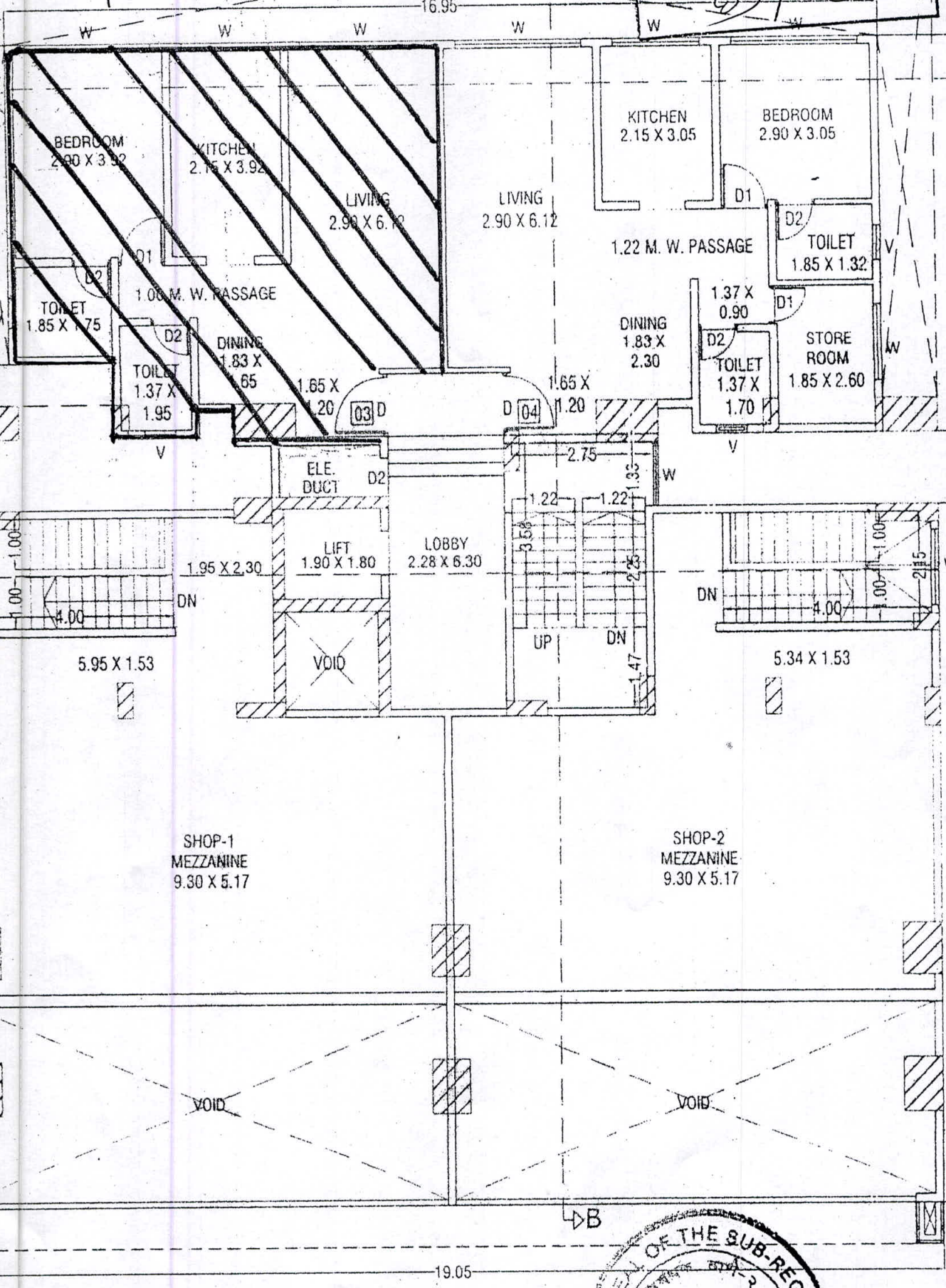
TERRACE LINE AT 2ND FLOOR

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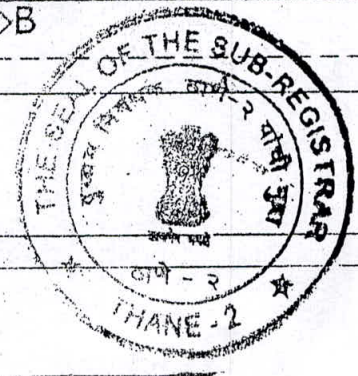
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1ST FLOOR PLAN
SCALE - 1:100



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९५ / ८८

(L)

ANNEXURE 'O'
Specification and Amenities To Be Provided

1) **Anti termite treatment:**

The foundation and the structure below ground level shall be treated with latest anti termite solution as per standard practice with guarantee for 10 years. Plinth level will be kept sufficiently high to avoid flooding.

2) **Foundation & Structural frame:**

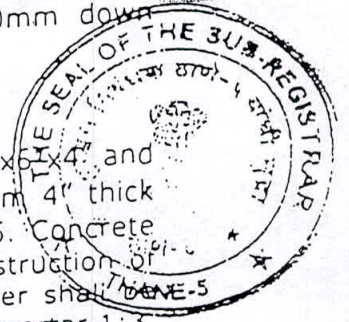
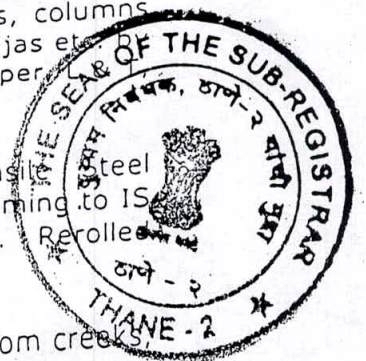
The building shall be R.C.C. frame structure with open foundations/piled foundation as per structural designer's advice. In case open foundations are used, subsoil water oozing in the excavated pits shall be bared out and pits shall be kept dry before concreting. Structural concrete shall be invariably machine mixed and mechanically vibrated. Such concrete used in foundations, columns, beams, slabs etc shall not be leaner than M200 in design mix and 1:2:4 in nominal mix. Minimum consumption of cement for structural concrete shall be 400 Kg/cubic meter. The mix design and grading of aggregate shall be as per IS code 456 latest. The quantum of water used shall be as specified in design mix. Or with maximum water cement ratio of 0.48. Curing shall be continuous and/or minimum 14 days. Curing of beams, columns etc, shall be with tying of wet gunny bags and slabs, chajjas etc, ponding water. Cement used shall be 53 grade. Birla Super Ambuja or Ultra Tech brand.

Reinforcement used shall be hot rolled High Tensile steel confirming to IS 1786 for Main steel and Mild steel confirming to IS 432 grade I for Distribution steel and nominal stirrups. Reloiled steel shall not be used.

Sand shall be from river beds. In case sand is brought from creeks it shall be thoroughly washed to remove salinity. 20mm down grade aggregates used shall be freshly crushed stones.

3) **Brick work & Plaster**

External walls shall be 9" thick built with bricks of size 9"x6"x4" and in cement mortar 1:5. Internal walls shall be minimum 4" thick built with bricks of size 9"x4"x3" in cement mortar 1:5. Concrete blocks shall not be used in place of bricks for the construction of external walls as well as internal walls. External plaster shall be 20mm thick in tv:o coats (14 mm and 6 mm) in cement mortar 1:3. The base coat shall be roughened to receive sand faced treatment by taking out grains. Water proofing compound of approved make shall be used in this plaster. Chicken mesh shall be provided on all the RCC and brick work joints. Plaster shall be cured for minimum three days. Sand to be used for external plaster shall be strictly from the river beds and not from the sea creeks.



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plaster shall be
strictly from the river beds and not from the sea creeks.
क्रमांक ०३२ / २०२२

Initials

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 दस्त क्रमांक २५०६० / २०२२
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Internal plaster shall be 12mm thick, single coat, in cement mortar 1:4, Chicken mesh shall be provided on all RCC and brick work joints. Ceiling cement plaster shall be 6mm thick in cement mortar 1:3. Sand used shall be from the river bed.

Internal walls shall be POP/Gypsum finish as per ISI specifications.

Halls shall have decorative cornice.

4) Building Entrance and Stair steps:

Building entrance lobby and all landings shall have 20 mm thick polished granite flooring of brick red colour. The trades and raisers up to terrace landing shall be of brick red granite with non skid grooves and proper nosing. Skirting shall be of matching granite. The side parapets will have granite stone patti with rounded corners at top. Sides, other than parapets, shall have stainless steel pipe railings.

5) Flooring:

Living Room shall have vitrified tiles 3'x3' size. Bed Rooms, Passages and kitchens shall have vitrified tiles of size 2'x2'. Skirting will be of matching tiles.

Bath rooms and toilets shall have white marble flooring. Dado in Bath Rooms and Toilets shall be full height with ceramic glazed tiles of approved make and colour with designer border.

Open Shelves in marble (white) patti and Quarter round white marble piece shall be provided at suitable locations and in the corners in the toilets/bathrooms and ceramic built in soap holders at suitable locations.

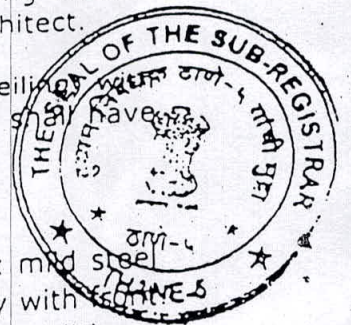
6) Kitchen Platform:

Kitchen platform shall be in polished black granite stone slab 1" thick (one side polished), vertical double cuddapah supports, stainless steel trolleys with sunmica drawer face, provisions for 2LPG cylinders, stainless steel sink (450mm x 600mm) 'Nirali' with all fixtures and fittings, granite face patti, 3/4" thick all round. Overall size of kitchen platform shall be 2' - 6" wide 2' - 6" high and length suiting to kitchen size. Service Platform adjoining kitchen platform shall be of black granite and as indicated by Architect.

Dado over kitchen platform shall be full height (up to ceiling) with ceramic glazed tiles of approved make and colour. The dado shall have designer border.

Doors and Windows:-

Main door shall have teak wood frame 6"x 3" with six mild steel hold fasts. Shutters shall be solid flush commercial ply with side milled and backside with lamination. The door shall have stainless steel hinges of appropriate size, fancy stainless steel heavy quality aldop with double locking facility, Godrej night latches, door eye, flat numbering figure, S.S. Tower bolts, S.S. Safety chain, door stoppers, door handles etc. Architraves shall be provided for all door frames.



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दस्ता क्रमांक २५०८०/२०२२
६०/८८

Safety door shall be fixed on main door frame. It shall be partly paneled (t.w) up to 3.0" and partly having stainless steel bars/grill of appropriate design. Safety door shall have Godrej night latch, tower bolts; 3 S.S hinges, Tadi etc.

Internal doors shall have teak wood frame 5" x 3.1/2 size with four mild steel hold fasts, solid core commercial flush type shutters, laminated on both side. The shutter shall have three S.S. hinges, fancy S.S. heavy quality aldop, S.S.Tadi, S.S. Tower bolt, decorative S.S.handles, door stoppers etc.

Bath Room and Toilet doors shall have green marble frame with moulding. The shutters shall have Jindal aluminium (anodized) scantlings, with non transparent acrylic sheet panels, top panel shall have decorated/designed 5 mm thick bajara glass panels and 3 S.S. hinges 2 Tower Bolts, S.S. handles.

WINDOWS:-

Windows shall have green granite frames with moulding, green granite fixed at bottom and sides (double Patti) and top (single Patti)

Jindal make anodized aluminium sliding shutters (heavy duty) in three tract/four tract shall be made out of Jindal anodized aluminium heavy duty sections. Louvered fixed glazed ventilators shall be provided at top. Shutter shall have 5mm thick tinted plain glasses, nylon bearings, automatic lock etc. One bay in the frame shall have S.S mosquito net.

All windows and ventilators shall have heavy M.S. box type grills. The sill of the window in the living room shall be 1' - 6" from the floor level (i.e. French window) but the box type M.S.grill shall be from floor level to lintel level.

8) **Painting:-**

External painting shall be single coat (base coat) of white cement paint and two coats of acrylic paint of reputed brand. Cement paint shall be cured for minimum three days.

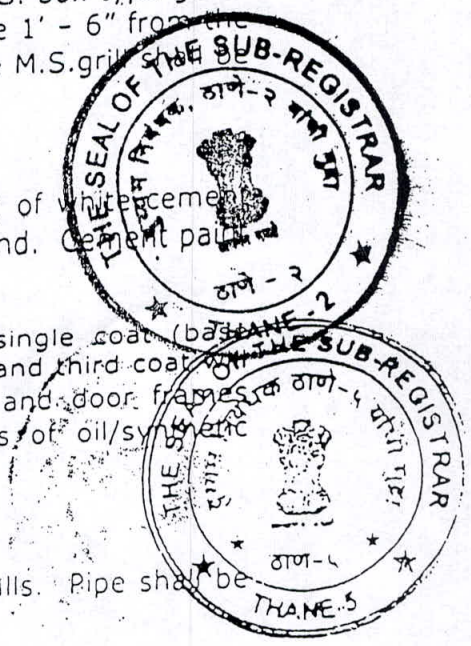
Internal painting shall be with cement primer single coat (base coat) cured properly and partly finished. Second and third coat shall be of plastic emulsion/acrylic paint. M.S. Grills and door frames shall have suitable primer coats and two coats of oil/synthetic paint.

9) **Plumbing:-**

The water supply pipes shall be concealed in walls. Pipe shall be GI, 'C' class Tata or Zenith make.

Inde

Bath Rooms shall have square stop cocks, pillar cocks, stainless steel ceiling shower, mixer hand shower, solar water connection, bore well water connection etc. and one main stop cock at entry point of water supply pipe in the flat. Connection points shall be provided for washing machines and suitable places. Bathrooms shall have stainless steel towel rods of appropriate size.



दस्ता क्रमांक २५०८०/२०२२
६०/८८

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10) W.C.Pans:-

One European type / Indian type Orissa pattern W.C. Pan of appropriate colour and medium size (standard size) shall be provided in each toilet. The make of W.C pans shall be Neycer/Parry ware/Hindustan. The W.C pans shall have high level polymer plastic flushing system of double control flush flow make.

11) Wash Basins:-

Glazed earthen ware wash basin of appropriate colour Neycer /Parry ware/Hindustan make 21" wide x 18" deep shall be provided alongwith Jagter quarter opening cock and inlet stop cock. Good quality Belgian glass mirror of appropriate size shall be provided on each of the wash basins.

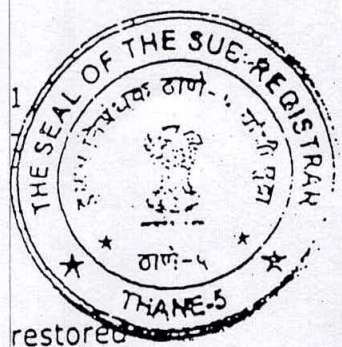
12) Electrical:-

Internal wiring shall be of copper 7.20 amp for distribution and 3.2 amp for circuits. Power point shall have copper wires of appropriate size. The wiring shall be concealed type using PVC conduits. Switches and other accessories provided shall be 'Anchor' make.

External wiring shall be of copper cable having adequate capacity. The wire shall have PVC conduits. Switch boards shall be flush on walls and shall have ready made switch boxes.

The electrical points shall be provided as follows:-

Rooms	Light Point	Fan Point	Plug Point	Power Point	T.V point	Tel point	Exhaust Fan point
Living Room	5	3	4	2	1	1	-
Kitchen	2	1	2	3	-	-	1
Bed Room (each)	3	1	2	1	1	1	-
Toilet	1	-	1	1	-	-	1
Passage	1	-	2	-	-	-	-
Wash Basin	1	-	1	-	-	-	-



Telephone and T.V:

Existing telephone and Path Band connection will be restored in all new flats. Living Room and each Bed Room will have one telephone and one T.V connection.



Two Pole MCB and MCB (32 amp and 30MA sensitivity) of 'Datar Switchgear' make with powder coated M.S. distribution board in each flat and main switchboard of the building.

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 क्रमांक २०३२ / २०२३
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६९ / ७८

Each flat shall be provided with inverter of reputed make having capacity to provide electricity to one light point, one fan point in Living Room, in each Bed Room and in Kitchen and T.V point in Living Room and one mixer point in Kitchen. All electrical installations shall have adequate earthing.

Intercom service connecting all flats and watchman at security desk shall be provided. The Developer shall provide exhaust fan in each toilet and kitchen. He shall also provide gas geyser in each toilet/bathroom.

13) Water Proofing:-

Water proofing of terraces shall be with 4 1/2" brick bat coba, 1 1/2" thick laid to proper slope, standard water proofing material over laid by 1 1/2" I.P.S./China mosaic flooring, round watta at the corners shall be provided. Tops of parapets on terrace shall have cuddappah patti. Bathroom and toilets shall have brick bat coba, in cement mortar 1:3 mixed with standard water proofing compound, laid on a base coat of water proofing material. Chajjas and other projections shall have I.P.S. mixed with standard water proofing compound only.

Water proofing shall have guarantee of 10 years.

14) Lofts:-

Lofts shall be provided on toilets/bath rooms and in kitchens and bed rooms.

15) Windows shall have chajjas. Corbels, projecting gabs, shall be provided on alternate floors.

16) Underground and Overhead Tank:

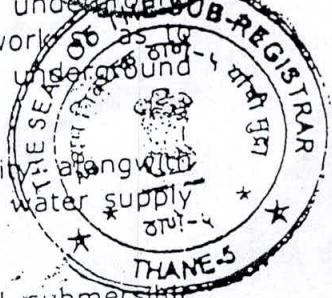
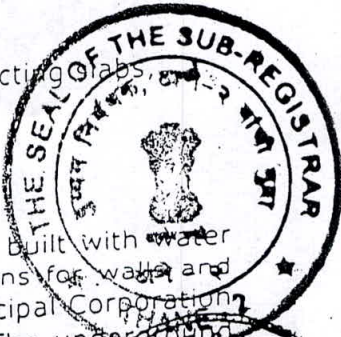
RCC underground and overhead tanks shall be built with water proof cement concrete and non cracking sections for walls and bottoms. The sizes shall be as per Thane Municipal Corporation rules/Building code, including all accessories. The underground tank shall be surrounded by 9" brick masonry work to avoid leakages of contaminated ground water in underground tanks.

A separate overhead tank of adequate capacity along with separate plumbing lines shall be provided for the water supply to commercial portion.

The underground tank shall have two electrical submersible pumps, Kirloskar / CMI / Laxmi make, (One stand by) of appropriate capacity. The pumps shall have automatic operation designed by reputed company

17) Bore Well:-

Bore well shall be provided in Society's premises. Bore well shall have adequate yield with water tasted for safe use. It shall have submersible pump (along with a stand by pump) of adequate capacity and independent storage tank at terrace level with capacity over and above the requirement for Thane



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क्रमांक २०३२ / २०२३
१६९ / २०५

Handwritten signature/initials

ट न न - २
दस्त क्रमांक २५०८० / २०२३
७० / ७८

Municipal Corporation water supply. Separate connection of bore water shall be given to toilets and bathrooms.

Solar water heating system shall be installed at terrace with pipe connections to bathrooms and in kitchen sinks. The solar system shall be purchased in the Society's name.

18) Compound Wall and Gate:-

Residential portion shall have 9" thick brick, 4'6" high, masonry wall with pillars and proper foundation, on Path side and rear side as per Architect's design. The compound wall shall have main decorated M.S gate and wicket gate as per Architect's drawing. Commercial portion shall have railing on the plot boundary as per Architect's design.

19) Elevator:

Elevator shall be with capacity of six persons. It shall be Otis make with lift machine and other ancillaries. The lift shall have UPS/Inverter power backup for three hours minimum. The lift cage shall have a window of adequate size. The doors at each floor landing shall also have matching window of adequate size.

20) Rain water harvesting as per Thane Municipal Corporation rules shall be provided.

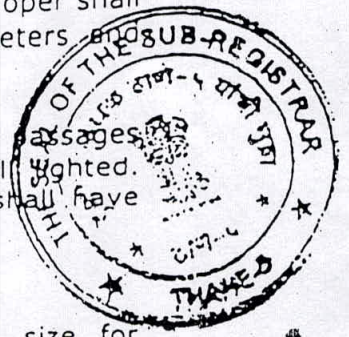
21) Landscaping and paving in Society's premises shall be as directed by Architect. 9" rubble soling shall be provided under PCC of paving. Paving shall be with coloured interlocking blocks.

22) Members in Society have already booked for Mahanagar Gas Connection. Developer shall follow up the Mahanagar Gas and get the gas connection to each flat in redeveloped building. Builder shall provide a gas connection point in Kitchen and in Bathrooms for geyser.

23) The Developer shall provide well designed name plates in entrance lobby and provide letter boxes for each flat of appropriate sizes and design.

24) Electrical meter boxes shall be located in passage to entrance lobby or at convenient place. The Developer shall provide and bear charges for new electrical meters and connections.

The compound and common areas such as passages (lobbies) on all floors, stilts etc. shall be well lighted. General terraces on sixth & seventh floor also shall have proper lighting



Handwritten signature/initials

Stainless steel letters in Marathi of adequate size for displaying Society's name on front side i.e. facing Ram Ganesh Gadakari Path shall be fixed as directed by Architect. Society's name with adequate size letters shall be painted on sides facing Kaka Sohoni Path and Kamadhenu Society.

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दस्त क्रमांक २०३२ / २०२३
९८२ / २४५

M.B. Satra

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दस्ता क्रमांक २५७७७ / २०२२
७९ / ७८

स्थायी लेखा संख्या / PERMANENT ACCOUNT NUMBER
AAIPV6064F

नाम / NAME
HEMCHANDRA BHASKAR VAIDYA

पिता का नाम / FATHER'S NAME
BHASKAR NILKANTH VAIDYA

जन्म तिथि / DATE OF BIRTH
19-08-1966

हस्ताक्षर / SIGNATURE
Hemchandra Vaidya


आयकर आयुक्त-1, पुणे
Commissioner of Income-tax I, Pune

Mech



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दस्त क्रमांक २५७७० / २०२२
७३ / ७८


स्थायी लेखा संख्या / PERMANENT ACCOUNT NUMBER
AAIIV8133D



नाम / NAME
DEEPEEN JETHALAL VIKAM

पिता का नाम / FATHER'S NAME
JETHALAL RAVJI VIKAM

जन्म तिथि / DATE OF BIRTH
13-09-1965

हस्ताक्षर / SIGNATURE


आयकर आयुक्त-1, पुणे
Commissioner of Income-tax I, Pune





आयकर विभाग
INCOME TAX DEPARTMENT

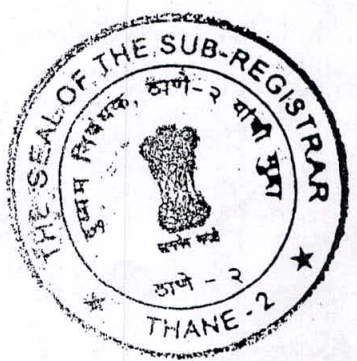
भारत सरकार
GOVT. OF INDIA

MITTAL BHARAT SATRA
KANTILAL PUNSHI NISHAR
24/10/1981
Permanent Account Number
AVEPS4701P

M.B. Satra
Signature



M.B. Satra



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दस्त क्रमांक २५६०८०/२०२२

७५ / ७८



भारत सरकार

Government of India



भारत उमार्शी सतरा
Bharat Umarshi Satra

जन्म तारीख / DOB : 08/10/1978

पुरुष / Male



4850 8250 4661

आधार - सामान्य माणसाचा अधिकार

B-U-Satry



74/25787

बुधवार, 23 नोव्हेंबर 2022 1:37 म.नं.

दस्त गोषवारा भाग-1

टनन2

00102

दस्त क्रमांक: 25787/2022

दस्त क्रमांक: टनन2 /25787/2022

बाजार मुल्य: रु. 83,05,278/-

मोबदला: रु. 75,50,000/-

भरलेले मुद्रांक शुल्क: रु.5,81,400/-

दु. नि. सह. दु. नि. टनन2 यांचे कार्यालयात

अ. क्र.: 25787- वर दि.23-11-2022

रोजी 1:34 म.नं. वा. हजर केला.

पावती:28586

पावती दिनांक: 23/11/2022

सादरकरणाराचे नाव: मित्तल भरत सत्रा - -

नोंदणी फी

रु. 30000.00

दस्त हाताळणी फी

रु. 1560.00

पृष्ठांची संख्या: 78

एकुण: 31560.00

M. B. Satra

दस्त हजर करणाऱ्याची सही:

M. B. Satra

Joint Sub Registrar Thane 2

M. B. Satra

Joint Sub Registrar Thane 2

दस्ताचा प्रकार: करारनामा

मुद्रांक शुल्क: (एक) कोणत्याही महानगरपालिकेच्या हद्दीत किंवा स्थालगत असलेल्या कोणत्याही कटक क्षेत्राच्या हद्दीत किंवा उप-खंड (दोन) मध्ये नमूद न केलेल्या कोणत्याही नागरी क्षेत्रात

शिक्का क्र. 1 23 / 11 / 2022 01 : 34 : 18 PM ची वेळ: (सादरीकरण)

शिक्का क्र. 2 23 / 11 / 2022 01 : 35 : 00 PM ची वेळ: (फी)

- प्रतिज्ञा पत्र -

पर दस्तऐवज नोंदणी कायदा १९०८ नियम १९६१ अंतर्गत तरतुदीनुसार नोंदणीस दाखल केला आहे. दस्तामधील संपुर्ण मजकूर निष्पादक व्यक्ती, साक्षीदार व स्मॉकल जोडलेले कायदापत्रे दस्ताची सत्यता कायदेशीर बाबी सही खालील निष्पादक व्यक्ती संपुर्णपणे जबाबदार आहेत. तसेच उपर इस्तांतरण दस्तांमुळे राज्यशासन/कोटशासन यांच्या कोणत्याही कायदा/नियम/परिपत्रक यांचे उल्लंघन होत नाही.

M. B. Satra

विद्वान वेणार सक्षी

विद्वान वेणार सक्षी





23/11/2022 1 45:50 PM

दस्त गोपवारा भाग-2

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दस्त क्रमांक:25787/2022

दस्त क्रमांक :टनन2/25787/2022

दस्ताचा प्रकार :-करारनामा

अनु क्र.	पक्षकाराचे नाव व पत्ता	पक्षकाराचा प्रकार	छायाचित्र	अंगठ्याचा ठसा
1	नाव:मिनल भरत सत्रा -- पत्ता:प्लॉट नं: -, माळ्या नं: -, इमारतीचे नाव: 301,सुरज प्रिमायसेम सी एच एम, ब्लॉक नं: -, रोड नं: राम मारुती रोड जवळ,,ठाणे,, महाराष्ट्र, ठाणे. पिन नंबर:AVEPS4701P	लिहून घेणार वय :-40 स्वाक्षरी:- <i>M.B.Satra</i>		
2	नाव:मेसर्स.अनिरुद्ध ग्रुप-शिल्पाली प्रोजेक्ट तर्फे प्रो.प्रा. हेमचंद्र भास्कर वैद्य -- पत्ता:प्लॉट नं: -, माळ्या नं: -, इमारतीचे नाव: 1,शुभ ज्योत , ब्लॉक नं: -, रोड नं: घंटाळी,ठाणे,, महाराष्ट्र, THANE. पिन नंबर:AAIPV6054F	लिहून घेणार वय :-56 स्वाक्षरी:- <i>haviid</i>		

वरील दस्तऐवज करून देणार तथाकथीत करारनामा चा दस्त ऐवज करून दिल्याचे कवुल करतात.
शिक्का क्र.3 ची वेळ:23 / 11 / 2022 01 : 40 : 10 PM

ओळख:-

खालील इमम अमे निवेदीत करतात की ते दस्तऐवज करून देणा-यानां व्यक्तीश: ओळखतात, व त्यांची ओळख पटवितात

अनु क्र.	पक्षकाराचे नाव व पत्ता	छायाचित्र	अंगठ्याचा ठसा
1	नाव:दिपेन विक्रम -- वय:57 पत्ता:चरई ठाणे पिन कोड:400601	 स्वाक्षरी <i>Dipen</i>	
2	नाव:भरत सत्रा -- वय:44 पत्ता:नौपाडा ठाणे पिन कोड:400602	 स्वाक्षरी <i>B-U-Satra</i>	

शिक्का क्र.4 ची वेळ:23 / 11 / 2022 01 : 41 : 44 PM

शिक्का क्र.5 ची वेळ:23 / 11 / 2022 01 : 42 : 27 PM नोंदणी पुस्तक 1 मध्ये

Joint Sub Registrar Thane 2

Payment Details.

sr.	Purchaser	Type	Verification no/Vendor	GRN/Licence	Amount	Used At	Deface Number	Deface Date
1	MITTAL BHARAT SATRA	eChallan	69103332022112313216	MH011052167202223E	581400.00	SD	0005461437202223	23/11/2022
2		DHC		0411202202304	1560	RF	0411202202304D	23/11/2022
3	MITTAL BHARAT SATRA	eChallan		MH011052167202223E	30000	RF	0005461437202223	23/11/2022

[SD:Stamp Duty] [RF:Registration Fee] [DHC: Document Handling Charges]

प्रमाणित करण्यात येते कि सर्व
दस्त-क्रं 24640 मध्ये 67
25787/2022



1. Verify Scanned Document for correctness through thumbnail images (on a side) printout after scanning.
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पहीले नंबराचे दुकान अ. नं.
24640 दर नोंदला

Joint Sub Registrar Thane 2