

Date: 25/03/2022

To,  
Mrs. Sharda Mansingh Sonar & Mr. Navin Mansingh Sonar  
A-602, Hayat Residency C/O Mashia Chs Prabhakar Kunte Nagar,  
Dharavi 90 Feet Road, Opp. Sai Hospital,  
Mumbai - 400 017

**Sub.: Possession Letter of Flat No. 1107, for fit-out in newly redeveloped building known as "N.N. Swanand Co. Op. Hsg. Soc. Ltd. Bldg No. 33, Nehru Nagar, Kurla (E)"**

**Ref. : Sale Agreement Dated 20/05/2019.**

Respected Sir/Madam,

We are pleased to take an opportunity to announce that the work of the Building No. 33 is completed and your flat is ready for the possession. All conditions in respect of grant of OC are almost complied with & part O.C. is expected shortly.

As per your request letter dated 25/03/2022, We hereby allow you to take the possession of flat for fit-out subject to following term and conditions.

1. The possession of the flat shall be handed over to the bonafied purchaser only & that to upon the full payment of the dues including total payment towards the flat cost and taxes etc.
2. The external facework of building i.e. Grill, elevation design & colour of building shall not be replaced or removed or reinstalled.
3. The lift shall not be used to carry goods or furniture or any such other material while shifting belongings.
4. Premises, common area or lobby area shall not be used for dumping the rabbit or storage of the raw material.
5. Daily Cleaning at the front passage of flat and removal of debris is necessary.

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*Received all keys on 26/3/22*

Head Office : B/207, Hinal Heritage, S. V. P. Road, Borivali (West), Mumbai - 400092.  
Tel.: 28918249 • Fax : 28919673 • E-mail : hiranimanthan2000@gmail.com • Web.: www.hiranigroup.org  
Branch Office : F-101, Skyview CHSL, Bldg. No. 146, 147 & 149, Mother Dairy Road, Nehru Nagar, Kurla (E), Mumbai-400 024.

6. Payment of Electric bill shall be applicable to the purchaser from the date of taking possession of the flat.
7. Purchaser shall remain responsible for any Damage to the neighbour flat due to heavy hammer or drilling and shall compensate for the same.
8. Internal changes / removal of tiles / replacement of tiles and changes in the location of spouts / taps / water lines inside the kitchen, bathroom and toilet area shall void the guarantee /warrantyof leakage given by the Developer as per the sale agreement for that particular flat and purchaser will remain responsible for the damage due to such changes of neighbouring flat and shall compensate for the same.
9. No breaking / shifting of internal wall's is allowed and damage of external wall to install the window A/c unit, Indoor or outdoor unit or chimney exhaust is allowed to protect the external elevation of the building.
10. Purchaser shall take proper care while transporting material through the lobby and common passage area to avoid the damages.
11. Purchaser shall sign all necessary papers / documents as anwhen required if any for the successful construction & completion of project as per the approvals.
12. Any sort of damage to the external plaster and colour due to plants in the grill or removal of grill / repair / rework / renovation inside flat / AC unit installation will make the guarantee/ warranty of external colour & plaster of building null & void. Thereafter it will remain the responsibility of purchaser alone.
13. Not to enclose the open balcony, flower bed, ducts or any other open area pertaining to the said Flat, whereby any Floor Space Index whatsoever is deemed to be consumed and without prejudice thereto not to do any act, deed, matter or thing, whereby any rights of the Developer/the said Body are in any manner whatsoever prejudiced/ adversely affected.
14. Not to carry out in or around the said Flat any alteration/changes of structural nature without the prior written approval of the Developer and the Structural Engineers and the RCC Consultants of the said Proposed Buildings.
15. Not to demolish the said Flat or any part thereof including the internal walls, windows, etc., thereof, nor at any time make or cause to be made any addition or any alteration

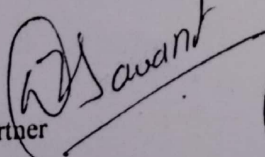
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in the elevation and outside colour scheme of the Proposed Buildings and shall keep the portion, sewers, drains, pipes, in the said Flat and appurtenance thereto in good, tenantable repair and condition and in particular so as to support, shelter and protect the other parts of the Proposed Buildings and shall not chisel or any other manner damage the columns, beams, walls, slabs or R.C.C. pardis or other structural members in the said Flat without the prior written permission of the Developer and/or the said Body, when formed. Not to do or permit to be done any act, deed, matter or thing, which may render void or void able any insurance of the said Property and the Proposed Buildings or any part thereof or whereby any increase premium shall become payable in respect of the insurance.

16. Not to throw dirt, rubbish, rags, garbage or other refuse or permit the same to be thrown from the said Flat in the compound or on the terrace or on the other premises or any portion of the said Property and the Proposed Buildings.
17. The Purchaser/s admits having taken full free and complete inspection of the flat and shall not raise any objection on any ground.
18. The Purchaser/s hereby agree/s that all necessary facilities, assistance and co-operation will be rendered by the Purchaser/s to the Promoter/Developers to enable the Promoter/Developers to construct and complete the project fully in accordance with the approvals granted.
19. The Purchaser/s shall, from time to time, sign and execute all applications, papers and documents, and do all the acts, deeds, matters and things as the Developer may require, for safe guarding the interest of the Developer to the said project and/ or the premises therein.

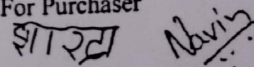
We hope all terms are clarified by the developer & understood by the purchaser. We request you to sign here in below as an acknowledgement and acceptance of the terms.

Thanks & Regards  
For M/s. Hiranimanthan Builders & Developers

  
Partner



We read & understood all above terms & accept the possession of our flat for fit-out.

For Purchaser  
  
(Sharda M Sonar & Navin M Sonar)

आयकर विभाग

INCOME TAX DEPARTMENT



सत्यमेव जयते

भारत सरकार

GOVT. OF INDIA

GANESH LAHU PADEKAR

LAHU SAKHARAM PADEKAR

15/07/1985

Permanent Account Number

BAEPP1194B

Signature





भारत सरकार

Government of India



गणेश लहू पाडेकर

Ganesh Lahu Padekar

जन्म वर्ष / Year of Birth : 1985

पुरुष / Male



3690 9354 4836

आधार - सामान्य माणसाचा अधिकार

