

FORM OF STATEMENT 1
AREA DETAILS OF APARTMENT BUILDING NO.02

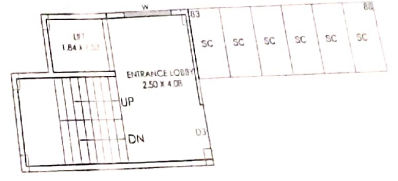
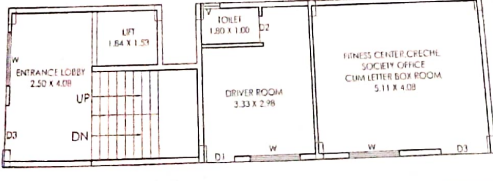
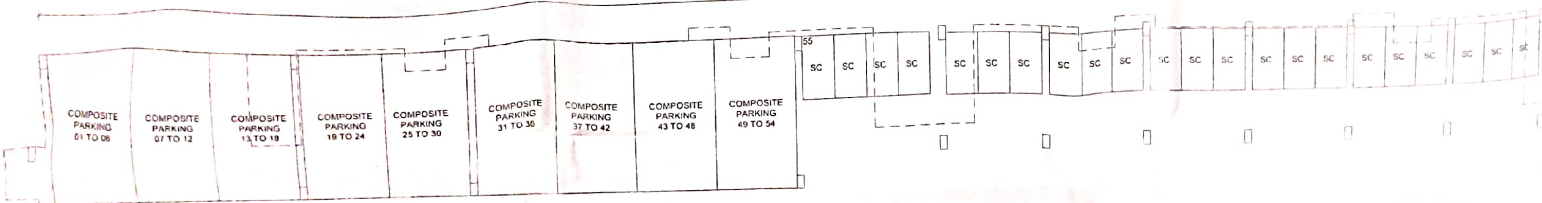
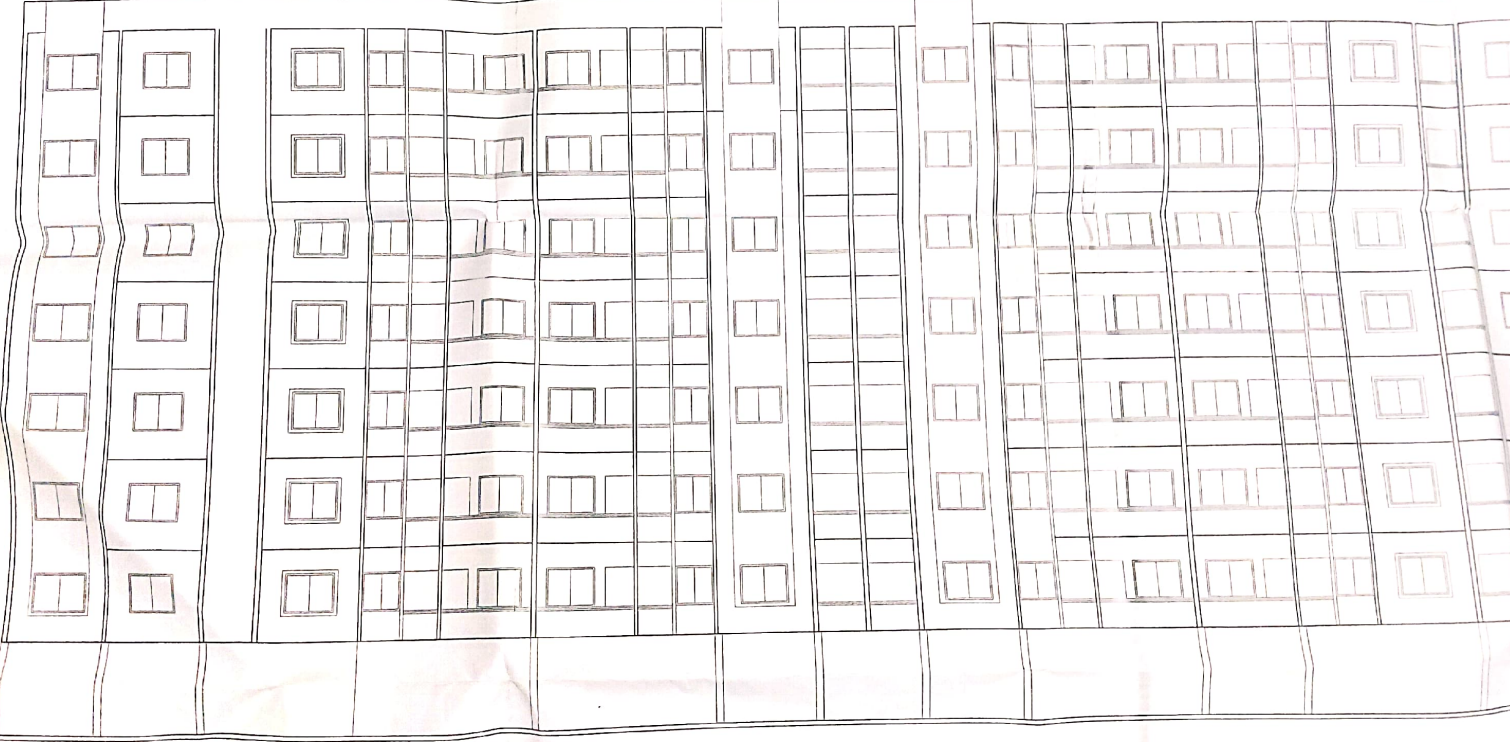
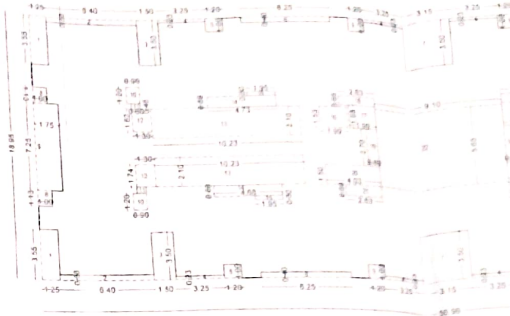
Building No	Floor No	Apartment No	Carpet area of apartment	Area of Balcony attached to Apartment	Area of Double Height terrace attached to flat	No. of Units	Total Area
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8) (4+5+6)
'A' WING	FIRST TO SEVENTH FLOOR	F NO 101 121 321 421 501 601 701	48.40	4.15	---	07	52.55 X 7 = 367.85
		F NO 102 202 302 402 502 602 702	48.60	4.15	---	07	52.75 X 7 = 369.25
		F NO 103 303 303 403 503 603 703	46.67	4.52	---	07	51.19 X 7 = 358.33
		F NO 104 204 304 404 504 604 704	46.67	4.52	---	07	51.19 X 7 = 358.33
		F NO 105 205 305 405 505 605 705	43.60	4.15	---	07	52.75 X 7 = 369.25
		F NO 106 206 306 406 506 606 706	48.40	4.15	---	07	52.55 X 7 = 367.85
TOTAL							2160.86
'B' WING	FIRST TO SEVENTH FLOOR	F NO 101 201 301 401 501 601 701	48.40	4.15	---	07	52.55 X 7 = 367.85
		F NO 102 202 302 402 502 602 702	48.40	4.15	---	07	52.55 X 7 = 367.85
		F NO 103 203 303 403 503 603 703	48.60	4.15	---	07	52.75 X 7 = 369.25
		F NO 104 204 304 404 504 604 704	46.67	4.52	---	07	51.19 X 7 = 358.33
		F NO 105 205 305 405 505 605 705	46.67	4.52	---	07	51.19 X 7 = 358.33
		F NO 106 206 306 406 506 606 706	48.00	4.15	---	07	52.15 X 7 = 365.05
TOTAL							2160.86

FORM OF STATEMENT 1
PROPOSED BUILDING NO.02

Building No.	Floor No.	Total Built-Up Area of Floor as per plan Construction Area (Sq.mts)
(1)	(2)	(3)
I	GROUND	62.78 x 21.91 = 1387.38
	FIRST	749.57
	SECOND	749.57
	THIRD	749.57
	FOURTH	749.57
	FIFTH	749.57
	SIXTH	749.57
TOTAL	5133.22	

PARKING STATEMENT (BUILDING NO. 02)

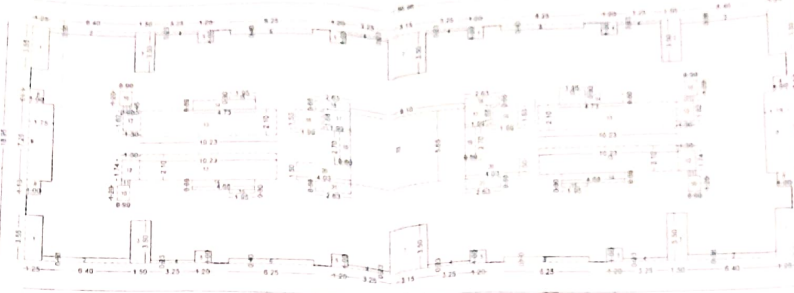
TYPE	CARPET AREA	TENAMENT	CAR	SCOOTER
	> 30 m ²	UNIT	REQ	REQ
RESIDENTIAL	30 - 40 m ²	00	00	00
RESIDENTIAL	40 - 80 m ²	84	42	210
RESIDENTIAL	80 - 150 m ²	00	00	00
RESIDENTIAL	> 150 m ²	00	00	00
VISITOR 5%		00	2.1	10.5
COMMERCIAL		00	00	00
TOTAL REQUIRED			44.1	220.5
AS PER MULTIPLE FACTOR RULE NO F 2 - G 4			17.6	88.2
NAGRA PANCHAYAT NON MUNICIPAL TOWN DEVELOPMENT PLAN AREA AND AREAS IN REGIONAL PLAN			18	88
TOTAL PROPOSED			18	88



BUILDING NO.02

STATEMENT OF WORKS

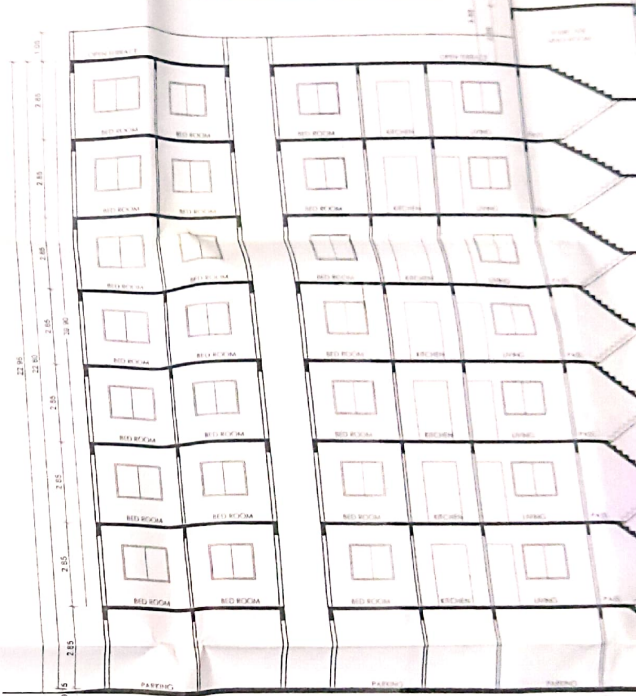
NO.	DESCRIPTION	QTY	UNIT	AMOUNT
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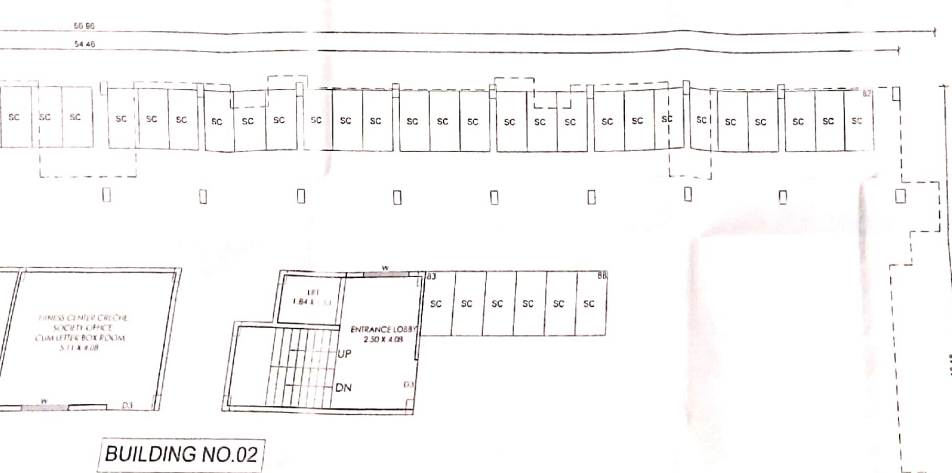
TYPICAL FIRST TO SEVENTH FLOOR AREA DIAGRAM
SCALE 1:200

TYPICAL FLOOR PLAN FIRST TO SEVEN AREA CALCULATION

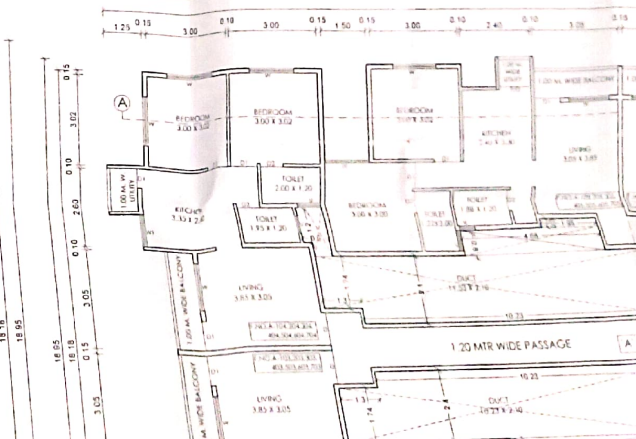
NO.	DESCRIPTION	AREA (SQ. M)	NO.	DESCRIPTION	AREA (SQ. M)
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7	7
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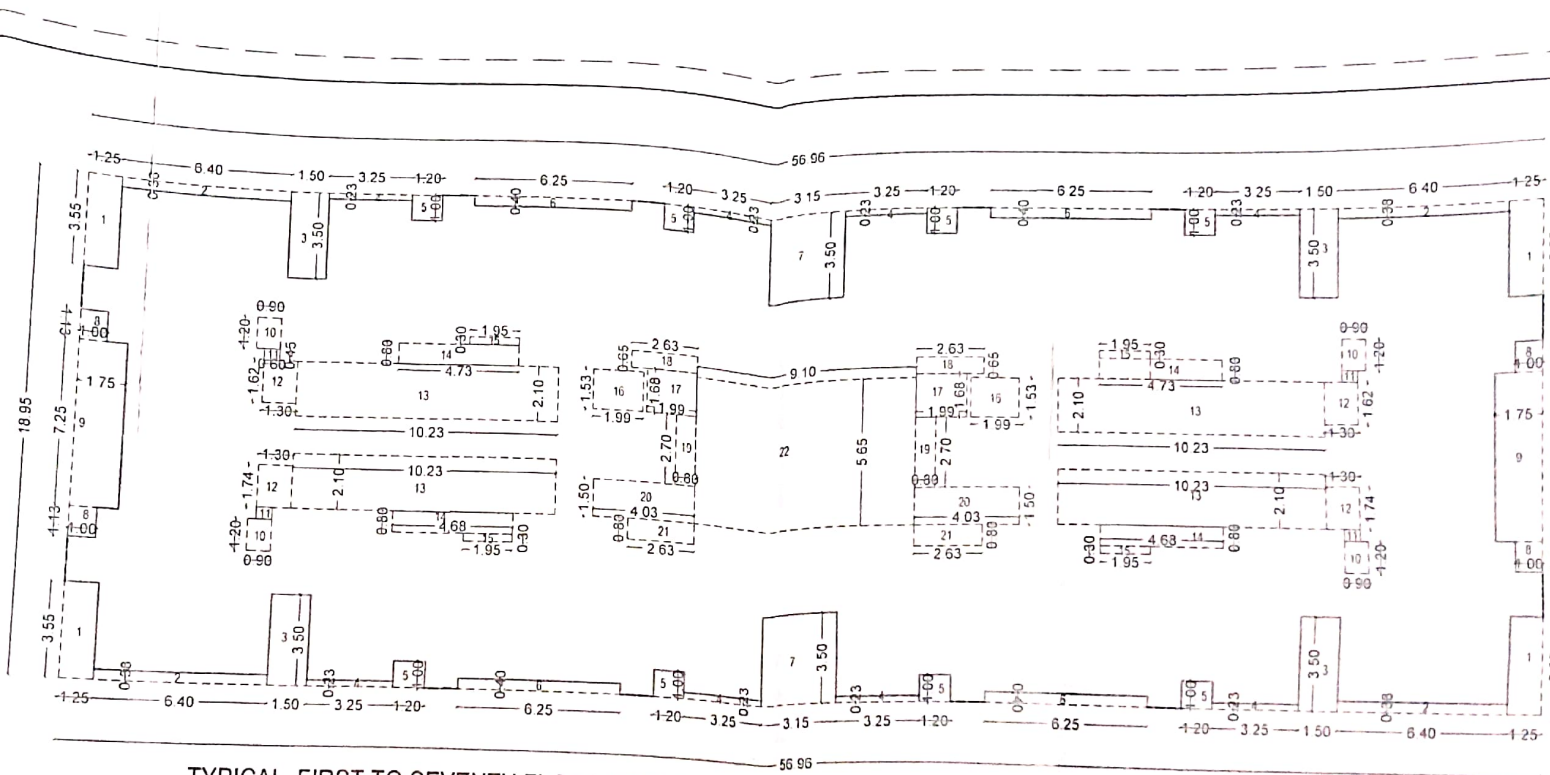


SECTION @ AA (BUILDING NO.02)
SCALE - 1:100

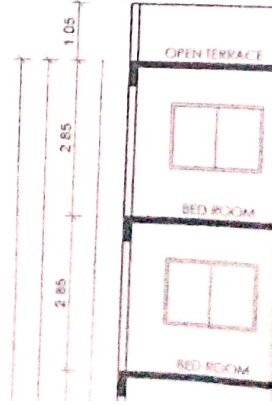


BUILDING NO.02

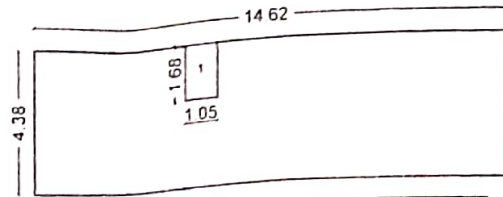




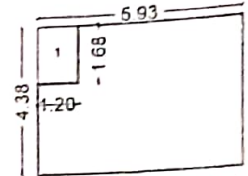
TYPICAL FIRST TO SEVENTH FLOOR AREA DIAGRAM
SCALE 1:200



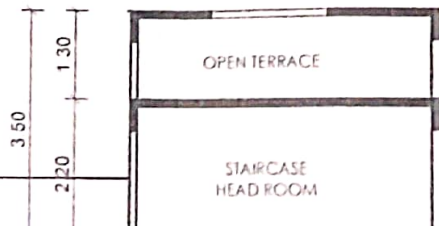
TYPICAL FLOOR PLAN FIRST TO SEVEN AREA CALCULATION					
PERTICULAR		LENGTH IN M.	WIDTH IN M.	NO.	TOTAL AREA IN SQ.M.
BLOCK AREA AS CALCULATED		56.96	18.95	1	1079.39
DEDUCTION NO.					1079.39
	1	1.25	3.55	4	17.75
	2	6.40	0.38	4	9.73
	3	1.50	3.50	4	21.00
	4	3.25	0.23	4	2.99
	5	1.20	1.00	8	9.60
	6	6.25	0.40	4	10.00
	7	3.15	3.50	2	22.05
	8	1.13	1.00	4	4.52
	9	1.80	7.25	2	26.10
	10	0.90	1.20	4	4.32
	11	0.60	0.45	4	1.08
	12	1.30	1.74	4	9.05
	13	10.23	2.10	4	85.93
	14	4.73	0.80	4	15.14
	15	1.95	0.30	4	2.34
	16	1.99	1.53	2	6.09
	17	1.99	1.68	2	6.69
	18	2.63	0.65	2	3.42
	19	0.80	2.70	2	4.32
	20	4.03	1.50	2	12.09
	21	2.63	0.80	2	4.21
22	9.10	5.65	1	51.42	
TOTAL DEDUCTION AREA					329.82
BLOCK AREA - DEDUCTION AREA					
BLOCK AREA IN SQ.M	DEDUCTION AREA IN SQ.M	TOTAL B/UP AREA IN SQ.M.			
1079.39	329.82	749.57			

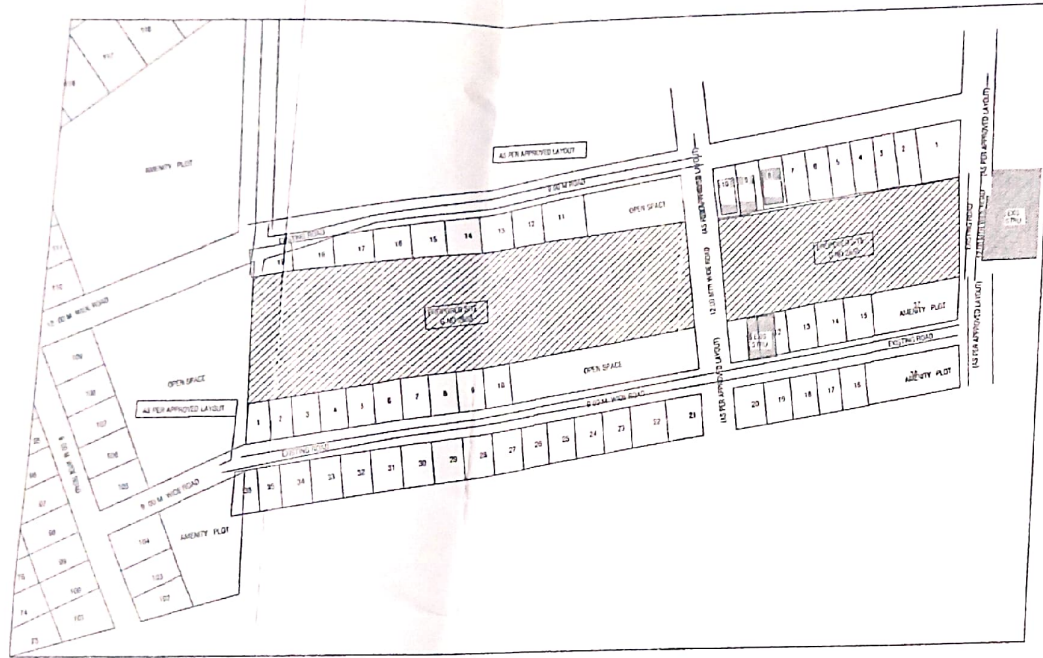


AREA CALCULATION FOR GROUND FLOOR						
	14.62	X	4.38	X	1.00	X 1 = 64.04
1	1.05	X	1.68	X	1.00	X 1 = 1.78
TOTAL	0.00		0.00		0	0 176.00
NET BUILT -UP AREA	0.00	64.04 - 1.78				62.28
		62.28 + 23.95				86.23



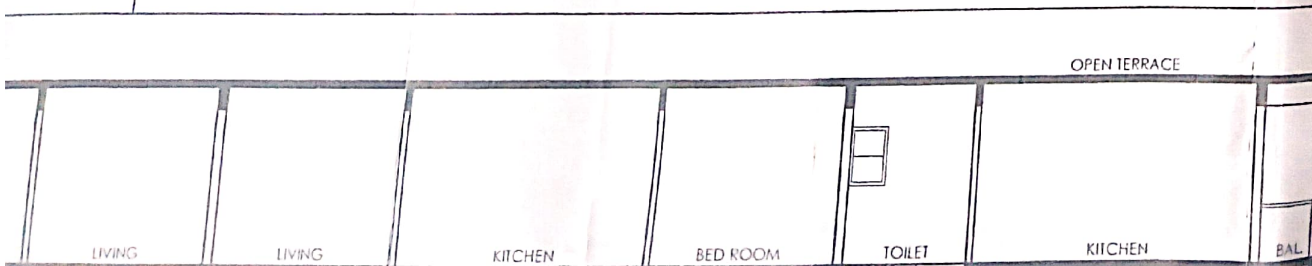
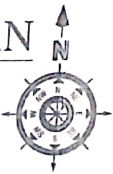
AREA CALCULATION FOR GROUND FLOOR						
	5.93	X	4.38	X	1.00	X 1 = 25.78
1	1.20	X	1.68	X	1.00	X 1 = 2.02
TOTAL	0.00		0.00		0	0 27.80
NET BUILT -UP AREA	0.00	25.97 - 2.02				23.95





KEY PLAN

SCALE - NTS



TITLE SHEET NO. - 4/4

REVISED GROUP HOUSING SCHEMENPLAN
ON S.NO. 2658/1
AT- OZAR, DIST.NASHIK.
FOR - SHRI.ANIL RAMKRUSHNA BHAMBERE.
SAU.VIDYA ANIL BHAMBERE.

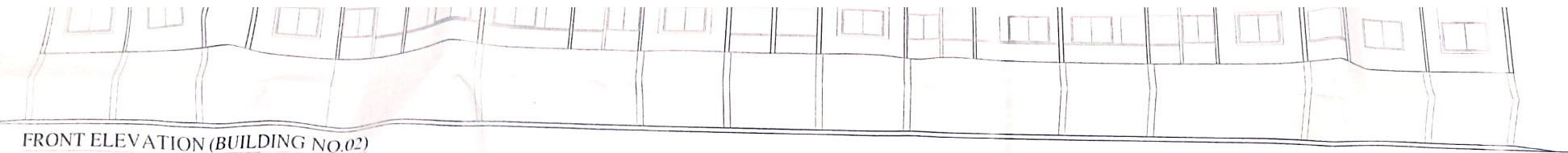
APPROVAL STAMP

Approved as amended in
subject to conditions mentioned in Annexure 'A'
of letter No. *21/10/2022*
MLD/MS/210/2022/919035
Dated *90/11/2022*
[Signature]
DEPUTY METROPOLITAN PLANNER
Nashik Metropolitan Region Development Authority, Nashik

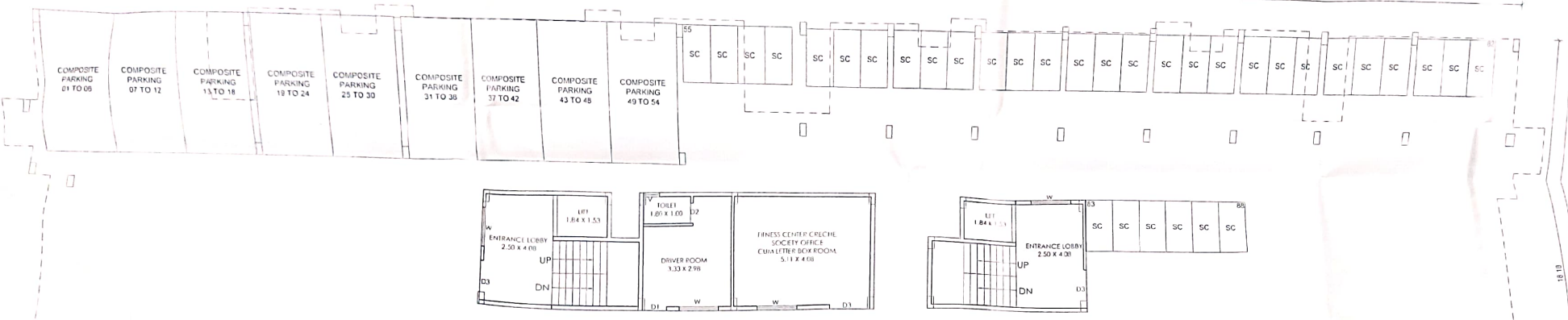


FRONT ELEVATION (BUILDING NO.02)

SCALE - 1:100



56.66
54.46



BUILDING NO.02

PARKING FLOOR PLAN (BUILDING NO. 02)

SCALE - 1:200



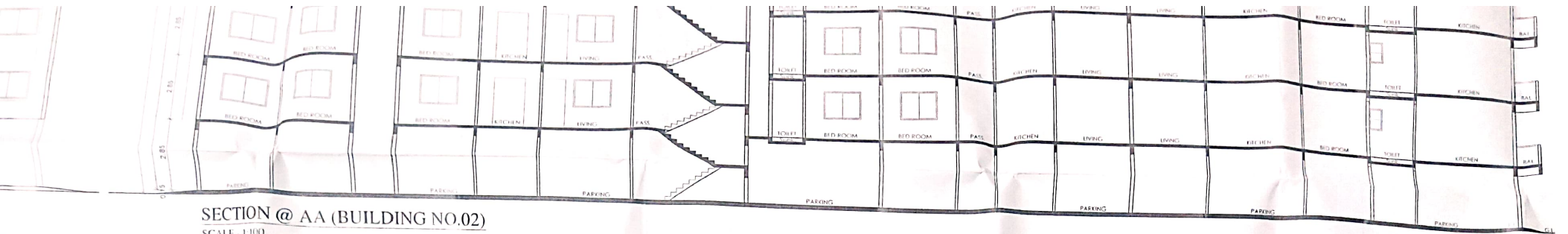
SECTION @ AA

SCALE - 1:100



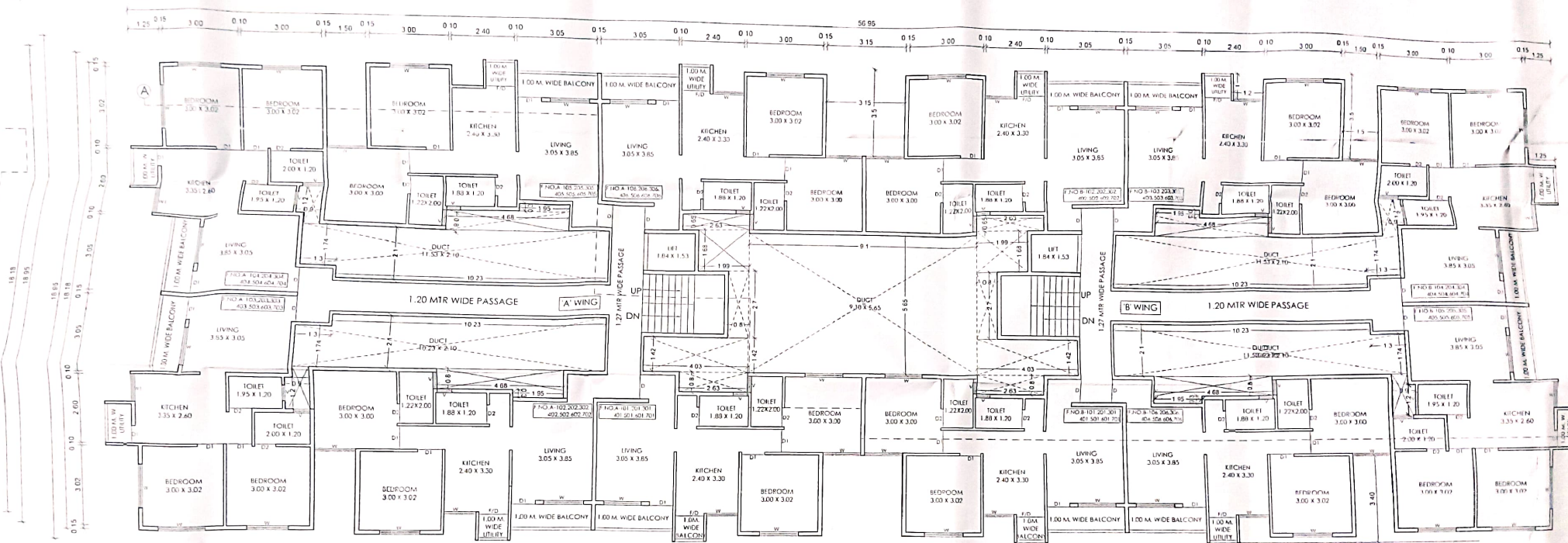
TYPICAL 1ST FLOOR

SCALE - 1:100



SECTION @ AA (BUILDING NO.02)

SCALE - 1:100



TYPICAL 1ST TO 7TH FLOOR PLAN (BUILDING NO.02)

SCALE - 1:100

CERTIFICATE OF ADE
CERTIFIED THAT THE
ON 26 / 02 / 2022 & U
STATED ON PLAN AR
TALLEST WITH AREA
RECORDS DEPARTM

OWNER'S DECLAR
I HAVE EMPLOYED M
NASTHUR MUNICIPAL CO
I HAVE SIGNED PLANS
PROPER TECHNICAL

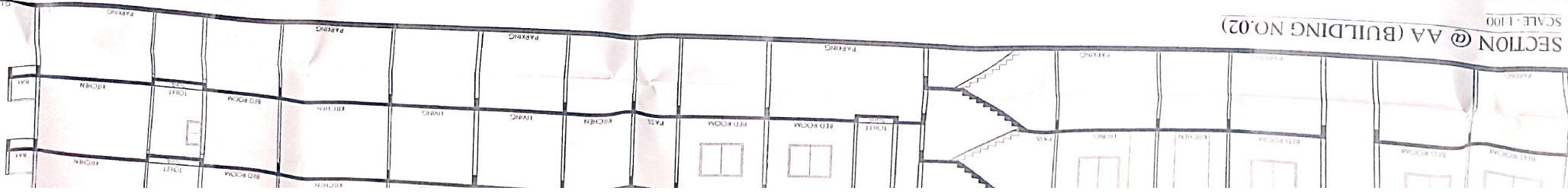
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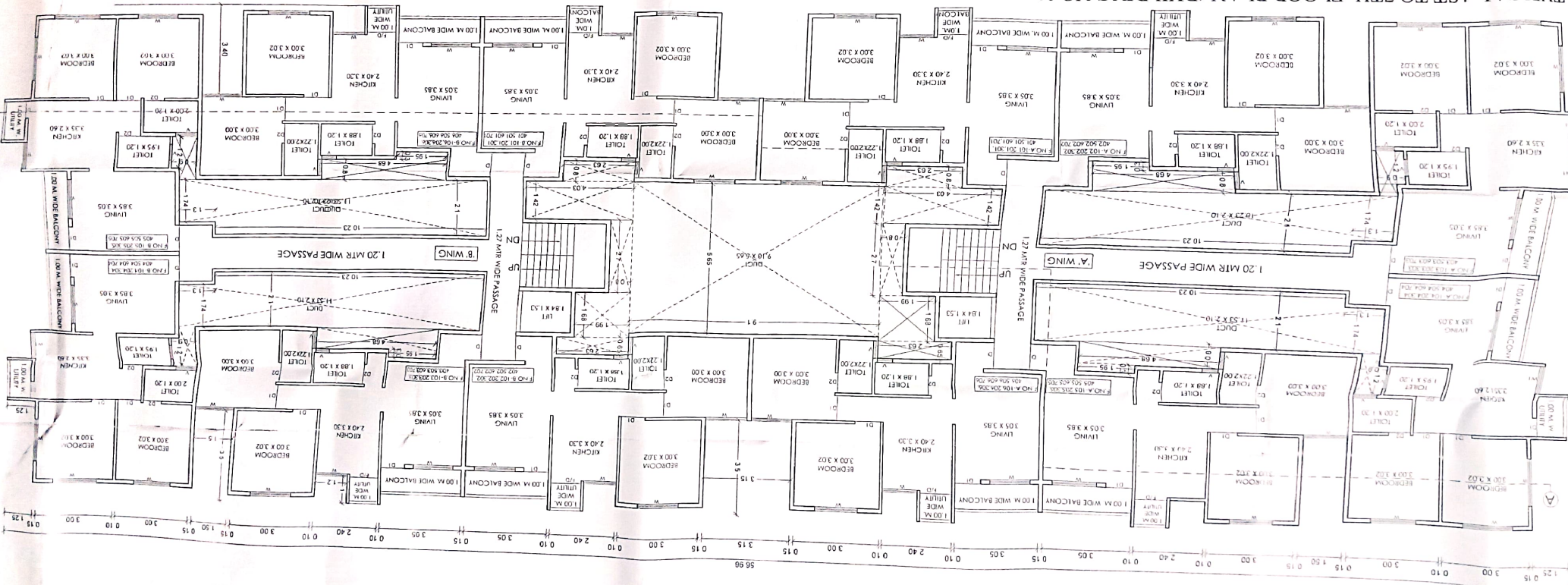
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Job No Drawing

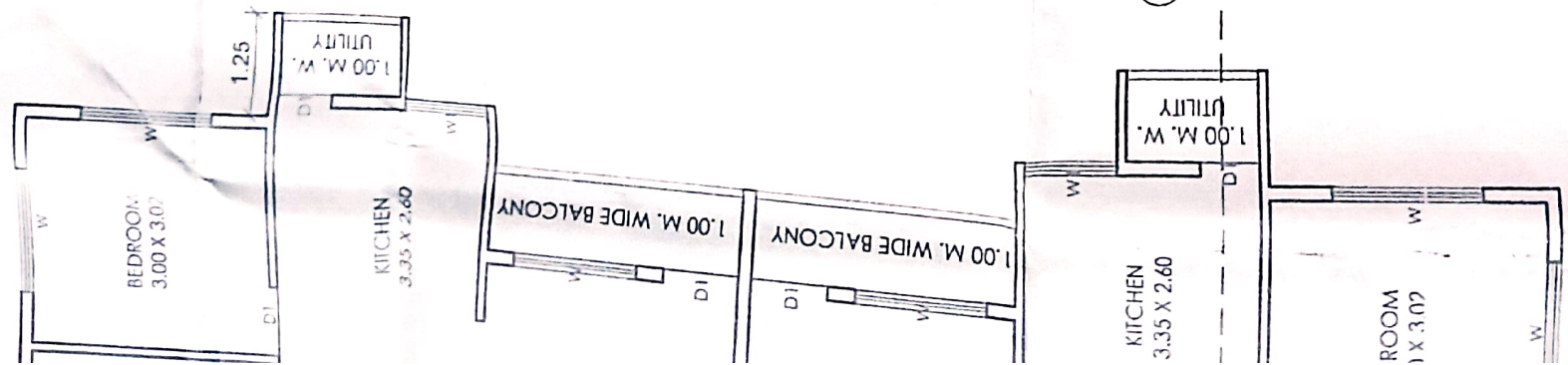
SECTION @ AA (BUILDING NO.02)
SCALE - 1:100



TYPICAL 1ST TO 7TH FLOOR PLAN (BUILDING NO.02)
SCALE - 1:100



OWNER'S DECLARATION
I HEREBY CERTIFY THAT THE
STATED ON PLAN ARE
TRUE AND CORRECT
RECORDS DEPARTMENT
ARCHITECT'S SIGNATURE
DATE: 10/10/2018
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: 1:100



CERTIFICATE OF AREA
 CERTIFIED THAT THE PLOT UNDER REFERENCE WAS SURVEYED BY ME
 ON 26 / 02 / 2022 & DIMENSION OF ALL SIDES ETC. OF THE PLOT
 STATED ON PLAN ARE MEASURED ON SITE AND AREA SO WORK OUT
 TALLEST WITH AREA STATED IN DOCUMENT OF OWNERSHIP / T.P. SCHEME
 RECORDS DEPARTMENT/CITY SURVEY RECORDS.

[Signature]
 AR. YOGESH T. GAIKWAD

OWNER'S DECLARATION
 I/WE UNDERSIGNED HEREBY CONFIRM THAT I/WE WOULD ABIDE BY PLANS SANCTIONED BY
 NASHIK MUNICIPAL CORPORATION. I/WE WOULD EXECUTE THE STRUCTURE AS PER
 SANCTIONED PLANS ALSO I/WE WOULD EXECUTE THE WORK UNDER SUPERVISION OF
 PROPER TECHNICAL PERSON SO AS TO ENSURE THE QUALITY AND SAFETY AT THE WORK SITE.

[Signature]
 SAU. VIDYA ANIL BHAMBERE

[Signature]
 SHRI. ANIL RAMKRUSHNA BHAMBERE

[Signature]
 AR. YOGESH T. GAIKWAD

[Signature]
 Shri. MILIND S. RATHI
 Reg. Structural Engineer
 NMC Reg. No. SELR128

ARCHITECT SIGN. STRUCTURAL ENGG. SING.

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 Raceca Colony, Behind Kulkarni Garden, Nashik -422005

Job No.	Drawing No.	Scale	Drawn by	Checked by	Registration No. of Architect License no. of Licensed Engineer/Supervisor
		1:100	POOJA USHIR	S.D.G	CA/2018/96038