

390/6647

Monday, May 20, 2019
6:39 PM

पावती

Original/Duplicate

नोंदणी क्र.: 39म

Regn.: 39M

पावती क्र.: 7233 दिनांक: 20/05/2019

गावाचे नाव: कुर्ला

दस्तऐवजाचा अनुक्रमांक: करल3-6647-2019

दस्तऐवजाचा प्रकार: ऑनलाईन टू सेल

सादर करणाऱ्याचे नाव: शारदा मानसिंग सोनार . .

नोंदणी फी

रु. 30000.00

दस्त हाताळणी फी

रु. 1860.00

पृष्ठांची संख्या: 93

DELIVERED

एकूण:

रु. 31860.00

आपणास मूळ दस्त, थंबनेल प्रिंट, सूची-२ अंदाजे
7:06 PM ह्या वेळेस मिळेल.

सह दु.निबंधक कुर्ला - ३

बाजार मूल्य: रु.6241221/-

मोबदला रु.6300000/-

भरलेले मुद्रांक शुल्क : रु. 378000/-

सह दुय्यम निबंधक
कुर्ला-३ (वर्ग-२)

1) देयकाचा प्रकार: eChallan रक्कम: रु.30000/-

डीडी/धनादेश/पे ऑर्डर क्रमांक: MH001702970201920M दिनांक: 20/05/2019

बँकेचे नाव व पत्ता:

2) देयकाचा प्रकार: DHC रक्कम: रु.1860/-

डीडी/धनादेश/पे ऑर्डर क्रमांक: 2005201912490 दिनांक: 20/05/2019

बँकेचे नाव व पत्ता:

मूळ दस्त, स्कॅंड प्रिंट

मिळाली

२१/५

DELIVERED

मूल्यांकन पत्रक (शहरी क्षेत्र - बांधीव)					
Valuation ID	201905205556			20 May 2019,06:36:54 PM	
मूल्यांकनाचे वर्ष	2019				
जिल्हा	मुंबई(उपनगर)				
मुल्य विभाग	107-कुर्ला - 3				
उप मुल्य विभाग	107/514 मुभाग: स.गो.दवे मार्गाच्या दक्षिणेकडील गावाचा सर्व भूभाग.				
सह नंबर /न. भू. क्रमांक :	सि.टी.एस. नं०#11				
वार्षिक मूल्य दर तक्रर्यानुसार मूल्यदर रु.	खुली जमीन	निवासी सवतिका	कार्यालय	दुकाने	औद्योगिक
	46400	108300	119100	178000	108300
बांधीव क्षेत्राची माहिती	बांधकाम क्षेत्र(Built Up)-	52.39चौरस मीटर	मिळकतीचा वापर-	निवासी कार्यालय	मिळकतीचा प्रकार-
	बांधकामाचे वर्गीकरण-	1-आर.सी.सी	मिळकतीचे यय-	0 TO 2वने	मूल्यदर/बांधकामाचा दर -
	उद्भावना सुविधा-	आहे	मजला -	11th floor To 20th floor	बांधीव
Sale Type - First Sale					
Sale/Resale of built up Property constructed after circular dt.02/01/2018					
मजला निहाय घट/वाढ			= 10% apply to rate=Rs.119130/-		
घसा-यानुसार मिळकतीचा प्रति चौ. मीटर मुल्यदर			=(((वार्षिक मूल्यदर- खुल्या जमिनीचा दर) * घसा-यानुसार टक्केवारी)+ खुल्या जमिनीचा दर)		
			= (((119130-46400) * (100 / 100))+46400)		
			= Rs.119130/-		
A) मुज्य मिळकतीचे मुल्य			= वरील प्रमाणे मुल्य दर * मिळकतीचे क्षेत्र		
			= 119130 * 52.39		
			= Rs.6241220.7/-		
एकत्रित अंतिम मुल्य			= मुज्य मिळकतीचे मुल्य +उद्भावनाचे मुल्य + वेदनाचे मजला क्षेत्र मुल्य + लालच्या मजलीचे मुल्य + वरील मजलीचे मुल्य + बरिस्त बावन तळाचे मुल्य + खुल्या जमिनीजवळ बावन तळाचे मुल्य + इमारती भोवतीच्या खुल्या जागेचे मुल्य + बरिस्त बावन		
			= A + B + C + D + E + F + G + H + I		
			= 6241220.7 + 0 + 0 + 0 + 0 + 0 + 0 + 0 + 0		
			=Rs.6241220.7/-		

Home Print

करल-3
६६४० १ ९३
२०१९

सह दुय्यम निबंधक
कुर्ला-३ (वर्ग-२)



करल-३		
६६४८०	५	६३
२०१९		



AGREEMENT FOR SALE

SIT २६

Navin

THIS AGREEMENT FOR SALE is made and entered into at ~~Mumbai~~ ~~on~~ ~~the~~ ~~20th~~ ~~of~~ ~~May~~ ~~2019~~.

BETWEEN

M/S. HIRANIMANTHAN BUILDERS AND DEVELOPERS, (PAN NO. AAEFH2784A) a Partnership Firm, duly registered with Registrar of Firms having its office at B-110, Sweta Park, Daulat Nagar, Road No.2, Borivali (East), Mumbai - 400 066, through its Partners (1) **MR. DINESH B. SAVANT** & (2) **MR. HASMUKH R. HIRANI** both adults, occupation Business, hereinafter referred to and called as **"THE PROMOTER/DEVELOPERS"** (which expression shall unless repugnant to the context and meaning thereof shall mean and include its partners for the time being and from time to time and also successors and assigns of the said firm but shall not include partners who have retired or deemed to have retired) of the **FIRST PART**

AND

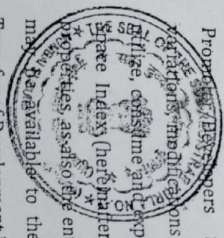
MRS. SHARDA MANSINGH SONAR age 53 years (Pan No. BKHPS8797Q) & **MR. NAVIN MANSINGH SONAR** Age 33 years (Pan No. BJRPS3503B) Indian Inhabitant, having his/her/their address at A-602, Hayat Residency C/O Mashia Chs Prabhakar Kunte Nagar, Dharavi 90Feet Road, Opp. Sai Hospital, Mumbai - 400 017 hereinafter called **"THE PURCHASER/S / ALLOTTEES"** (which expression shall unless it be repugnant to the context or meaning thereof be deemed to mean and include his/her/their heirs, executors, and administrators) of the **SECOND PART**;

SIT २६

Navin

करल-३	२०१९
६६४८०	२
	६३

made by the Promoter/Developers to the Allottees/Purchaser/s and with full knowledge and information thereof, and subject to the terms, conditions and stipulations imposed, or which may hereafter be imposed by the Brihanmumbai Mahanagar Palika and all other concerned Government bodies and/or authorities, and also subject to the Proposer/Developers right to make the necessary amendments, modifications and/or changes therein, and their right to use, utilize, consume and exploit the entire balance and /or additional Floor Space Index (hereinafter referred to as F.S.I.) available on the said properties, as also the entire benefit of any other and/or further F.I that may be available to the Promoter/Developers under the Scheme of Transfer of Development Rights (TDR) and/or under any other scheme as may be permissible under any law and/or statute.



NOW THIS AGREEMENT WITNESSETH AND IT IS HEREBY AGREED BY AND BETWEEN THE PARTIES HERETO AS FOLLOWS:

1. The Rectals above form an integral part of this Agreement and are not repeated in the operative part only for the sake of brevity and the same should be deemed to be incorporated in the operative part also as if the same were set out hereinafter and reproduced verbatim.
2. The Developer shall be constructing the Proposed Buildings to be known as "NEHRU NAGAR SWANAND CHS LTD." on the said Property in accordance with the plans, designs, specifications approved by the concerned local authority and which may further be approved by the concerned local authorities (for the additional floors as rectied above) and which sanctioned plans as well as proposed plans have been seen and approved by the Allottees/Purchaser/s with only such variations as the Developer may consider necessary or as may be required by the concerned local authority the Government to be made in them or any them.

Q

4 511251

Navin

करल-३	२०१९
६६४८०	२
	६३

3. In consideration of the aggregate sum Rs. 63,00,000/- (Rupees Sixty Three Lakhs Only) agreed to be paid by the Allottees/Purchaser/s to the Developer in the manner contained in Clause 4 hereunder, the Developer hereby agrees to sell to the Allottees/Purchaser/s the said Flat bearing No. 1107 on the Eleventh Floor of the Proposed Building also known as "NEHRU NAGAR SWANAND CHS LTD." in the proposed project Redevelopment of "Bldg. No. 33, Nehru Nagar, Kurla (E), Mumbai - 400 024" to be constructed on the said Property admeasuring approximately 43.66 square meters Carpet area equivalent to 470 Square Feet in the aggregate together with all rights of and incidental thereto and together with the right to use and enjoy the limited common areas and facilities and the common areas and facilities in common as specified in Part A and Part B respectively of the Third Schedule hereunder written (all of which aforesaid rights and entitlements of the Developer agreed to be sold hereunder are hereinafter collectively referred to as "the said Premises").
4. The said aggregate consideration of Rs. 63,00,000/- (Rupees Sixty Three Lakhs Only) shall be paid by the Allottees/Purchaser/s to the Developer in the following manner:
 - (a) Rs. 40,00,000/- (Rupees Forty Lakhs Only) being the booking amount paid by the Purchaser/s to the Developer prior to the execution hereof (the payment and receipt whereof the Developer doth hereby admit and acknowledge).



511251 Navin

करल-३
६६४९१०६३
२०१९

Sr. No.	Particulars of work	% of Payment	Amount
1	On Booking	20%	12,60,000.00
2	Completion of piling work	10%	6,30,000.00
	Completion of Footing	8%	5,04,000.00
	Completion of Basement / Plinth	7.50%	4,72,500.00
	Completion of 1st Slab	7.50%	4,72,500.00
	Completion of 2nd Slab	3%	1,89,000.00
	Completion of 3rd Slab	3%	1,89,000.00
	Completion of 4th Slab	3%	1,89,000.00
	Completion of 5th Slab	3%	1,89,000.00
	Completion of 6th Slab	3%	1,89,000.00
	Completion of 7th Slab	3%	1,89,000.00
	Completion of 8th Slab	3%	1,89,000.00
	Completion of 9th Slab	3%	1,89,000.00
	Completion of 10th Slab	3%	1,89,000.00
	Completion of 11th Slab	2%	1,26,000.00
	Completion of 12th Slab	2%	1,26,000.00
	Completion of 13th Slab	2%	1,26,000.00
	Completion of 14th Slab	2%	1,26,000.00
	Completion of 15th Slab	2%	1,26,000.00
	Completion of 16th Slab	2%	1,26,000.00
	Completion of 17th Slab	2%	1,26,000.00
	On completion of brickwork & plastering	1.5%	94,500.00
	On completion of Internal Work	1.5%	94,500.00
	On completion of External Work	1.5%	94,500.00
	Before handing over Possession	1.5%	94,500.00
Total		100%	63,00,000.00

6 २११२५१

Navin

करल-३
६६४९१०६३
२०१९



Note:

- (i) The Total Price above includes the booking amount paid by the Allottees/Purchaser/s to the Promoter/Developer/s to the Apartment.
- (ii) The Total Price above excludes Taxes (consisting of tax paid or payable by the Promoter/Developers by way of Value Added Tax, Service Tax, Cess, G.S.T or any other similar taxes which may be levied, in connection with the construction of the Project payable by the Promoter/Developers) up to the date of handing over the possession of the Apartment.
- (iii) Provided that in case there is any change / modification in the taxes, the subsequent amount payable by the Allottees/Purchaser/s to the Promoter/Developers shall be increased/reduced based on such change / modification;
- (iv) The Promoter/Developers shall periodically intimate to the Allottees/Purchaser/s, the amount payable as stated in (i) above and the Allottees/Purchaser/s shall make payment within 7 (Seven) days from the date of such written intimation. In addition, the Promoter/Developers shall provide to the Allottees/Purchaser/s the details of the taxes paid or demanded along with the acts/rules/notifications together with dates from which such taxes/levies etc. have been imposed or become effective;
- (v) The Total Price of Apartment includes: 1) *pro rata* share in the Common Areas; as provided in the Agreement.
5. The Total Price is escalation-free, save and except increases which the Allottees/Purchaser/s hereby agrees to pay, due to increase on account of development charges payable to the competent authority and/or any

२११२५१

Navin

करत-३		
५६८७५	३५	६३
२०१९		



the Promoter/Developers as provided in clause (Payment Plan)

13 a) The RERA Carpet Area of the said Apartment / Premises is **477.70** Square feet and "RERA Carpet Area" means the net usable floor area of an apartment, excluding the area covered by the external walls, areas under services shafts, exclusive balcony appurtenant to the said Apartment for exclusive use of the Allottees/Purchaser/s or verandah area and exclusive open terrace area appurtenant to the said Apartment for exclusive use of the Allottees/Purchaser/s, but includes the area covered by the internal partition walls of the apartment. The BMC carpet area of the said Apartment / Premises is **43.66 Sq. Mtr. 470.00** Square feet.

13 b) The Promoter/Developers shall confirm the final carpet area that has been allotted to the Allottees/Purchaser/s after the construction of the Building is complete and the occupancy certificate is granted by the competent authority, by furnishing details of the changes, if any, in the carpet area. This carpet area shall include the door jams & RCC columns offset, area covered by skirting & pop on walls. The total price payable for the carpet area shall be recalculated upon confirmation by the Promoter/Developers. If there is any reduction in the carpet area within the defined limit then Promoter/Developers shall refund the excess money paid by Allottees/Purchaser/s within forty-five days with annual interest at the rate specified in the Rules, from the date when such an excess amount was paid by the Allottees/Purchaser/s. If there is any increase in the carpet area allotted to Allottees/Purchaser/s, the Promoter/Developers shall demand that from the Allottees/Purchaser/s as per the next milestone of the Payment Plan. All these monetary adjustments shall be made at the same rate per square feet as agreed in Clause 3 of this Agreement.

Q

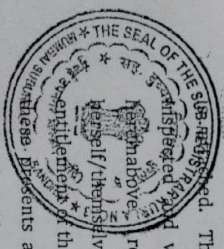
५११५७

Navin

करत-3	२०१९	२०	२३
-------	------	----	----

and/or concession in the consideration on account of such change/substitution.

21. The Promoters / Developers have registered the Project under the provisions of the Act with the Real Estate Regulatory Authority under Application Number P51800004914. The authenticated copy



The Allottees/Purchaser/s has/have independently inspected and verified the title deeds and all papers and documents pertaining to the said Property and has/have fully satisfied himself/herself/themselves about the title of the said Property and the genuineness of the Developer to develop the said Property and enter into the said agreement. The Allottees/Purchaser/s shall not be entitled to further investigate the title of the Developer and/or be entitled to make any requisition or raise any objection with regard to any other matters relating thereto. The Allottees/Purchaser/s has/have also taken inspection of the orders and Existing Building Approvals, approved plans, CC and revisions and amendments thereof issued by the BMC and the plans, designs and specifications prepared by the Promoter's Architects M/s. Innovations and of such other documents as are specified under the Real Estate (Regulation and Development) Act, 2016 (hereinafter referred to as "the said Act"). The Rules and Regulations made thereunder including the true copy of the plans, designs and specifications prepared by the Promoters' Architect and of such other documents as are specified under the Maharashtra Ownership Flats (Regulation of the Promotion of Construction, Sale Management and Transfer) Act, 1963.

22. The Developer has represented to the Allottees/Purchaser/s that the Developer has not created mortgage/charge in respect of the said Property against loans obtained from ..NA.. and the original title deeds in respect of the said Property are deposited with the said .. NA.. The

16 ११२५१

Navin

करत-3	२०१९	२९	२३
-------	------	----	----



Developer has further represented to the Allottees/Purchaser/s that the Developer shall have said Premises proposed to be acquired by the Allottees/Purchaser/s in terms hereof released from the said Premises in terms hereof and / or before the registration of this Agreement.

23. The Developer agrees to offer to hand over possession of the said Flat to the Allottees/Purchaser/s on or before 31st December 2019 subject to:
- (i) easy availability of cement, steel and other building materials; and
 - (ii) any conditions beyond the reasonable control of the Developer, including acts of God like earthquake, perils of the sea or air, fire, flood, or any drought, explosion, sabotage etc.; and
 - (iii) if there are riots, bands, strikes and/or labour unrest and in consequence whereof and the construction on the said Property could be adversely affected; and
 - (iv) geological, subsurface ground conditions as a result of which construction, development on the said Property and construction on and development of the said Property is delayed or no longer financially or technically viable; and
 - (v) any disruptions, challenges and placement of legal and traditional impediments by third parties notwithstanding the granting of any and all approvals by the concerned authorities which delays or materially adversely affects the implementation of the construction activities on the said Property; and
 - (vi) any reasons like war, civil commotion, acts of criminals or of public enemy, insurrection, blockade, embargo terrorism, etc. in consequence whereof the construction activities on the said Property could be adversely affected; and
 - (vii) any embargo, notice, order, rule or notification of the Government and/or any other public body or authority or of the Court and/or any Act

17

११२५१

Navin

करल-३		
६६४१०	५	१०२३
२०११		

IN WITNESS WHEREOF the parties have hereto set and subscribed their respective hands and seal the day and year first hereinabove written.

SCHEDULE OF THE PROPERTY ABOVE REFERRED TO:

On or towards the North by : Bldg No. 34
 On or towards the South by : Bldg No. 32
 On or towards the West by : Bldg No. 31
 On or towards the East by : 12.20 mtr. Wide roac

SECOND SCHEDULE

Flat No. 1107 of 43.66 Sq. Mtr. Carpet Area (470 Sq.ft.) and RERA carpet area 44.38 Sq. Mtr. (477 Sq.ft.) on the Eleventh Floor, in the Nehru Nagar Swanand Co- Operative Housing Society Limited, Proposed Redevelopment of Bldg. No. 33 Survey No. 229 & 267 and City Survey No. 11 (Part), Mauje Kurla at Nehru Nagar (Kurila), Mumbai - 400 024 and as marked in the floor plan hereto Annexed.




करत-३	
३३४५७३	३
२०११	

IN WITNESS WHEREOF the parties have set and subscribed their respective hand and seals on the day and year First herein above written.

SIGNED AND DELIVERED)

By the with named **M/S. HIRANIMANTHAN BUILDERS AND DEVELOPERS**) For HIRANIMANTHAN BUILDERS & DEVELOPERS

Through hands of **SHRI DINESH B. SAVANT**)


 Partner

OR **SHRI HASMUKH R. HIRANI**)

IN PRESENCE OF _____)

1. ~~ASRAYE~~)



2. ~~ASRAYE~~)



SIGNED AND DELIVERED)

By the within named **PURCHASERS**)

MRS. SHARDA MANSINGH SONAR)



&

MR. NAVIN MANSINGH SONAR)



In presence of _____

1. ~~ASRAYE~~

2. ~~ASRAYE~~



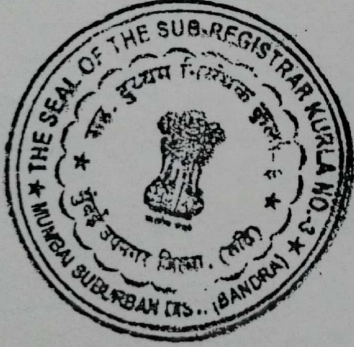
११२४५

Navin

करल-३		
६६४७	५८	२३
२०१९		

RECEIPT

RECEIVED a sum of Rupees 40,00,000/- (Rupees Forty Lakhs Only) from MRS. SHARDA MANSINGH SONAR & MR. NAVIN MANSINGH SONAR being advance and part payment against the sale price for purchase of the Flat No 1107, Eleventh Floor, of the building known as Nehru Nagar Swanand Co. Op. Hsg. Soc. Ltd., Building No. 33 Survey No. 229 & 267 and C. T. S. No. 11 (pt), Nehru Nagar, Kurla (E), Mumbai - 400 024.



We SAY RECEIVED

Rupees 40,00,000/-

for M/s. Hiranimanthan Builders and Developers

H. Manat
Partners

Witnesses: -

- 1) *As Rame*
- 2) *N. D.*

करल-३	
६६८६	६३६३
२०१९	



Maharashtra Real Estate Regulatory Authority

REGISTRATION CERTIFICATE OF PROJECT
FORM 'C'
[See rule 6(a)]



This registration is granted under section 5 of the Act to the following project under project registration number P51800004914
Project: **Swanand Bldg No 33** Plot Bearing / CTS / Survey / Final Plot No.: **12 pt at Kurla, Kurla, Mumbai Suburban, 400024;**

- Hiranimanthan Builders And Developers** having its registered office / principal place of business at Tehsil: **Kurla**, District: **Mumbai Suburban**, Pin: **400024**.
- This registration is granted subject to the following conditions, namely:-
 - The promoter shall enter into an agreement for sale with the allottees;
 - The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
 - The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub- clause (D) of clause (I) of sub-section (2) of section 4 read with Rule 5;
OR
That entire of the amounts to be realised hereinafter by promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated receivable of the project is less than the estimated cost of completion of the project.
 - The Registration shall be valid for a period commencing from **09/08/2017** and ending with **31/12/2019** unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 5 of the Act read with rule 6.
 - The promoter shall comply with the provisions of the Act and the rules and regulations made there under;
 - That the promoter shall take all the pending approvals from the competent authorities
- If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.

Signature valid
Digitally Signed by
Dr. Vasant Pramanand Prabhu
(Secretary, MahaRERA)
Date: 8/9/2017 10:04:20 PM

Signature and seal of the Authorized Officer
Maharashtra Real Estate Regulatory Authority

dated: 09/08/2017
place: Mumbai

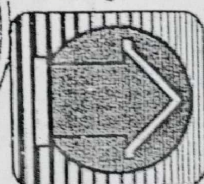
मुंबई गृहनिर्माण व क्षेत्रविकास मंडळ

(स्वाजावा घटक)

MUMBAI HOUSING AND
AREA DEVELOPMENT BOARD
(A MHADA UNIT)

करल-३	
६६४८०	७२७३
१०१९	

म्हाडा
MHADA



To,
The Executive Engineer,
Building Permission Cell,
Greater Mumbai, MHADA,
Bandra (E), Mumbai 400 051.

No.CO/MB/REE/NOC/F-853
Date: 05 FEB 2019



Sub : N. O. C. for proposed redevelopment of existing Building No.33, known as Nehru Nagar **SWANAND** Co-op Hsg. Society bearing CTS No. 11 (Pt) at village-Kurla, Nehru Nagar, Mumbai - 400 024 under DCR 33(5).

Ref :

- 1 Mumbai Board's NOC for IOD letter No. CO/MB/REE/NOC/F-853/2500/2013, Dated - 21.12.2013.
- 2 Registered Tripartite agreement dated 04.02.2016
- 3 Mumbai Board's Consent letter for Commencement Certificate No. CO/MB/REE/NOC/F-853/748/2016, Dated - 19.03.2016.
- 4 Mumbai Board's Revised Offer letter No. CO/MB/REE/NOC/F-853/447/2018, Dated - 09.03.2018.
- 5 Society's proposal dated 16.01.2019.

Sir,
The applicant has complied requisites for obtaining No Objection Certificate (NOC) for allotment of additional buildable area & pro-rata BUA of layout for redevelopment of their building under subject. There is no objection of this office to his undertaking construction as per the proposal of the said society under certain terms and conditions.

- Allotment of additional BUA approved and allotted by this NOC is as under:
- i) The allotment is on sub-divided plot as per demarcation admeasuring about **1308.93** m² [i.e. 720.38 m² as per lease Area + 588.55 m² Additional land]. The total built up area should be permitted up to existing BUA 1341.60 m² + **1930.72** m² including MHADA's share **735.68** m² (for Residential use) as per NOC for IOD letter No. CO/MB/REE/NOC/F-853/2500/2013, Dated - 21.12.2013 + 2,196.00 m² in the form of balance built up area of layout (Pro-rata) to be allotted now thus total BUA = **5,468.32** m² only.
 - ii) Allotment of total BUA of **5,468.32** m² (for residential use) is permitted for I.O.D./ I.O.A. purpose only.
 - iii) Since the Society has paid First installment i.e. 25 % amount of premium towards additional built up area of 2196.00 m² as per A.R. No. 6749, Dt. 11.07.2017, hence Commencement certificate shall be issued for **3,821.32** m² [i.e. 549.00 m² permitted through this NOC. (Proportionate to the first installment paid by the Society as per offer letter under reference no.4) and 3,272.32 m² (i.e. 1341.60 m² Existing Built up area + **1930.72** m² including MHADA's share **735.68** m² (for Residential use) as per NOC for IOD letter dttd. - 21.12.2013]

गिरा भवन, कलानगर, बंधे (E), मुंबई ४०० ०५१,
फोन: ६६४८० ४०००, २६५९२८७७, २६५९२८८९
फॅक्स: ०२२-२६५९२०५८ / पत्रांदा क्र. ८१३५

Girha Nirman Bhavan, Kalanagar, Bandra (East), Mumbai-400 051.
Phone : 66405000, 26592877, 26592881.
Fax No. : 022-26592058 / Post Box No. 8135
Website : mhada.maharashtra.gov.in

निविदा

करल-3		
EE8.6	W/LR3	
२०१९		

C - 3



MUNICIPAL CORPORATION OF GREATER MUMBAI

FORM 'A'

MAHARASHTRA REGIONAL AND TOWN PLANNING

No CHE/ES/1451/L/337(NEW)

COMMENCEMENT CERTIFICATE



For Hiranimanthan builders and Developers
207, Hinal heritage, S.V. P. road, Borivali(W),
Mumbai-400092

With reference to your application No. CHE/ES/1451/L/337(NEW) Dated. 26/3/2014 for Development permission and grant of Commencement Certificate under Section 44 & 69 of the Maharashtra Regional and Town Planning Act, 1966, to carry out development and building permission under Section 346 no 337 (New) dated 26/3/2014 of the Mumbai Municipal Corporation Act 1888 to erect a building in Building development work on plot No. _____ C.T.S. No. 11(pt) Division / Village / Town Planning Scheme No. Kurla-11 situated at Road / Street in L Ward Ward.

The Commencement Certificate / Building Permit is granted on the following conditions:-

1. The land vacated on consequence of the endorsement of the setback line/ road widening line shall form part of the public street.
2. That no new building or part thereof shall be occupied or allowed to be occupied or used or permitted to be used by any person until occupancy permission has been granted.
3. The Commencement Certificate/Development permission shall remain valid for one year commencing from the date of its issue.
4. This permission does not entitle you to develop land which does not vest in you.
5. This Commencement Certificate is renewable every year but such extended period shall be in no case exceed three years provided further that such lapse shall not bar any subsequent application for fresh permission under section 44 of the Maharashtra Regional and Town Planning Act, 1966.
6. This Certificate is liable to be revoked by the Municipal Commissioner for Greater Mumbai if :-
 - a. The Development work in respect of which permission is granted under this certificate is not carried out or the use thereof is not in accordance with the sanctioned plans.
 - b. Any of the conditions subject to which the same is granted or any of the restrictions imposed by the Municipal Commissioner for Greater Mumbai is contravened or not complied with.
 - c. The Municipal Commissioner of Greater Mumbai is satisfied that the same is obtained by the applicant through fraud or misrepresentation and the applicant and every person deriving title through or under him in such an event shall be deemed to have carried out the development work in contravention of Section 43 or 45 of the Maharashtra Regional and Town Planning Act, 1966.
7. The conditions of this certificate shall be binding not only on the applicant but on his heirs, executors, assignees, administrators and successors and every person deriving title through or under him.

The Municipal Commissioner has appointed Shri. Prakash S. Patil Assistant Engineer to exercise his powers and functions of the Planning Authority under Section 45 of the said Act.

This CC is valid upto 25/8/2017

Navin

करल-३		
६६४७	७६	६३
२०१९		

Issue On : 26/8/2016 Valid Upto : 25/8/2017

Remark :

Approved. This CC is restricted upto Stilt slab Level only.

Approved By
Executive Engineer BP ES1
Executive Engineer

Issue On : 27/9/2017 Valid Upto : 25/8/2018

Remark :

Full C.C. as per approved I.O.D. plans dated 14.09.2016



करल-३		
६६४७	७६	६३
२०१९		

Document certified by
Prakash Sakharam Patil.

Name : Prakash Sakharam Patil
Designation : Assistant Engineer
Organization : Personal
Date : 27 Sep 2017 19: 41:39

For and on behalf of Local Authority
Municipal Corporation of Greater Mumbai

Assistant Engineer, Building Proposal
Eastern Suburb L Ward Ward

Cc to :
1. Architect.
2. Collector Mumbai Suburban /Mumbai District.



Manish

करल-३
६६४७ १९ ९३
२०१९

CHITNIS VAITHY & CO. (Regd.)
ADVOCATES & SOLICITORS

S. D. CHITNIS
B.A., LL.M., Solicitor
V. N. BODKE
B. Com., LL.B.
M. U. HIRASKAR
B. Com., LL.B.
RESHMA CHITNIS POTDAR
B.L.S., LL.M., Solicitor

410/11, GUNDECHA CHAMBERS,
NAGINDAS MASTER ROAD, FORT,
MUMBAI - 400 023.
Telephone : 2267 0014/15, 4090 2700
Fax : 4090 2727
E-mail : chitnisvaithy@yahoo.com
chitnisvaithy@gmail.com

OUR REF. :

DATE :

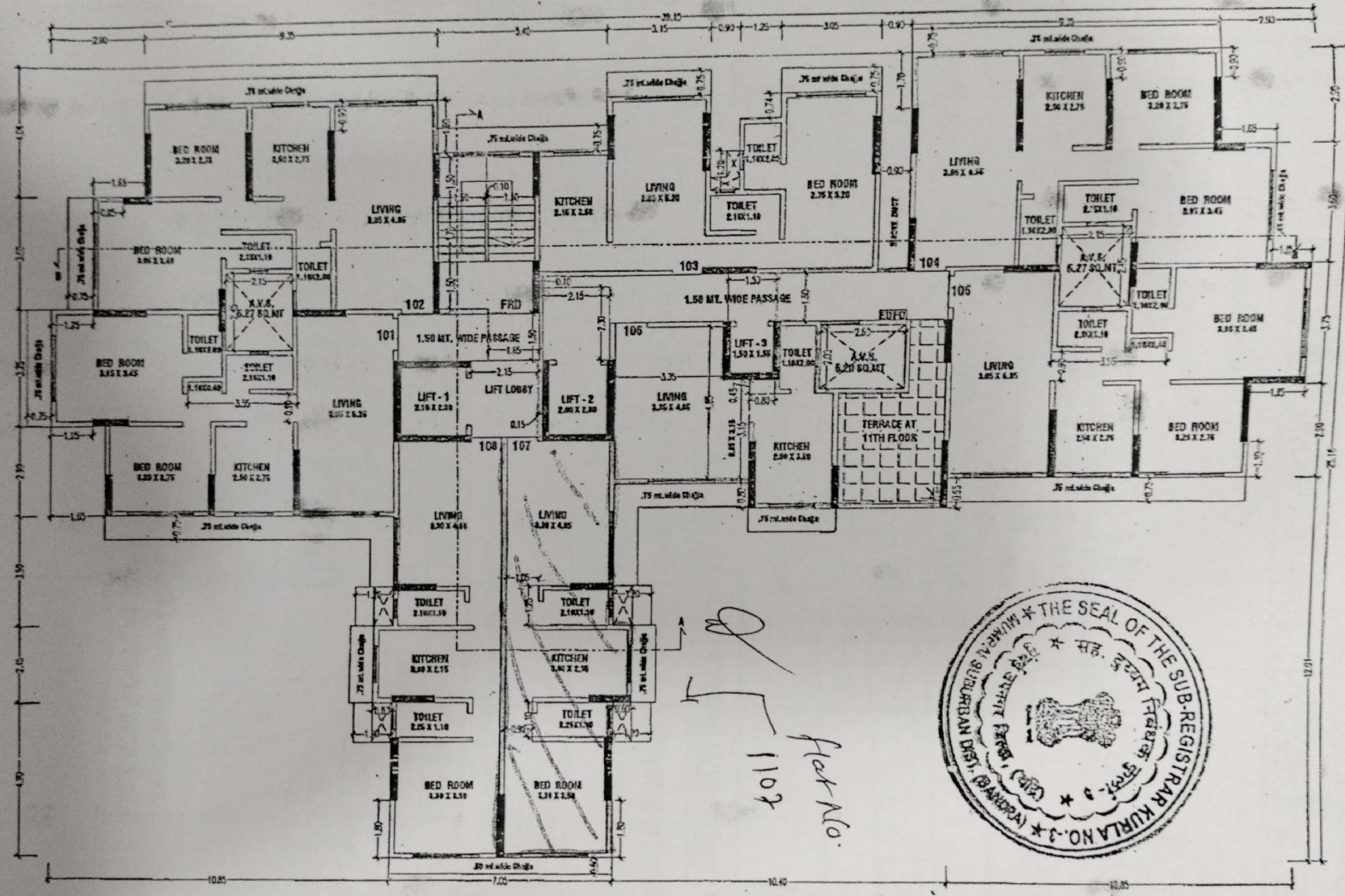
TO WHOMSOEVER IT MAY CONCERN



As per the instructions of our clients M/s Hiranmathan Builders and Developers have investigated the title of Nehru Nagar Swanand Co.op. Hsg. Soc. Ltd., situate, lying and being at Kurla, Nehru Nagar, Kurla (East), Mumbai-400024 including the land bearing Survey No. 229 & 267 and C.T.S. No. 11 (pt) known as Building No. 33, admeasuring 1310.38 sq. ft., comprising of 40 tenements on ground plus four upper floors, Mumbai.

We have perused the allotment letters/agreements executed by and between the MHADA and the Society as also various other relevant records pertaining to the right, title and interest of the Society. We have perused the Property Card as well as relevant revenue records in respect of the said property. We had issued Public Notices inviting claims and objections in respect of the said property. After going through the relevant documents and after completing all the

Navin



11TH FLOOR PLAN
 SCALE: 1:100
 11th Street Navin

Handwritten signature and the number 1102.



Handwritten file number: 2880 2023

390/6647

सोमवार, 20 मे 2019 6:40 म.तं.

दस्त गोपवारा भाग-1

करल3

दस्त क्रमांक: 6647/2019

दस्त क्रमांक: करल3 /6647/2019

बाजार मुल्य: रु. 62,41,221/-

मोबदला: रु. 63,00,000/-

भरलेले मुद्रांक शुल्क: रु.3,78,000/-

करल-3		
६६४७	९०	९३
२०१९	पावती दिनांक: 20/05/2019	

दु. नि. सह. दु. नि. करल3 यांचे कार्यालयात

पावती: 7233

पावती दिनांक: 20/05/2019

अ. क्र. 6647 वर दि.20-05-2019

सादरकरणाचे नाव: शारदा मानसिंग सोनार . . .

रोजी 6:44 म.तं. वा. हजर केला.

नोंदणी फी

रु. 30000.00

दस्त हाताळणी फी

रु. 1860.00

पृष्ठांची संख्या: 93

एकुण: 31860.00

शारदा

दस्त हजर करणाऱ्याची सही:

सह दुय्यम निबंधक
सह दुय्यम निबंधक कुर्ला-3 (वर्ग-2)सह दुय्यम निबंधक
कुर्ला-3 (वर्ग-3)

दस्ताचा प्रकार: अॅग्रीमेंट टू सेल

मुद्रांक शुल्क: (एक) कोणत्याही महानगरपालिकेच्या हद्दीत किंवा स्थालगत असलेल्या कोणत्याही कटक क्षेत्राच्या हद्दीत किंवा उप-खंड (दोन) मध्ये नमूद न केलेल्या कोणत्याही नागरी क्षेत्रात

शिक्का क्र. 1 20 / 05 / 2019 06 : 44 : 28 PM ची वेळ: (सादरीकरण)

शिक्का क्र. 2 20 / 05 / 2019 06 : 46 : 18 PM ची वेळ: (फी)

प्रतिज्ञापत्र

“सदर दस्तऐवज हा नोंदणी कायदा १९०६ अंतर्गत आलेल्या तरदुतीनुसारच नोंदणीस दाखल केलेला आहे. दस्तातील संपूर्ण मजकूर निष्पादक व्यक्ती, साक्षीदार व सादर करणाऱ्या यापैकी कोणत्याही व्यक्तीच्या “दस्ताची सत्यता, वैधता व अखंडतेची खात्रील दस्त निष्पादक व कबुलधारक हे संपूर्णपणे जबाबदार राहतील. तसेच सदर हस्तांतरण दस्तामुळे राज्य शासन / केंद्र शासन यांचा कोणताही कायदा / नियम / परिपत्रक यांचे उल्लंघन होत नाही.”

लिहून देणारे

- १)
- २)
- ३)

लिहून घेणारे

- १) शारदा
- २) Navin
- ३)





20/05/2019 6:41:47 PM

रस्त क्रमांक : करल3/6647/2019

रस्तचा प्रकार : अॅप्रीमेंट दू सेल

रस्त गोधारा भाग-2	
करल-3	
६६४७	२९२३
२०१९	

करल 3
रस्त क्रमांक:6647/2019

अनु क्र.	पत्रकाराचे नाव व पत्ता	पत्रकाराचा प्रकार	श्रायाचित्र	अंगठ्याचा उमा
1	नाव:शारदा मानसिंग सोनार पत्ता:ए-602, ,, हयात रेसिडन्सी C/O मश्रीआ सीएचएस , प्रभाकर कुंटे मार्ग,शाराकी 90 फीट रोड, ऑप.साई हॉस्पिटल, शाराकी रोड, MAHARASHTRA, MUMBAI, Non-Government. पॅन नंबर: BKHPS8797Q	लिहून घेणार वय :-33 स्वाक्षरी:- शारदा		
2	नाव:नवीन मानसिंग सोनार पत्ता:ए-602, ,, हयात रेसिडन्सी C/O मश्रीआ सीएचएस , प्रभाकर कुंटे मार्ग,शाराकी 90 फीट रोड, ऑप.साई हॉस्पिटल, शाराकी रोड, MAHARASHTRA, MUMBAI, Non-Government. पॅन नंबर: BURPS3503B	लिहून घेणार वय :-33 स्वाक्षरी:- Naviin		

दरिल रस्तऐवज करून देणार तश्याकशीत अॅप्रीमेंट दू सेल चा रस्त खोल करून दिव्याचे कयुल करतात.

ओळख:-

जालील इमम असे निवेदीत करतात की ते रस्तऐवज करून देणाऱ्यानां व्यक्तीशः ओळखतात, व त्यांची ओळख पटवितान

अनु क्र.	पत्रकाराचे नाव व पत्ता	स्वाक्षरी	श्रायाचित्र	अंगठ्याचा उमा
1	नाव:गणेश मानसिंग सोनार वय:37 पत्ता:शेणार प्रमाणे पिन कोड:400017			
2	नाव:अनिल एस राणे वय:56 पत्ता:25/668 नेहरू नगर,कुर्ला-ईस्ट,मुंबई पिन कोड:400024			

जालील पत्रकाराची कयुली उपलब्ध नाही.

अनु क्र. पत्रकाराचे नाव व पत्ता
१. विनोदराव विठ्ठल अडे देवतलसं तळे पाटील वणुप . : दिसेर बी.मावत
बी-110, ,, शैल पार्क,दीवत नाग,गेंड नं.2, बोरिवली-ईस्ट, मुंबई, शेजल नाग: (उबाई), MAHARASHTRA, MUMBAI, Non-Government.
AAEFH2784A



Defacement Number
2005201912490D
0000983564201920

6647 /2019

1. Verify Scanned Document for correctness through thumbnail (4 pages on a side) printout after scanning.
2. Get print immediately after registration.

Know Your Rights as Registrants
For feedback, please write to us at feedback.isarila@gmail.com



21/05/2019 3 00:57 PM

दस्तावेज क्रमांक : करल3/6647/2019

दस्तावेज प्रकार : ऑफ़ीमेट दू सेल

दस्तावेज गोपवारा पत्र क्रमांक 3	करल 3
६६४७०२२०३	दस्तावेज क्रमांक: 6647/2019
२०१९	

अनु क्र. पक्षकाराचे नाव व पत्ता

1 नाव: मे. हिरोनिमीयन विल्डर्स अँड डेव्हलपर्स कॉर्पोरेशन इन्डियन . विनेश बी. सावंत
पत्ता: बी-110, .. श्रेता पार्क, दीलत नगर, रोड नं.2, बोरीवली-ईस्ट, मुंबई, बॉम्बे नगर (पुणेबाई), MAHARASHTRA, MUMBAI, Non-Government.
पॅन नंबर:AAEFH2784A

पक्षकाराचा प्रकार

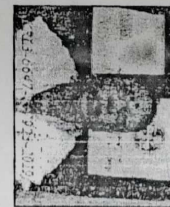
अंगठ्याचा उमा

लिहून देणार
वय : 42
स्वाक्षरी:-



लिहून घेणार

वय :-53
स्वाक्षरी:-



2 नाव: शारदा मानसिंग सोनार . . .

पत्ता: ए-602, .. हयात रेसिडन्सी C/O मशिआ सीएचएस , प्रभाकर कुंटे मार्ग, शाराकी 90 फीट रोड, ऑन, साई हॉस्पिटल, शाराकी रोड, MAHARASHTRA, MUMBAI, Non-Government.
पॅन नंबर: BKHPSS87970

लिहून घेणार
वय :-33
स्वाक्षरी:-



वरील दस्तऐवज करून देणार तयारकीत ऑफ़ीमेट दू सेल चा दस्तऐवज करून दिल्याचे कबुल करतात.
शिका क्र: 3 ची बॅच: 21 / 05 / 2019 02 : 58 : 16 PM

ओळख:-

वरील इतम असे निवेदीत करतात की ते दस्तऐवज करून देणा-यांना कोशिश ओळखतात, व त्यांची ओळख पटविताना

आयुष्य विवर अंगठ्याचा उमा

अनु क्र. पक्षकाराचे नाव व पत्ता

1 नाव: अभित राय . . .
वय: 52
पत्ता: aadavira eelivada
पिन कोड: 400024

स्वाक्षरी



2 नाव: अतिल एस राणे . . .

वय: 56
पत्ता: 25/668, नेहरू नगर, बुर्ला-ईस्ट, मुंबई
पिन कोड: 400024

स्वाक्षरी



दिनांक क्र. 4 ची बॅच: 21 / 05 / 2019 03 : 06 : 45 PM

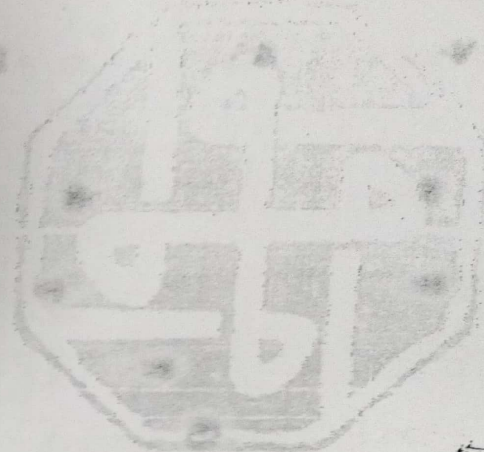
शिका क्र: 5 ची बॅच: 21 / 05 / 2019 03 : 07 : 21 PM नोंदणी पुस्तक 1 मध्ये

EPayment Details.

Sr.	EPayment Number
1	2005201912490
2	MH1001702970201920M

Defacenter
2005201912490D
0000983564201920





21/05/2019

सूची क्र.2

दुय्यम निबंधक : सह.ड.नि. कुर्ला 3

दस्त क्रमांक : 6647/2019

नोदणी :

Regn:63m

गावाचे नाव : कुर्ला

(1) विलेखाचा प्रकार

अंशीमेट रू सेल

(2) मोबदला

6300000

(3) बाजारभाव (भाडेपट्ट्याच्या

6241221

बाबतितपट्टाकार आकारणी रेली की
फटेदार ते नमुद करावे)

(4) मू-भापन, पोटाहिस्ता व धरक्रमांक
(असल्यास)

1) पालिकेचे नाव: मुंबई मानपा इतर वर्गीस : सादिका नं: 1107, माळा नं: 11वा, इमारतीचे नाव:
वि. नं. 33, नेहरू नगर स्थानद सीएचएस लिमिटेड, ब्लॉक नं: नेहरू नगर, कुर्ला-ईस्ट, रोड नं: मुंबई-
400024-मीज-कुर्ला-3. ((Survey Number : 229&287 ; C.T.S. Number : 11
(Part) :))

(5) क्षेत्रफळ

1) 52.39 चौ.मीटर

(6) आकारणी किंवा जुडी देण्यात असेल
तेव्हा.

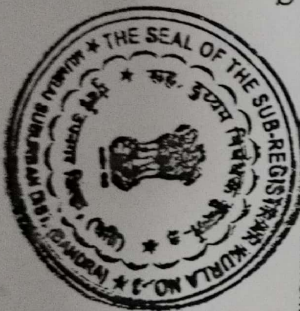
(7) दस्तऐवज करून देणा-या/लिहून
देवणा-या पक्षकाराचे नाव किंवा
दिवाणी न्यायालयाचा हुकुमनामा किंवा
आदेश असल्यास, प्रतिवादिचे नाव व
पत्ता.

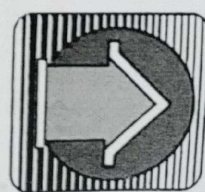
1): नाव:-से. विधानीमंथन विल्डी अँड डेव्हलपर्स लॅफे पार्टनर म्हापुन . दिनेश बी. सावंत बय:-42;
पत्ता:-बी-110, .. शेता पार्क, दौलत नगर, रोड नं.2, बोरीवली-ईस्ट, मुंबई, दौलत नगर
(०ंकाई), MAHARASHTRA, MUMBAI, Non-Government. पिन कोड:-400066 पॅन
नं:-AAEFH2784A

(8) दस्तऐवज करून घेणा-या पक्षकाराचे
व किंवा दिवाणी न्यायालयाचा
हुकुमनामा किंवा आदेश
असल्यास, प्रतिवादिचे नाव व पत्ता

1): नाव:-शाहदा मानसिंग सोनार . बय:-53; पत्ता:-ए-602, .. ह्यात रेसिडन्सी C/O मशिआ
शीपचएस , प्रभाकर कुंटे मार्ग, धारावी 90 फीट रोड, ऑप.साई हॉस्पिटल, धारावी रोड ,
MAHARASHTRA, MUMBAI Non-Government. पिन कोड:-400017 पॅन नं:-
BKHPSS8797Q

ISarilia v1.7.0





Building Permission Cell, Greater Mumbai / MHADA
(A designated Planning Authority for MHADA layouts constituted as per government regulation No. T/PB4315/1677/CR-51/2015/UD-11 dt.23 May,2018.)
Full Occupation Certificate and Building Completion Certificate

No. MH/EE/(B.P.)/GM/MHADA-22/444/2024
DATE- 15 MAR 2024

To
✓ M/s. Hirani Manthan Builders & Developers
C.A. to Nehru Nagar Swanand CHS Ltd
B-207, Hinal Heritage, S.V.P. Road,
Borivali (Wast), Mumbai-400 092.

Sub.: Full Occupation Certificate & Building completion certificate of Proposed Re-development of Building.no. 33 Known as Nehru Nagar Swanand CHS Ltd. On plot bearing C.T.S.No.11(pt.) of Village Kurla-III, at Nehru Nagar MHADA Layout, Kurla (E), Mumbai – 400024.

- Ref :-1. IOD approved w/no. CE/4452/BPES/At.dt.14/09/2015.
2. Concession approved by Hon'ble V.P. & CEO/A w/no.384 dt.15/11/2021.
3. Amended plan approval w/no. MH/EE/(B.P.)/GM/MHADA-22/444/2020 dt. 04/01/2020 & dt.29/12/2021.
4. Full C.C. issued MH/EE/(BP)/GM/ MHADA-22/444/2021/FCC/3/as per dt.05/01/2022.
5. Architect application for Full OCC and BCC on dated-18/12/2023.
6. Consent for full Occupation certificate for Mumbai Board w/no. REE/MB/853/605/2024 dt 11/03/2024

Dear Applicant,

The full development work of building comprising of Stilt (for parking & utilities services) + Part Residential + 1st to 18th + 19th Part for Residential use & Part water Tank with height 59.60 mt. + OHT & LMR is completed under the supervision of Architect Shri. Kishore R. Lolkar of M/s. Innovations, Lic. No.CA/86/9626, Shri. Niranjan S. Lele, RCC Consultant, Lic. No-STR/L/14 and Shri Samir Dilip Mehta, Site supervisor Lic. No. M/309/SS-1 and as per development completion certificate

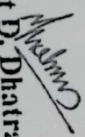
1/2

mitted by Architect and as per completion certificate issued by Chief Fire Officer d/no-P 19497/2023/1 (pt.VI)/ward/Kurla-3/MHADA-CFO/1/New dt. 23/11/2023. The same may be occupied and completion certificate submitted by you is hereby accepted.

It can be occupied with the following conditions.

1. That all firefighting systems shall be maintained in good working conditions.
2. That this full OCC without prejudice to legal matters pending in Court of Law if any.
3. Addition/alteration in the approved building plan shall not be allowed without prior approval of this office.
4. Terms and conditions of Final Fire NOC, should be strictly followed.
5. Functioning of electric & electronic gadget such as Lifts, Water Pump etc shall be periodically maintained.
6. That the all conditions are binding on society as mentioned in consent letter issued by Mumbai Board dt- 11/03/2024.

D.A.:- Plan.


(Prashant D. Dhatriak)
Ex.Eng. B.P. Cell (E/S)
MHADA



सत्यमेव जयते
भारत सरकार



आधार

भारत सरकार
Government of India

भारतीय विशिष्ट ओळख प्राधिकरण
Unique Identification Authority of India

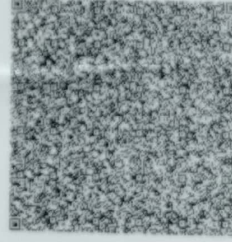
नोंदविण्याचा क्रमांक / Enrollment No. : 0222/10002/04977

To
Ganesh Lahu Padekar
गणेश लहू पाडेकर
34/2418, MHB Colony,
Abhyudaya Nagar,
Kalachowki,
VTC: Mumbai, PO: Kalachowki,
Sub District: Mumbai City, District: Mumbai City,
State: Maharashtra, PIN Code: 400033,
Mobile: 9987507126

47373359



KF473733590FI



आपला आधार क्रमांक / Your Aadhaar No. :

3690 9354 4836

माझे आधार, माझी ओळख



भारत सरकार
Government of India



आधार

Issue Date: 12/04/2013



गणेश लहू पाडेकर
Ganesh Lahu Padekar
जन्म तारीख / DOB: 15/07/1985
पुरुष / Male

3690 9354 4836

माझे आधार, माझी ओळख



Scanned with OKEN Scanner