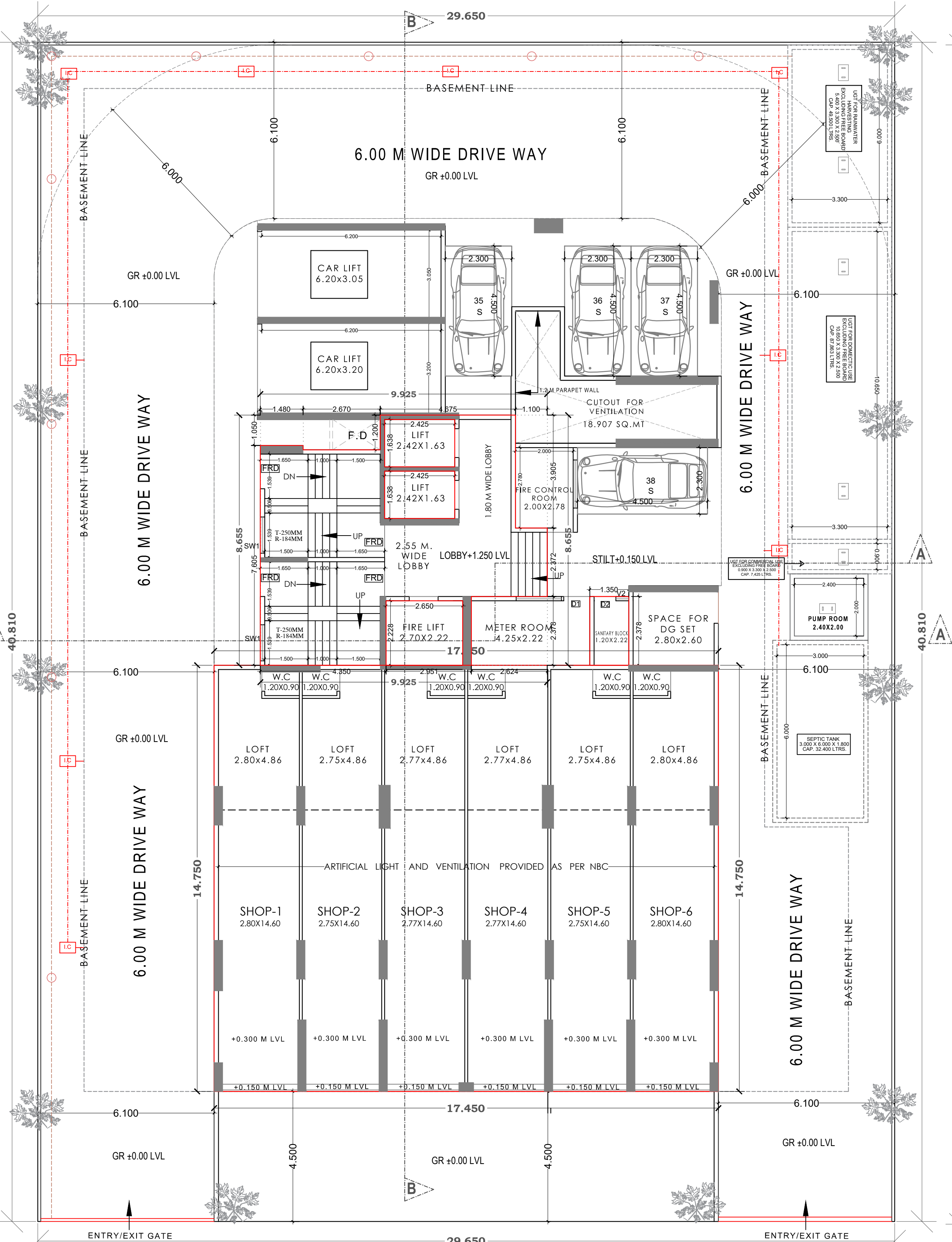


BASEMENT FLOOR PLAN
SCALE 1:100



GROUND FLOOR PLAN
SCALE 1:100



1ST PODIUM FLOOR PLAN
SCALE 1:100

BASEMENT PARKING STATEMENT

PARKING	NOS
A TWO WHEELER	7
B FOUR WHEELER	32
BIG CAR	2
SMALL CAR	34
TOTAL CAR	34

BUILT UP AREA CALCULATIONS FOR : SANITARY BLOCK

AREA OF BLOCK (ABCD)	1.350	X	2.378	3.210	SQ. MT
GROUND FLOOR (RES)					3.21 SQ.MT

GROUND FLOOR PARKING STATEMENT

PARKING	NOS
A TWO WHEELER	0
B FOUR WHEELER	0
BIG CAR	0
SMALL CAR	4
TOTAL	4

1ST FLOOR PARKING STATEMENT

PARKING	NOS
A TWO WHEELER	0
B FOUR WHEELER	0
BIG CAR	0
SMALL CAR	13
TOTAL	13

BASEMENT AREA CALCULATION

REQUIRED LIGHT VENTILATION	18.593
PROPOSED LIGHT VENTILATION	18.907

BUILT UP AREA CALCULATIONS FOR : GROUND FLOOR (COM.)

AREA OF BLOCK (ABCD)	17.450	X	14.750	257.388	SQ. MT
NET BUILT-UP AREA					257.388
GROUND FLOOR (COM.)					257.388 SQ.MT

PROPOSED BUILT UP AREA

GROUND FLOOR AREA STATEMENT		
Sr. No	FLOOR	AREA (SQ.FT)
1	SANITARY BLOCK	3.210
2	GROUND (COMM.)	257.388
3	LOBBY	56.759
TOTAL		317.357
FLOOR WISE AREA STATEMENT (RESIDENTIAL)		
1	1st FLOOR	0.000
2	2nd FLOOR	414.100
3	3rd FLOOR	414.100
4	4th FLOOR	414.100
5	5th FLOOR	414.100
6	6th FLOOR	414.100
7	7th FLOOR	414.100
8	8th FLOOR	414.100
9	9th FLOOR	414.100
TOTAL		3312.800
1	TOTAL BUILT UP AREA	3630.157
2	NA. TERRACE 1	10.510
3	NA. TERRACE 2	10.510
4	NA. TERRACE 3	27.592
5	NA. TERRACE 4	17.059
6	NA. TERRACE 5	10.460
7	NA. TERRACE 6	1.850
8	NA. TERRACE 7	2.300
9	NA. TERRACE 8	0.900
10	NA. TERRACE 9	4.290
11	NA. TERRACE 10	0.930
TOTAL		211.051
12	TERRACE MUMTY SLAB AREA	61.820
13	SEPTIC TANK	20.790
14	U.G TANK	65.880
15	O.H TANK	53.558
TOTAL GROSS AREA		4167.906

Summary of proposed Pline area as per UDCPR

Sr.No	FLOOR	PLINE AREA (Comm.)		TOTAL
		A	B	
1	GROUND	257.388	59.969	317.357
2	1ST FL	0.000	0.000	0.000
3	2ND FL		414.100	414.100
4	3RD FL		414.100	414.100
5	4TH FL		414.100	414.100
6	5TH FL		414.100	414.100
7	6TH FL		414.100	414.100
8	7TH FL		414.100	414.100
9	8TH FL		414.100	414.100
10	9TH FL		414.100	414.100
11	TOTAL	257.388	3372.77	3630.16
12	BASIC+PREMIUM FSI	142.993	2276.967	2419.960
13	BASIC FSI	142.993	2276.967	2419.960
14	PREMIUM FSI	0.000	0.000	0.000
15	ANCILLARY FSI	114.395	1095.802	1210.197

BUILT UP AREA CALCULATIONS FOR : GROUND FLOOR

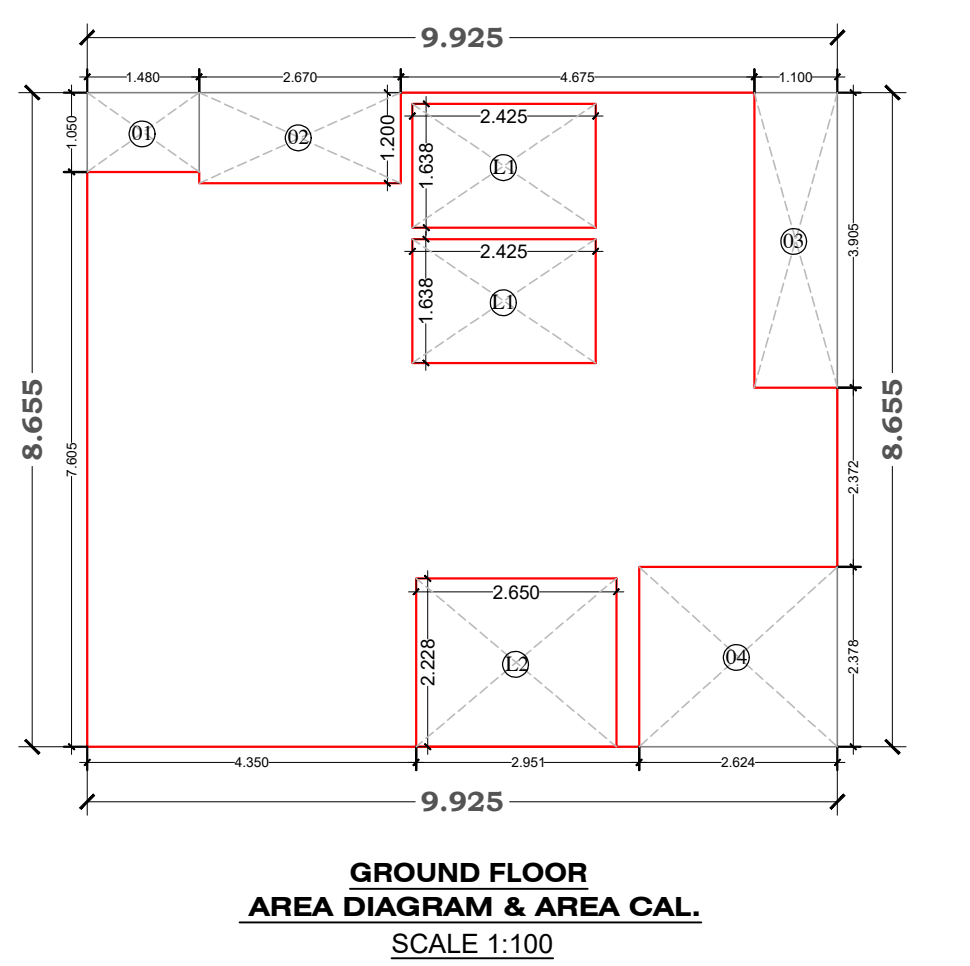
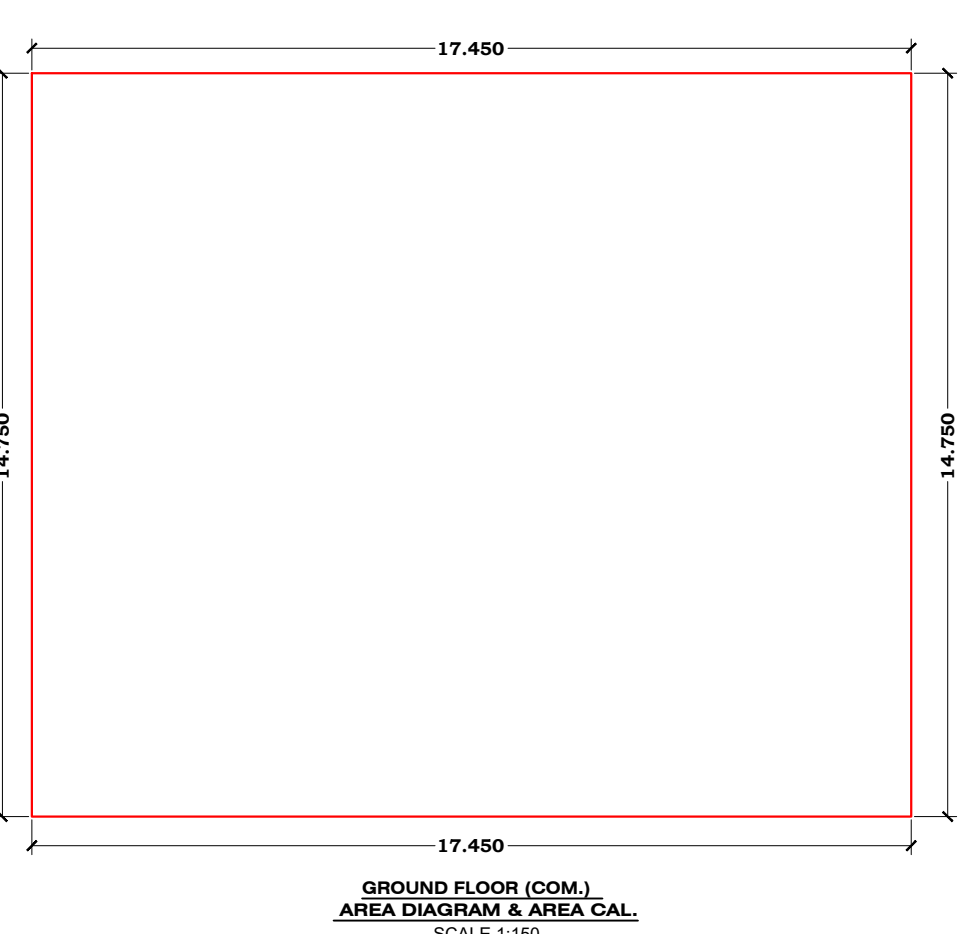
AREA OF BLOCK (ABCD)	9.925	X	8.655	85.901	SQ. MT
STANDARD DEDUCTIONS					NOS
L1	2.425	X	1.638	X	2
L2	2.650	X	2.228	X	1
1	1.480	X	1.050	X	1
2	2.570	X	1.200	X	1
3	1.100	X	3.905	X	1
4	2.624	X	2.378	X	1
TOTAL DEDUCTION					29.142
GROSS AREA - A - D				85.901	29.142
FOR : GROUND FLOOR					56.759 SQ.MT

TABLE NO. 8 - PARKING REQUIREMENTS FOR MULTI FAMILY RESIDENTIAL WITH COMMERCIAL AREA

SR. NO.	REQUIRED PARKING RATE	TOTAL NO. OF FLAT	As per notification , dtd 28.12.2022			
			PARKING SPACE	PARKING SPACE PROP. NON CONGESTED	PARKING SPACE PROP. NON CONGESTED AREA	SCOOTER
1	For every tenement having carpet area 150 sq.m. AND ABOVE	0.00	2.00	1.00	0.00	0.00
2	For every tenement having carpet area equal to or above 80 sq.m. but less than 150 sq.m.	0.00	1.00	1.00	0.00	0.00
3	For every two tenement with each tenement having carpet area is equal to or above 40 sq.m. but less than 80	32.00	1.00	2.00	16.00	32.00
4	For every two tenement with each tenement having carpet area less than 40 sq.m. but more than 30 sq.m.	23.00	1.00	2.00	12.00	23.00
5	For every two tenement with each tenement having carpet area less than 30 sq.m.	0.00	0.00	2.00	0.00	0.00
6	For every 100 sq.m. carpet area or fraction there of	243.09	2.00	6.00	5.00	15.00
Parking Requirement (quantum)					28	55
					5	15
5% visitor parking only for residential					1	3
TOTAL					34	73
					28	73
PARKING REQUIREMENT					28	73
					0	0
SIX SCOOTERS PARKING MAY BE ALLOWED TO BE CONVERTED IN ONE CAR PARKING					12	72
Required PARKING (after conversion)					40	1
Proposed parking considering additional FSI					51	7

TREE PLANTATION STATEMENT

REQUIRED TREE PLANT	12 NOS
PROPOSED TREE PLANTATION	12 NOS



CIDCO/BP-18491/TPONM & KJ/2023/13032
24 Sep 2024

Proforma-1

Sr.No	Particulars	Area (sq.m)
1	Area of plot (Minimum area of a, b, c to be considered)	1209.980
a	As per ownership document (7/12, CTS extract)	1209.980
b	As per measurement sheet	1209.980
c	As per site	1209.980
2	Deductions for	
a	Proposed D.P./ D.P. Road widening Area/Service Road / Highway widening	0.000
b	Any D.P. Reservation area	0.000
(Total a+b)		0.000
3	Balance area of plot (1-2)	1209.980
a	Amenity Space (if applicable)	0.000
b	Required -	0.000
c	Adjustment of 2(b), if any -	0.000
d	Balance Proposed -	0.000
4	Net Plot Area (3-4(c))	1209.980
5	Recreational Open space (if applicable)	
a	Required -	0.000
b	Proposed -	0.000
6	Internal Road area	0.000
7	Plotable area (if applicable)	1209.980
8	Built up area with reference to Basic F.S.I. as per front road width (Sr. No. Subasic FSI) - 2.0 As per agreement to lease	2419.960
a	Permissible commercial area	362.394
b	Proposed commercial area (basic excluding ancillary)	257.388
9	Addition of FSI on payment of premium	
a	Maximum permissible premium FSI - based on road width / TOD Zone. (plot area *0.3 premium FSI) Plus Additional FSI as per Note 3 of 10.10.1 (plot area *0.1)	0.000
b	Proposed FSI on payment	0.000
10	In-situ FSI / TDR loading	
a	In-situ area against D.P. Road (2.0 x Sr. No. 2 (a)), if any	
b	In-situ area against Amenity Space if handed over (2.00 or 1.85 x Sr. No. 4 (b) and / or (c)),	
c	TDR area -	
d	Total In-situ / TDR loading proposed (11 (a)+(b)+(c))	0.000
11	Additional FSI area under Chapter No. 7	
a	Total entitlement of FSI in the proposal	2419.960
b	Permissible Ancillary Area FSI upto 60% or 80% on balance potential with payment of charges.	1480.574
c	Proposed Ancillary area FSI	1210.197
d	Total entitlement (a+b)	3900.534
12	Maximum utilization limit of F.S.I. (building potential) Permissible as per Road width (As per Regulation No. 6.1 or 6.2 or 6.3 or 6.4 as applicable) x 1.6 or 1.8, read with Note 3 of 10.10.1	3.234
13	Total Built-up Area in proposal (excluding area at Sr.No.17b)	3630.158
a	Existing Built-up Area	0.00
b	Proposed Built-up Area (as per 'P' line)	3630.158
c	Residential	3372.770
d	Commercial	257.388
e	Total (a+b) (shall not be more than 13(d))	3630.158
14	F.S.I. Consumed (15/13) (should not be more than serial No.14 above.)	0.931
15	Area for Inclusive Housing, if any	0.000
a	Required (20% of Sr.No.5)	0.000
b	Proposed	0.000
16	Residential	59
17	Commercial	6

NOTE: The proposed chajjas over openings for protection from sun and rain and architectural features for decoration / aesthetic purpose shall not be used for any habitable purpose.

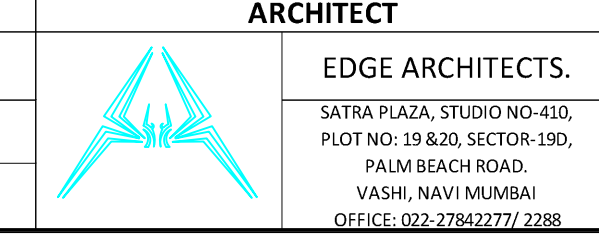
Certificate of Area:
Certified that the plot under reference was surveyed by me on _____ and the dimensions of sides etc. of plot stated on plan are as measured on site and the area so worked out tallies with the area stated in document of Ownership/ T.P. Scheme Records/ Land Records Department/City Survey records.

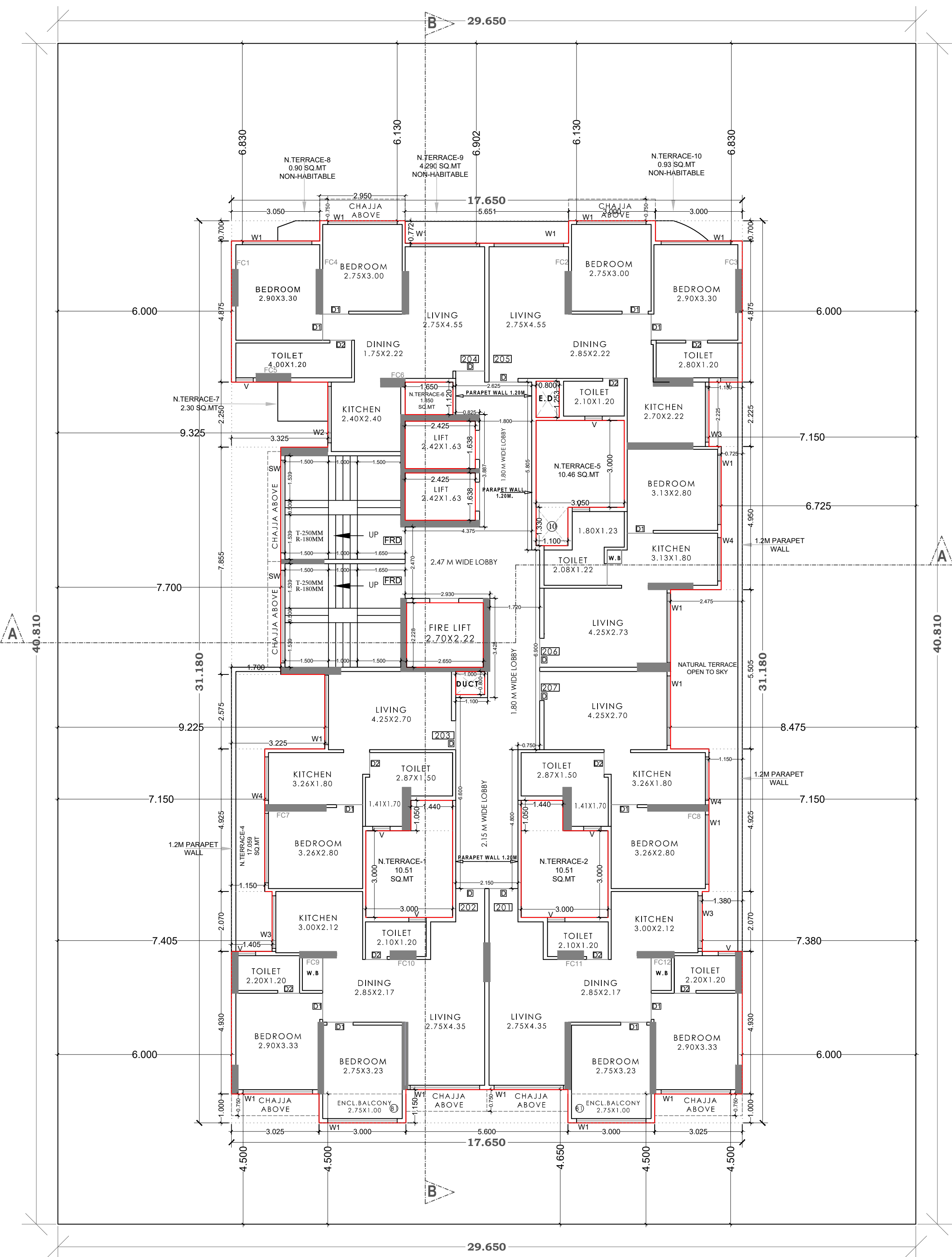
Owner's Declaration.
I/We undersigned hereby confirm that I/We would abide by plans approved by Authority / Collector. I/We would execute the structure as per approved plans also I/We would execute the work under supervision of proper technical person so as to ensure the quality and safety at the work site.

CONTENTS OF SHEET
BASEMENT FLOOR PLAN ,GROUND FLOOR PLAN ,AREA DIAGRAM & AREA CAL., BUILT UP AREA CAL.,1ST PODIUM FLOOR PLAN ,TREE PLANTATION STATEMENT,PARKING STATEMENT,PROPOSED BUILT UP AREA.

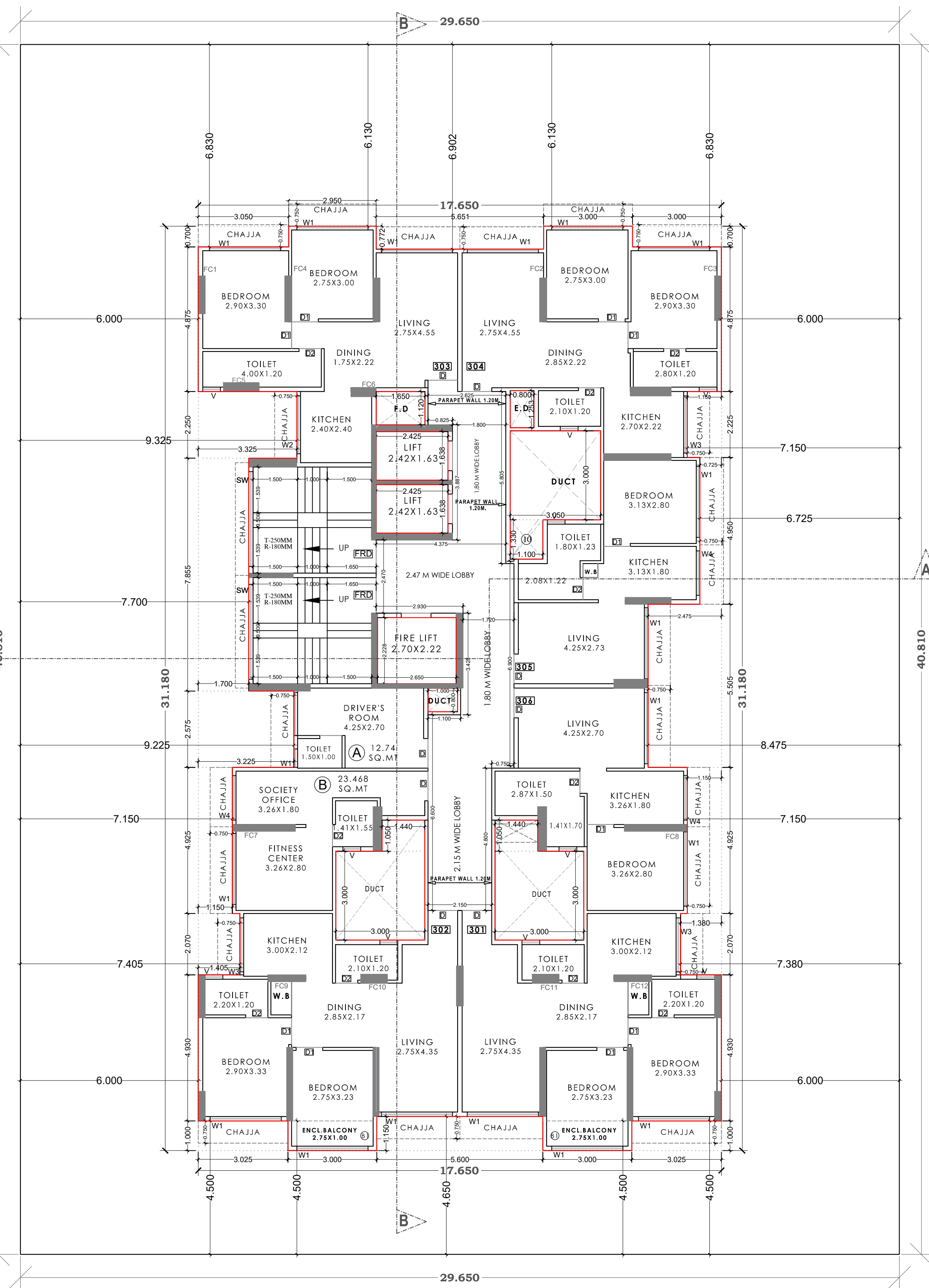
NOTE
1 BOUNDARY WALL OF PLOT SHOWN BLACK.
2 PROPOSED STRUCTURE SHOWN REDD.
3 ROAD SHOWN GREEN.
4 DRAINAGE LINE SHOWN RED DOTTED LINE.
5 WATER LINE SHOWN BLUE DOTTED LINE.
6 INTERNAL WALL (0.10) EXTERNAL WALL (0.15)

CHECKED BY: AR. DAKSHA L GAMI
DRAWN BY: Pooja
SCALE: 1:100
DATE: 10-09-2024

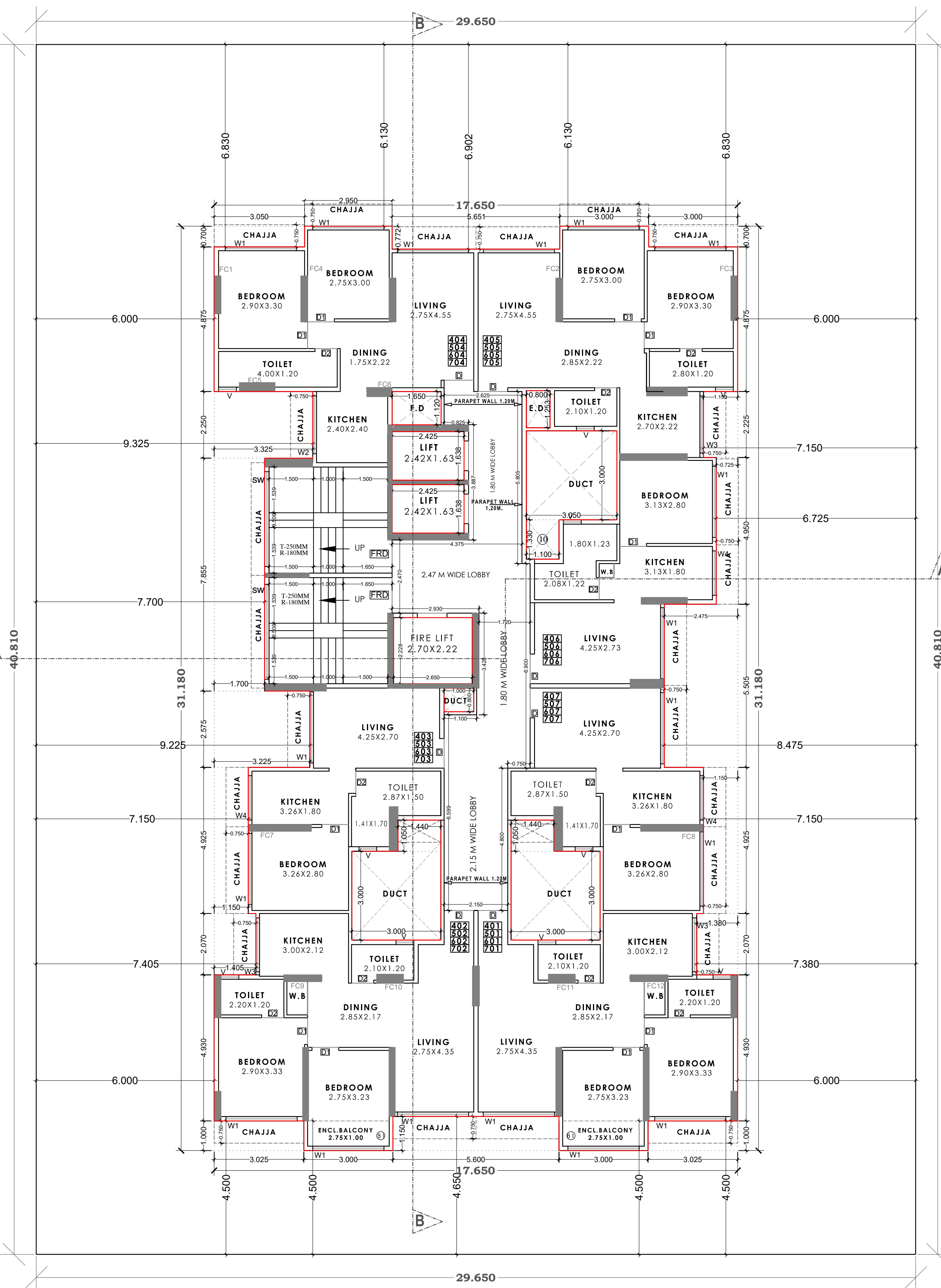




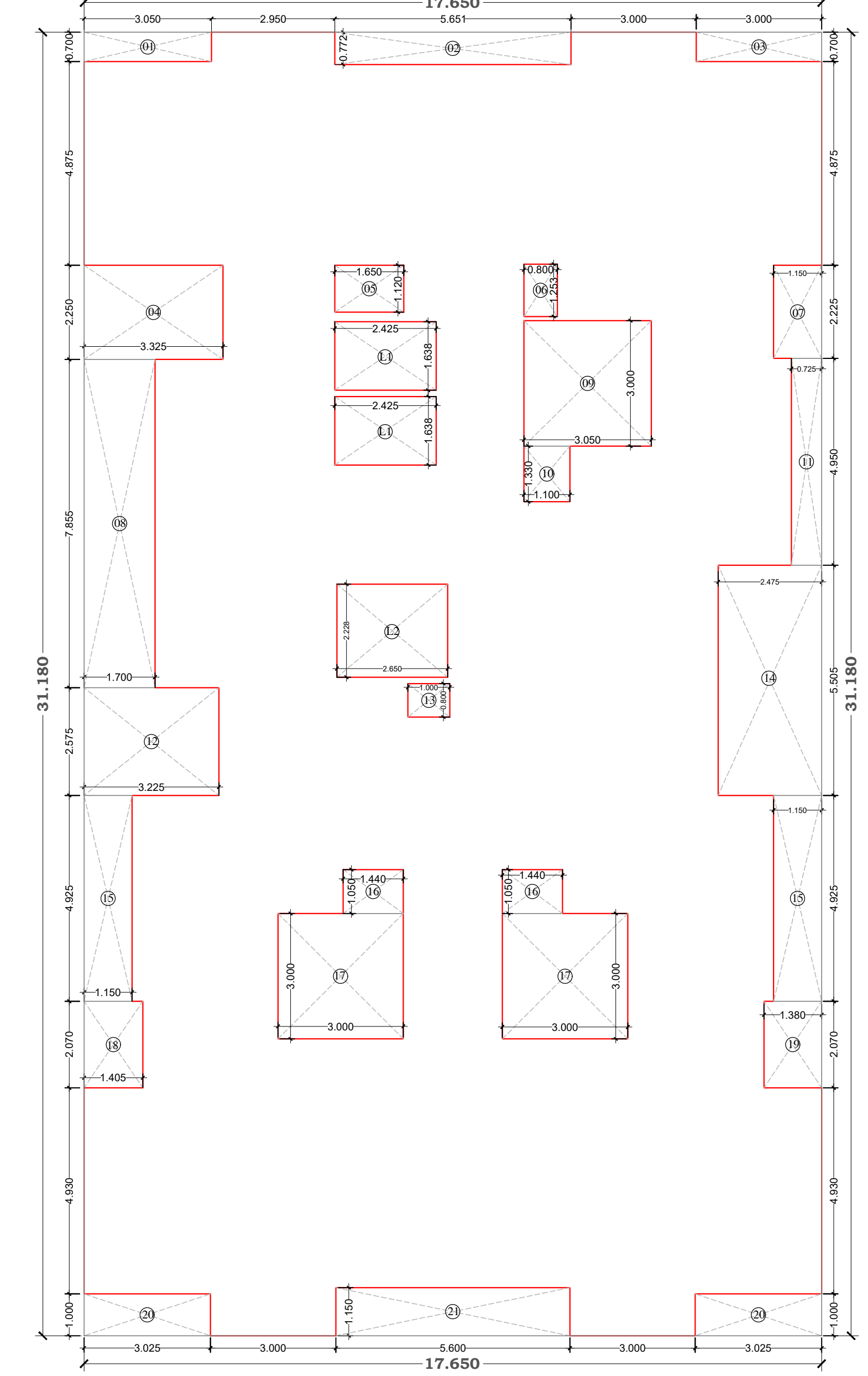
2ND FLOOR PLAN
SCALE 1:100



3RD FLOOR PLAN
SCALE 1:100



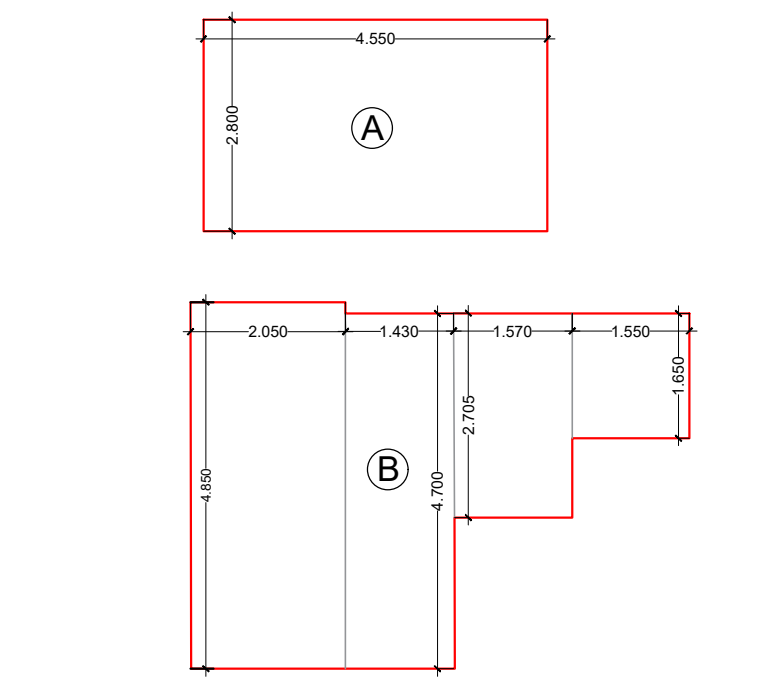
4TH TO 7TH FLOOR PLAN
SCALE 1:100



2ND TO 9TH FLOOR AREA DIAGRAM & AREA CAL.
SCALE 1:100

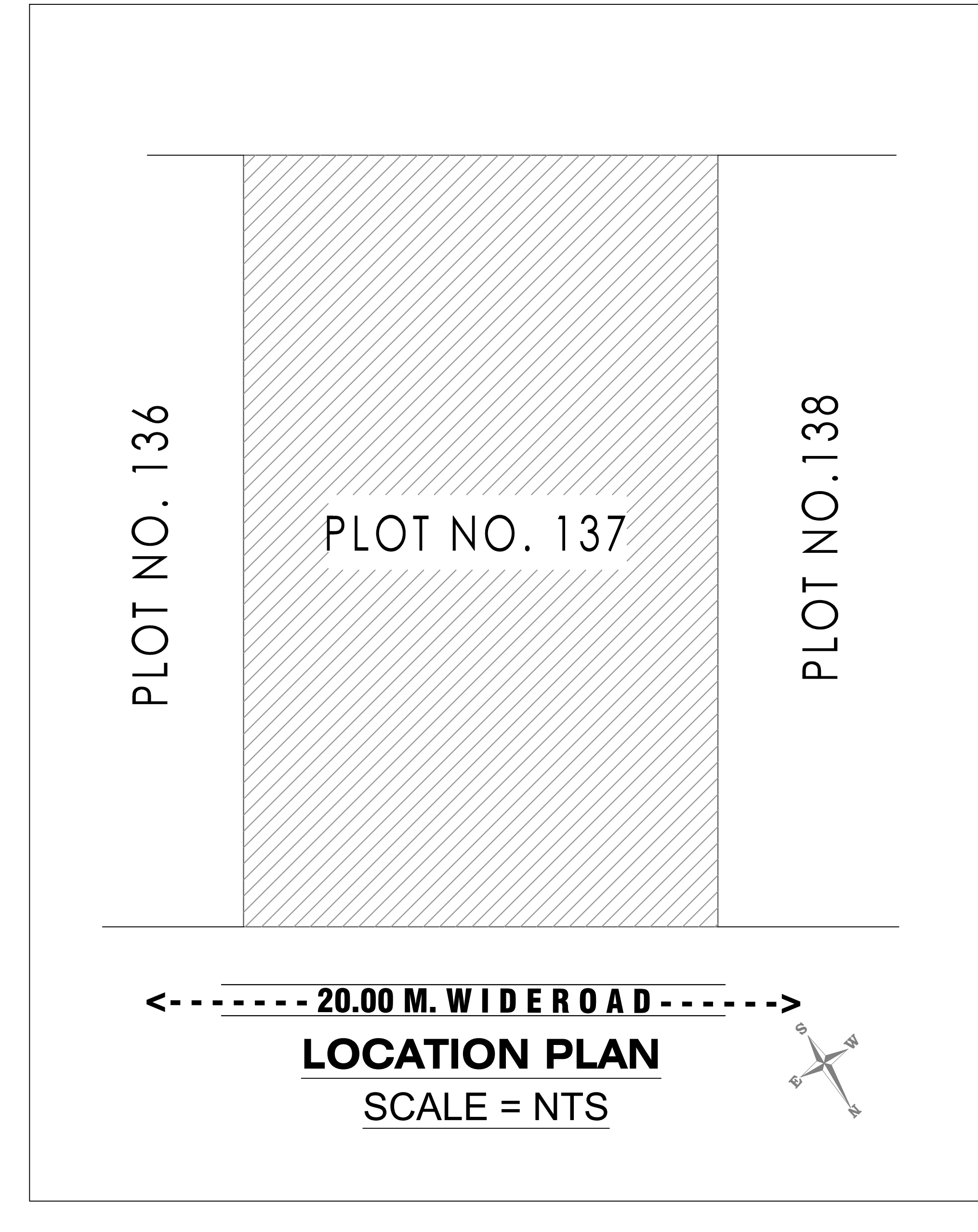
P-LINE AREA CALCULATIONS						
3RD FLOOR						
AS PER P-LINE AREA (DRIVER'S ROOM)						
A	4.550	X	2.850	X	1	12.740
						TOTAL
						12.740
AS PER P-LINE AREA (SOCIETY OFFICE, FITNESS CENTER)						
B	1.430	X	4.700	X	1	6.721
	1.570	X	2.705	X	1	4.247
	1.550	X	1.650	X	1	2.558
						TOTAL
						13.468
TOTAL P-LINE AREA						36.208

BUILT UP AREA CALCULATIONS						
FOR: 2ND TO 9TH FLOOR						
A	AREA OF BLOCK (ARCD)	X	SQ. MT			
	STANDARD DEDUCTIONS		NOS			
L1	2.425	X	1.638	X	2	7.944
L2	2.650	X	2.228	X	1	5.904
1	3.050	X	0.700	X	1	2.135
2	5.651	X	0.772	X	1	4.363
3	3.000	X	0.700	X	1	2.100
4	3.325	X	2.250	X	1	7.483
5	1.050	X	1.120	X	1	1.168
6	0.800	X	1.753	X	1	1.400
7	1.150	X	2.225	X	1	2.559
8	1.700	X	2.655	X	1	4.508
9	3.050	X	3.000	X	1	9.150
10	1.100	X	1.350	X	1	1.463
11	0.725	X	4.950	X	1	3.589
12	3.225	X	2.575	X	1	8.304
13	1.200	X	0.800	X	1	0.960
14	2.275	X	1.505	X	1	3.425
15	1.150	X	4.925	X	2	11.328
16	1.440	X	1.050	X	2	3.024
17	3.000	X	3.000	X	2	18.000
18	1.405	X	2.070	X	1	2.908
19	1.380	X	2.070	X	1	2.857
20	3.025	X	1.000	X	2	6.050
21	5.600	X	1.150	X	1	6.440
TOTAL DEDUCTION						136.227
GROSS AREA - A + D						414.100
NET BUILT-UP AREA EACH FLOOR						414.100
NET BUILT-UP AREA 2ND TO 9TH						3312.797
FOR: 2ND TO 9TH FLOOR						3312.797 SQ.MT



P-LINE OF DRIVER'S ROOM, SOCIETY OFFICE & FITNESS CENTER
SCALE 1:100

CARPET AREA STATEMENT AS PER RERA			
SHOP NO./FLAT NO.	CARPET AREA IN SQ.M.	OPEN BAL IN SQ.M.	ENCL BAL IN SQ.M.
GROUND FLOOR			
SHOP-1	40.880 SQ.MT	---	---
SHOP-2	40.150 SQ.MT	---	---
SHOP-3	40.515 SQ.MT	---	---
SHOP-4	40.515 SQ.MT	---	---
SHOP-5	40.150 SQ.MT	---	---
SHOP-6	40.880 SQ.MT	---	---
2ND FLOOR			
201	52.550 SQ.MT	---	2.337 SQ.MT
202	50.550 SQ.MT	---	2.337 SQ.MT
203	33.603 SQ.MT	---	---
204	47.590 SQ.MT	---	---
205	50.790 SQ.MT	---	---
206	32.899 SQ.MT	---	---
207	33.599 SQ.MT	---	---
3RD FLOOR			
301	53.350 SQ.MT	---	2.337 SQ.MT
302	52.550 SQ.MT	---	2.337 SQ.MT
303	---	---	---
304	47.590 SQ.MT	---	---
305	50.790 SQ.MT	---	---
306	32.899 SQ.MT	---	---
307	33.599 SQ.MT	---	---
4TH TO 9TH FLOOR			
401-901	53.350 SQ.MT	---	2.337 SQ.MT
402-902	52.550 SQ.MT	---	2.337 SQ.MT
403-903	33.603 SQ.MT	---	---
404-904	47.590 SQ.MT	---	---
405-905	50.790 SQ.MT	---	---
406-906	32.899 SQ.MT	---	---
407-907	33.599 SQ.MT	---	---



LOCATION PLAN
SCALE = NTS

NOTE: The proposed chajjas over openings for protection from sun and rain and architectural features for decoration / aesthetic purpose shall not be used for any habitable purpose.

Certificate of Area: Certified that the plot under reference was surveyed by me on _____ and the dimensions of sides etc. of plot stated on plan are as measured on site and the area so worked out tallies with the area stated in document of Ownership/T.P. Scheme Records/ Land Records Department/City Survey records.

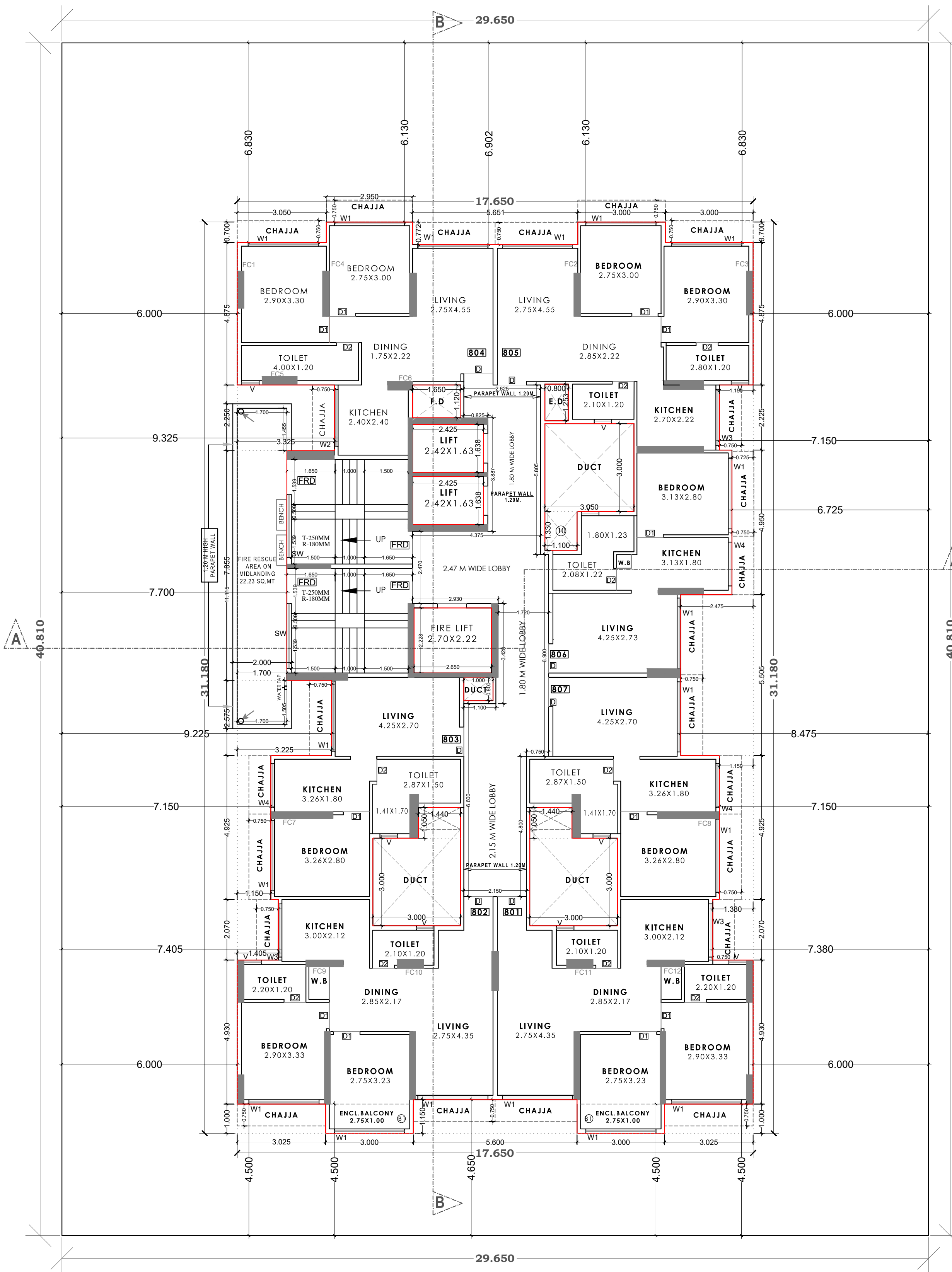
Signature: _____
Name of Architect/ Licensed Engineer/ Supervisor: _____
I/We undersigned hereby confirm that I/ We would abide by plans approved by Authority / Collector / We would execute the structure as per approved plans also I/We would execute the work under supervision of proper technical person so as to ensure the quality and safety at the work site.
owner: (s) name and signature

CONTENTS OF SHEET
2ND TO 7TH FLOOR PLAN, AREA DIAGRAM & AREA CALC., CARPET AREA CALCULATION STATEMENT, LOCATION PLAN, CARPET AREA STATEMENT, P-LINE DRIVER'S ROOM & SOCIETY OFFICE & FITNESS CENTER, AREA STATEMENT.

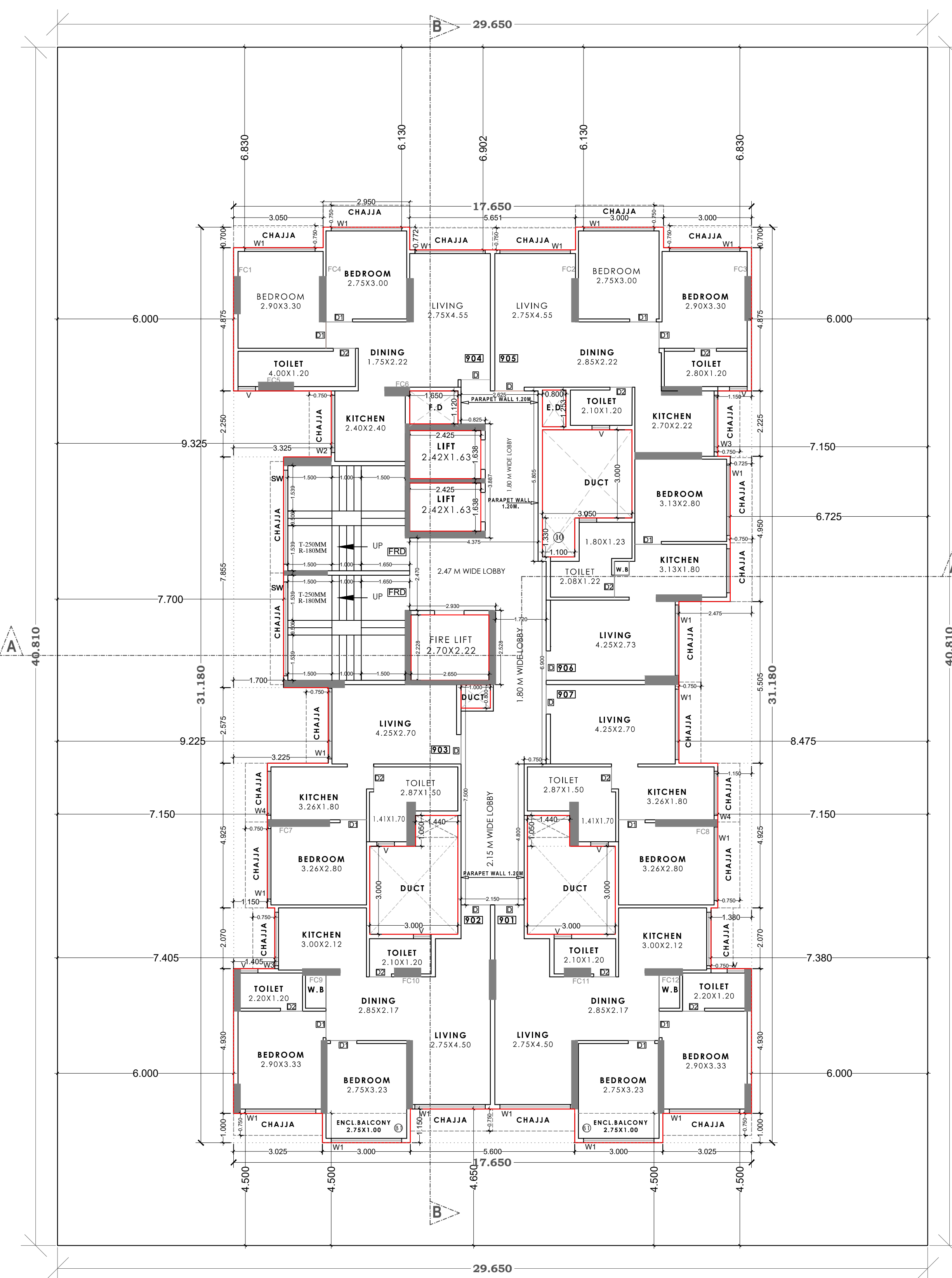
NOTE
1. BOUNDARY WALL OF PLOT SHOWN BLACK
2. PROPOSED STRUCTURE SHOWN RED
3. ROAD SHOWN GREEN
4. DRAINAGE LINE SHOWN RED DOTTED LINE
5. WATER LINE SHOWN BLUE DOTTED LINE
6. INTERNAL WALL (R. 50) EXTERNAL WALL (R. 10)

CA/2013/59413
OWNER'S NAME & SIGNATURE - _____ AR. DAKSHAL, GAMI

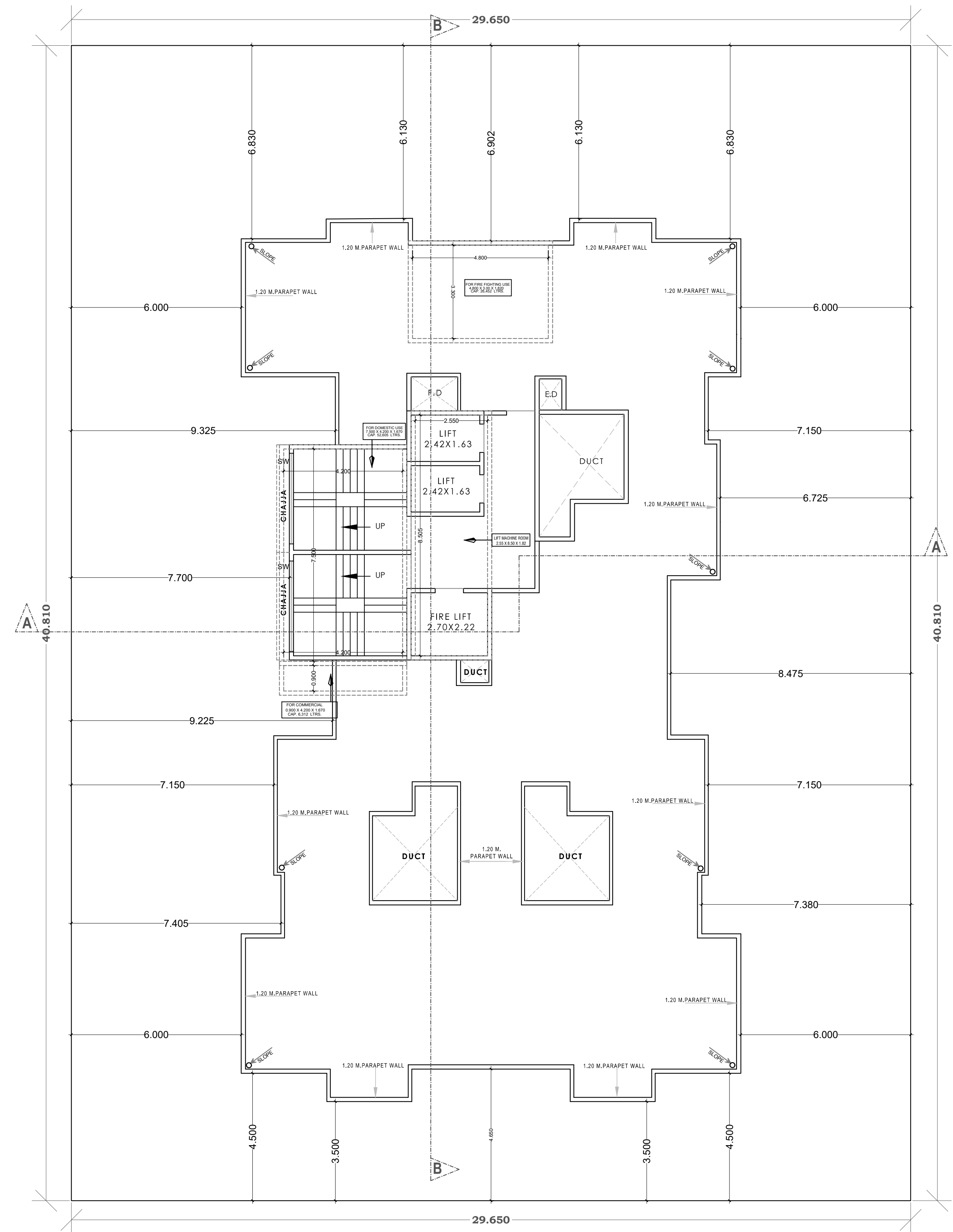
CIDCO/BP-18491/TPQNM & K/2023
M/S. PRIME NIELKANTH LLP
PROJECT - PROPOSED RESIDENTIAL CLM. COMMERCIAL BUILDING ON PLOT -137, SEC-26, PUSHPAK
CHECKED BY: AR. DAKSHAL, GAMI
DRAWN BY: Pooja
SCALE: 1:100
DATE: 10-09-2024



8TH FLOOR PLAN
SCALE 1:100



9TH FLOOR PLAN
SCALE 1:100



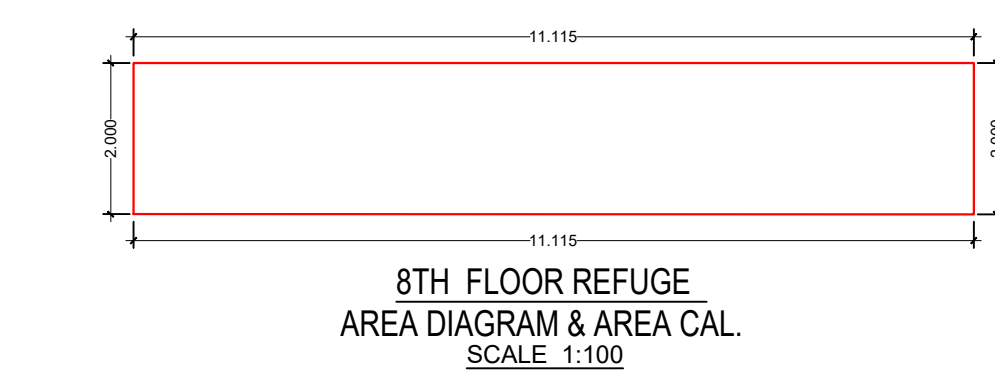
TERRACE FLOOR PLAN
SCALE 1:100

REFUGE AREA CALCULATION

8TH FLOOR + 9TH FLOOR
NO. OF UNIT 8TH FLOOR & 9TH FLOOR = 14 NOS X 5 PERSONS
TOTAL = 70 PERSONS
REFUGE AREA REQUIRED = 0.30 SQ.MT. / PER PERSON
HENCE REFUGE AREA REQUIRED = 0.30 SQ.MT. X 70 PERSONS
TOTAL = 21 SQ.MT. + 1.20 SQ.MT. = 22.2 SQ.MT.
PROPOSED REFUGE AREA = 22.23

REQUIRED REFUGE AREA STATEMENT AS PER OCCUPANT

REFUGE AREA FLOOR	BUILT-UP AREA SQ. MT
8TH FLOOR	414.908 SQ.MTS
9TH FLOOR	414.908 SQ.MTS
TOTAL AREA	829.816 SQ.MTS
OCCUPANT LOAD (12.50) 829.816/12.5	66.385
REQUIRED AREA PER PERSON	0.30 SQ.MTS
TOTAL REQUIRED REFUGE AREA 66.385 X 0.3	19.916 SQ.MTS
19.916 + 1.2	21.116 SQ. MTS
TOTAL PROVIDED REFUGE AREA	22.230 SQ.MTS



BUILT UP AREA CALCULATIONS FOR REFUGE :- 8TH

STANDARD DEDUCTIONS	NOS	SQ. MT
11.115 X 2.000	1	22.230
TOTAL AREA FOR 8TH FLOOR		22.230

UNDERGROUND WATER TANK CAPACITY CALCULATION

WATER CAPACITY CALCULATION (U.G. TANK RESIDENTIAL (UNITS))

BUILDING	FLAT NOS.	REQUIRED DOMESTIC LTRS(A)	REQUIRED FLUSHING LTRS(B)	ADDITIONAL TOILET LTRS. PER SIT	TOTAL FLUSHING LTRS.(B)	TOTAL LTRS. (RES.) (A + B)
1	55	37,125	270 X 55	14,850	9,900	61,875

WATER CAPACITY CALCULATION (U.G. TANK COMMERCIAL (UNITS))

BUILDING	SHOP NOS.	REQUIRED LTRS(A)	REQUIRED FLUSHING LTRS.(B)	ADDITIONAL TOILET LTRS. PER SIT	TOTAL FLUSHING LTRS.(B)	TOTAL LTRS. (RES.) (A + B)
COMMERCIAL	6	257,388	270 X 6	16,200	0	4,622

PROVIDE U.G WATER TANK

DOMESTIC TANK (RESIDENTIAL)	87,863 LTRS.
DOMESTIC TANK (COMMERCIAL)	7,425 LTRS.
TOTAL	95,288 LTRS.

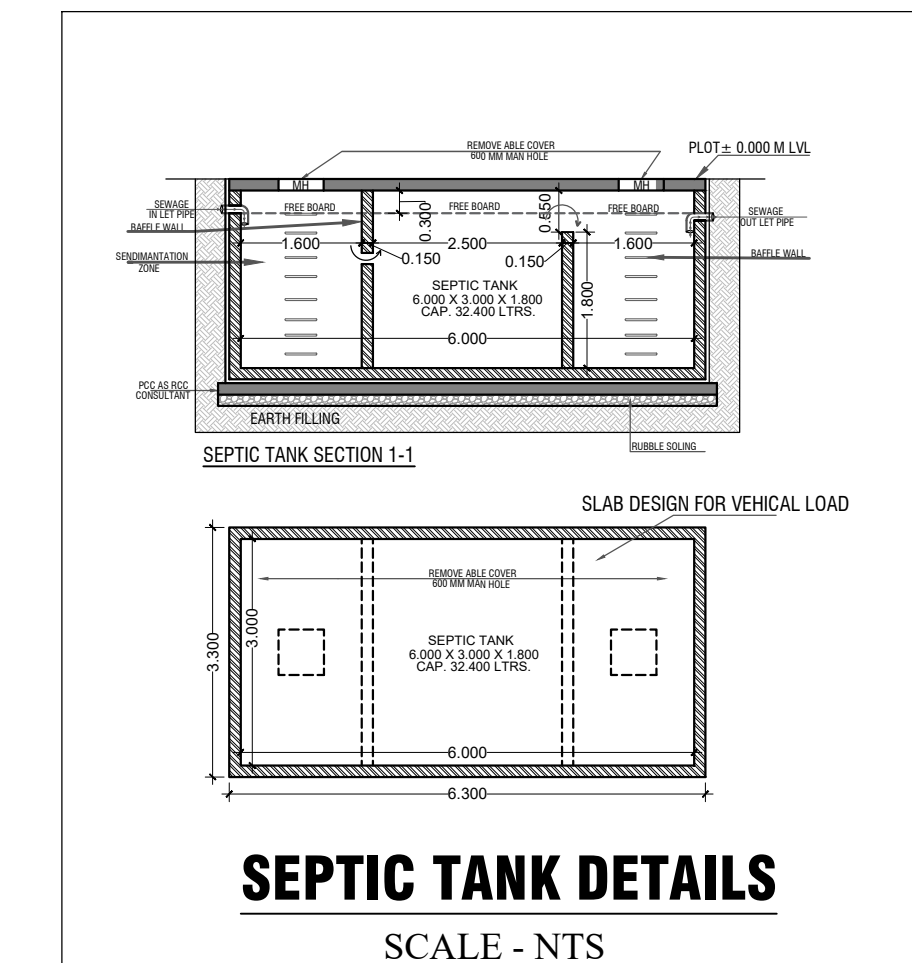
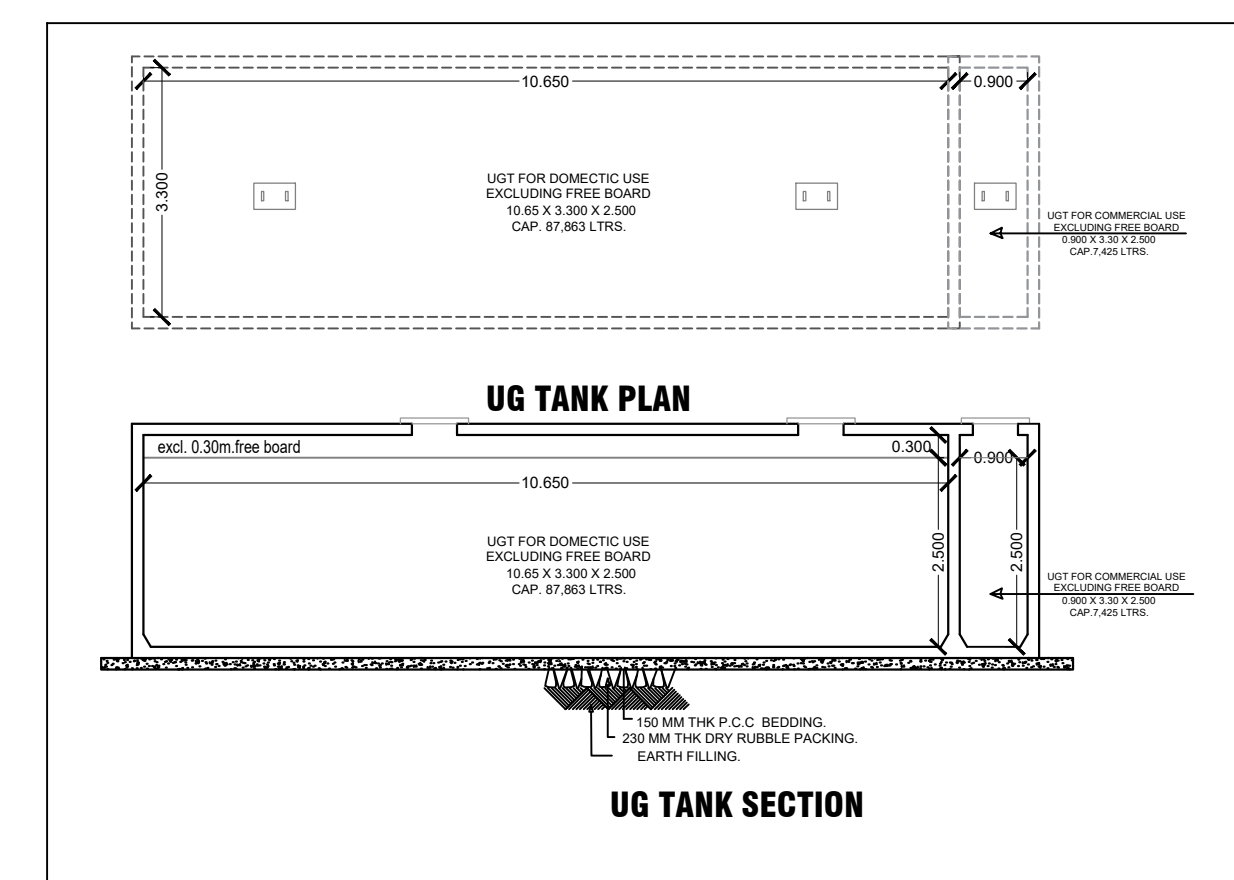
OVERHEAD WATER TANK CAPACITY CALCULATION

USE	WATER REQUIRED (LITRE)	OVERHEAD WATER TANK PROVISION		
		TANK SIZE (METER)	NUMBER OF TANK	CAPACITY (LITRE)
DOMESTIC	37,125	7.500 X 3.850 X 1.820	1	52,552
COMMERCIAL	2,773	0.900 X 3.850 X 1.765	1	6,306
TOTAL	39,898		1	58,858

NOTE :-
i) OVERHEAD TANK CAPACITY SHALL BE MINIMUM 60% OF WATER REQUIREMENT
ii) SIZE OF OVERHEAD TANK IS EXCLUDING FREEBOARD

SEPTIC TANK STATEMENT

SEPTIC TANK :	
NO OF FLATS	55
55 FLATS X 400 Ltrs.	22,000 Ltrs.
REQUIREMENT	22,000 Ltrs.
PROVIDED :-	
6.00 X 3.00 X 1.80	32,400 Ltrs.



NOTE: The proposed chajjas over openings for protection from sun and rain and architectural features for decoration / aesthetic purpose shall not be used for any habitable purpose.

Certificate of Area: Certified that the plot under reference was surveyed by me on _____ and the dimensions of sides etc. of plot stated on plan are as measured on site and the area so worked out tallies with the area stated in document of Ownership/T.P. Scheme Records/ Land Records Department/City Survey records.

Owner's Declaration: I/We undersigned hereby confirm that I/ We would abide by plans approved by Authority / Collector / We would execute the structure as per approved plans also I/We would execute the work under supervision of proper technical person so as to ensure the quality and safety at the work site.

CONTENTS OF SHEET
8TH & 9TH FLOOR PLAN, AREA DIAGRAM & AREA CALC., CARPET AREA CALCULATION, STATEMENT, LOCATION PLAN, AREA DIAGRAM, AREA CALCULATION, SEPTIC TANK, UG TANK, DHT TANK DETAILS & CALCULATIONS, REFUGE AREA CALCULATION.

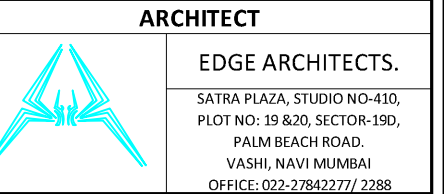
NOTE
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2 PROPOSED STRUCTURE SHOWN RED.
3 ROAD SHOWN GREEN.
4 DRAINAGE LINE SHOWN RED DOTTED LINE.
5 WATER LINE SHOWN BLUE DOTTED LINE.
6 INTERNAL WALL (R/S) EXTERNAL WALL (L/S)

CA/2013/59413
OWNER'S NAME & SIGNATURE :-

CIDCO/BP-18491/TPQNM & K/2023

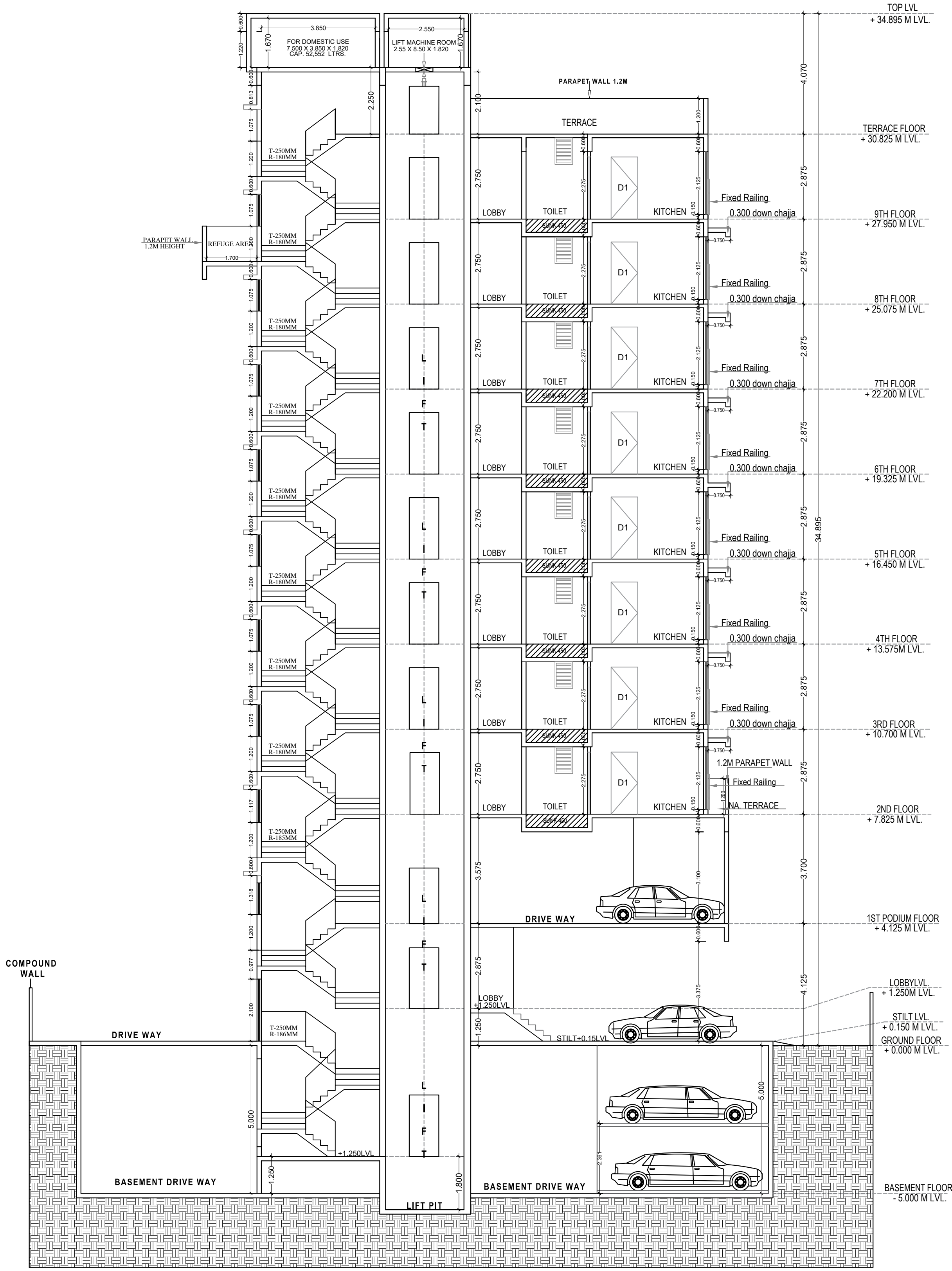
PROJECT - PROPOSED RESIDENTIAL CUM COMMERCIAL BUILDING ON PLOT -137, SEC-26, PUSHPAK

CHECKED BY: AR. DASHA. L.GAMI
DRAWN BY: Pooja
SCALE: 1:100
DATE: 10-09-2024

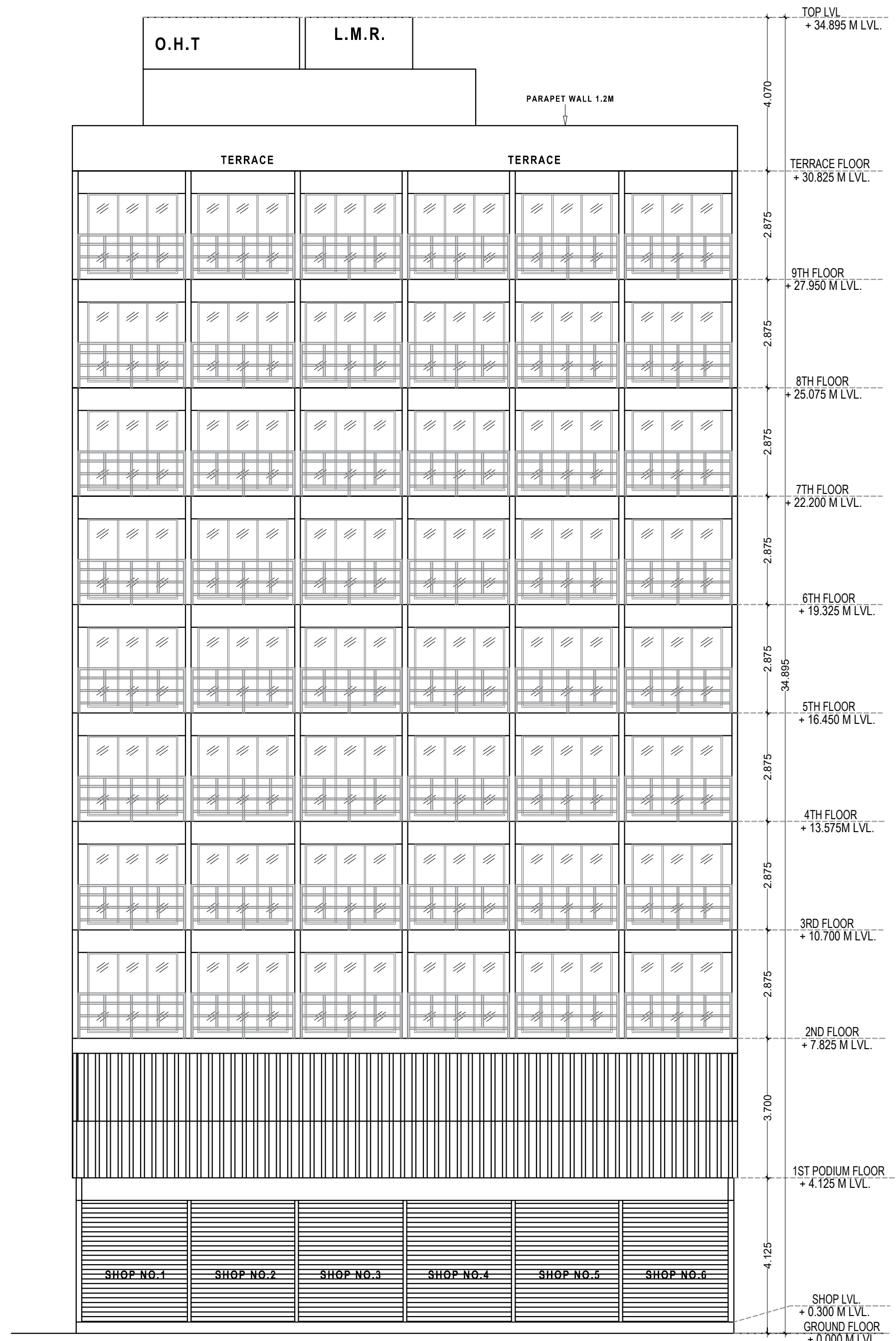


EDGE ARCHITECTS.
PLOT NO. 137, SEC-26, PUSHPAK
PUNE-411 004, M.S.
WWW.EDGEARCHITECTS.COM
OFFICE: 020-25807100

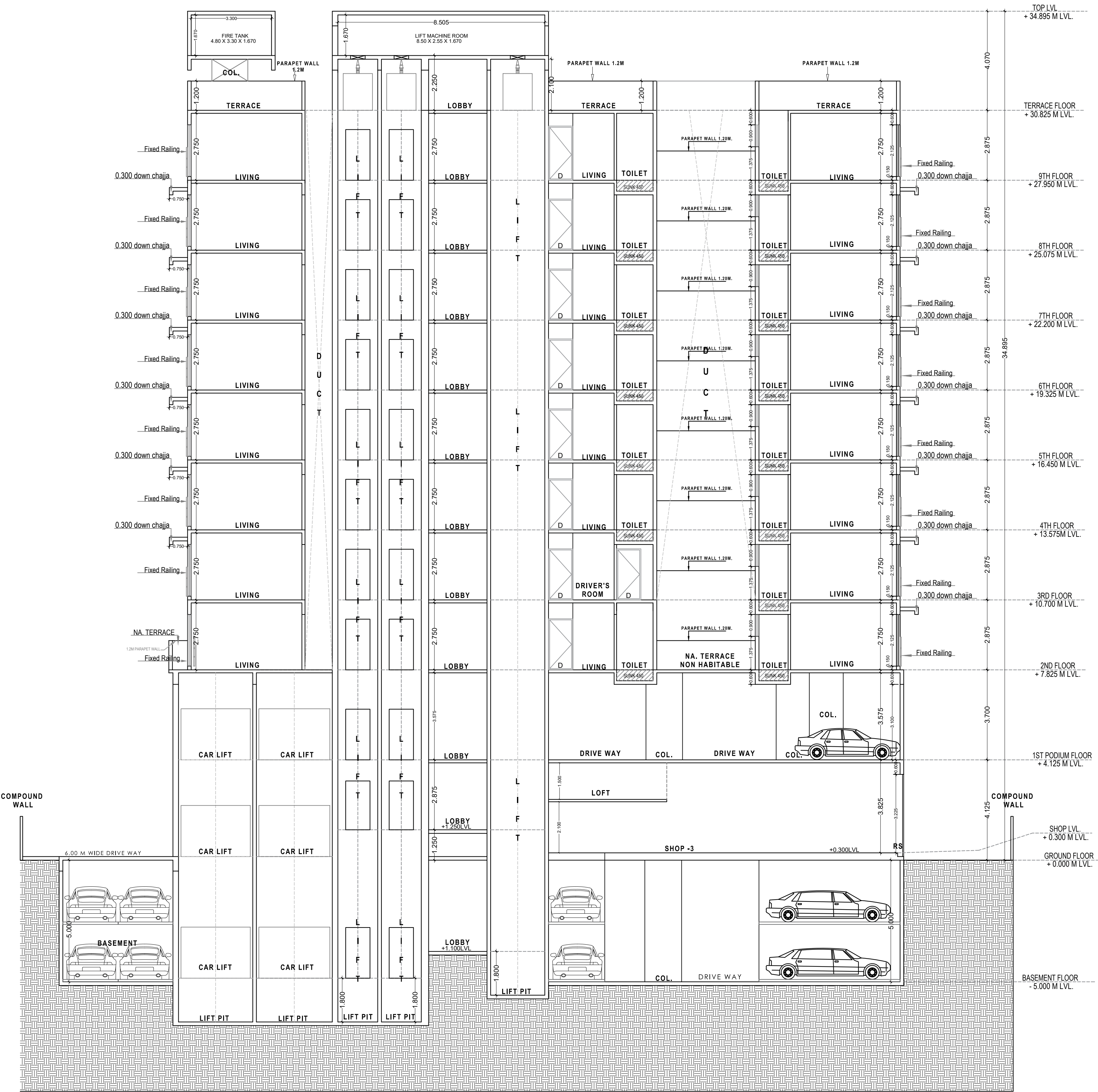
APPROVED SUBJECT TO THE CONDITIONS MENTIONED IN This Office Letter
 No. CIDCO/BP-18491/TPQNM & KJ/2023/13032
 Dtd. 24 Sep 2024



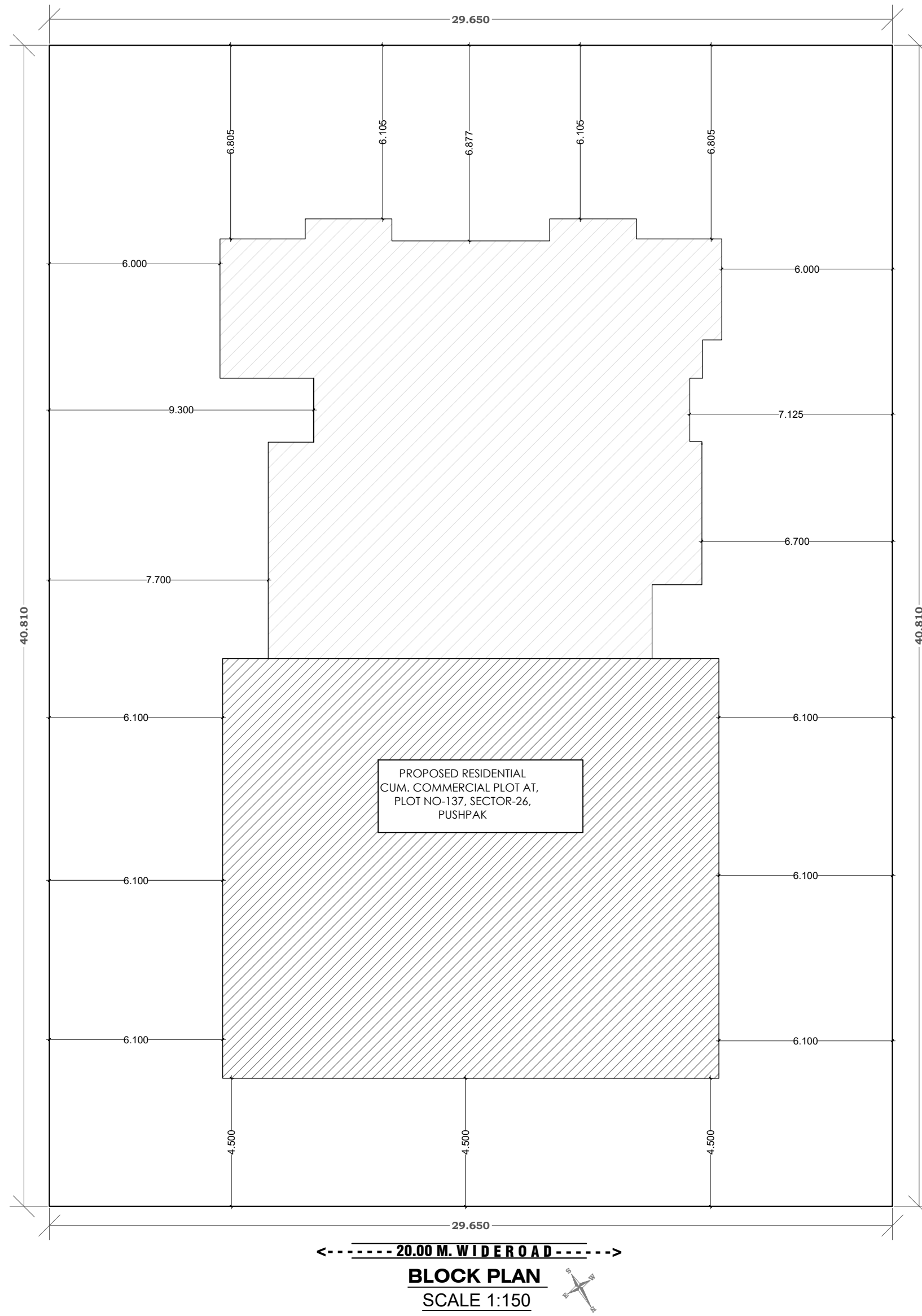
SECTION A-A
SCALE - 1:100



ELEVATION
SCALE - 1:100



SECTION B-B
SCALE - 1:100



BLOCK PLAN
SCALE 1:150

FIRE FIGHTING TANK CALCULATION				
USE	WATER REQUIRED (LITRE)	OVERHEAD WATER TANK PROVISION		
		TANK SIZE (METER)	NUMBER OF TANK	CAPACITY (LITRE)
1	2	3	4	5
	25,000	4.80 X 3.00 X 1.820	1	26,208
TOTAL	25,000		1	26,208

DOOR'S & WINDOW'S SCHEDULE			
TYPES	SIZE	SILL	DESCRIPTION
D	1.000 X 2.100	0.000	T.W. PANELLLED DOOR
D1	0.900 X 2.100	0.000	T.W. PANELLLED DOOR
D2	0.750 X 2.100	0.000	T.W. FLUSH DOOR
W1	2.400 X 2.125	0.150	GLAZED WINDOW
W2	1.800 X 2.125	0.150	GLAZED WINDOW
W3	1.470 X 2.150	0.150	GLAZED WINDOW
W4	1.200 X 2.150	0.150	GLAZED WINDOW
SW	3.200 X 1.075	1.200	GLAZED WINDOW
SW1	1.250 X 1.075	1.200	GLAZED WINDOW
SW2	3.200 X 1.137	1.200	GLAZED WINDOW
V	0.600 X 0.900	1.350	LOUVERED WINDOW
V1	0.300 X 0.900	1.350	LOUVERED WINDOW
V2	0.450 X 0.900	1.925	LOUVERED WINDOW

NOTE: The proposed chajjas over openings for protection from sun and rain and architectural features for decoration / aesthetic purpose shall not be used for any habitable purpose.

Certificate of Area: Certified that the plot under reference was surveyed by me on _____ and the dimensions of sides etc. of plot stated on plan are as measured on site and the area so worked out tallies with the area stated in document of Ownership/T.P. Scheme Records/ Land Records Department/City Survey records.

Owner's Declaration: I/We undersigned hereby confirm that I/ We would abide by plans approved by Authority / Collector /J/We would execute the structure as per approved plans also I/We would execute the work under supervision of proper technical person so as to ensure the quality and safety at the work site.

CONTENTS OF SHEET
 BLOCK PLAN, TERRACE FLOOR, FIRE TANK CALCULATION, DOOR'S WINDOW'S SCHEDULE, SECTION AA, BB, ELEVATION.

NOTE	
1	BOUNDARY WALL OF PLOT SHOWN BLACK
2	PROPOSED STRUCTURE SHOWN RED.
3	ROAD SHOWN GREEN.
4	DRAINAGE LINE SHOWN RED DOTTED LINE.
5	WATER LINE SHOWN BLUE DOTTED LINE.
6	INTERNAL WALL (O.S.) EXTERNAL WALL (O.S.)

CA/2013/59413
 OWNER'S NAME & SIGNATURE -

CIDCO/BP-18491/TPQNM & KJ/2023
 M/S. PRIME NEELEKANTH LLP

PROJECT - PROPOSED RESIDENTIAL CUM. COMMERCIAL BUILDING ON PLOT-137, SEC-26, PUSHPAK.
 CHECKED BY: AR. DASHA. L.GAMI
 DRAWN BY: Pooja
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