

ANNEXURE "B"

J Forms. (4 Pages F/B)

This L.O.D./C.C. is issued subject to the provision of Urban Land Ceiling and Regulation Act, 1976

EC-48

346

88

in replying please quote No. and date of this letter.

Ex. Engineer Bldg. Proposal (W.S.)
H and K Wards
Municipal Office, R. K. Patkar Marg,
Bandra (West), Mumbai - 400 050

Intimation of Disapproval under Section 346 of the Mumbai Municipal Corporation Act, as amended up to date.

No. E.B./CE/ BS/A of 200 - 200
No. CHE/WS/0252/337/K(NEW)

MEMORANDUM

Municipal Office,

4 OCT 2010

Mumbai 200

Owner, M/s. Neepa Real Estate (P) Ltd.

With reference to your Notice, letter No. 337 dated 200 and delivered on 200 and the plans, Sections Specifications and Description and further particulars and details of your buildings at CTS No. 246, 340 to 345/61-B, Vill. Marol, Andheri (E) furnished to me under your letter, dated 200. I have to inform you that I cannot approval of the building or work proposed to be erected or executed, and I therefore hereby formally intimate to you, under Section 346 of the Bombay Municipal Corporation Act as amended upto-date, my disapproval by thereof reasons :-

Sub : Prop. LT. Establishment bldg. on plot bearing CTS No. 343A, 344A, 345A, 345/1 to 55, 56A, 57A, 58A/1, 59, 60A, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 348 to 350, 353, 353A, 355A, 357, 401, 34B, 342/36B, 345/57B, 345/58B, 345/61B, 347, 355B of vill. Marol, S.No.32A/6, Andheri (E), Mumbai-59.

A. CONDITIONS TO BE COMPLIED WITH BEFORE STARTING THE WORK / BEFORE PLINTH C.C.

- 1) That the commencement certificate under section 44/69 (1)(a) of the M.R.T.P. Act will not be obtained before starting the proposed work.
- 2) That the compound wall is not constructed on all sides of the plot clear of the road widening line with foundation below level of bottom of road side drain without obstructing the flow of rain water from the adjoining holding to prove possession of holding as per D.C. Regulation No.38(27) before starting the work.
- 3) That the low lying plot will not be filled upto a reduced level of at least 92 T.M. or 6' above adjoining road level whichever is higher with murrum, earth, boulders etc. and will not be levelled, rolled and consolidated and sloped towards road side before starting the work.
- 4) That the specifications for layout / D.P. / or access roads / development of setback land will not be obtained from E.E.R.C.(W.S.) before starting the construction work and the access and setback land will not be developed accordingly including providing street lights and S.W.D. from E.E.R.C.(W.S.) / E.E.S.W.D. of W.S. before submitting B.C.C.
- 5) That the Structural Engineer will not be appointed. Supervision memo as per appendix XI (regulation 5(3)(ix)) will not be submitted by him.
- 6) That the structural design and calculations for the proposed work and for existing building showing adequacy thereof to take up the additional load will not be submitted before C.C.



Handwritten signature and stamp of the Engineer in Charge, Mumbai.

() That proper gutters and down pipes are not intended to be put to prevent water dropping from the of the roof on the public street.

() That the drainage work generally is not intended to be executed in accordance with the Municipal requirements.

Subject to your so modifying your intention as to obviate the before mentioned objections and meet by requirements, but not otherwise you will be at liberty to proceed with the said building or work at anytime before the ~~200~~ ^{23 OCT 2011} but not so as to contravene any of the provision of the said Act, as amended as aforesaid or any rule, regulations or bye-law made under that Act at the time in force.

Your attention is drawn to the Special Instructions and Note accompanying this Intimation of Disapproval

[Signature]
Executive Engineer, Building Proposals,
Zone, K/E Wards.

SPECIAL INSTRUCTIONS

(1) THIS INTIMATION GIVES NO RIGHT TO BUILD UPON GROUND WHICH IS NOT YOUR PROPERTY.

(2) Under Section 68 of the Bombay Municipal Corporation Act, as amended, the Municipal Commissioner for Greater Mumbai has empowered the City Engineer to exercise, perform and discharge the powers, duties and functions conferred and imposed upon and vested in the Commissioner by Section 346 of the said Act.

(3) Under Byelaw, No. 8 of the Commissioner has fixed the following levels :-

"Every person who shall erect as new domestic building shall cause the same to be built so that every part of the plinth shall be-

"(a) Not less than, 2 feet (60 cms.) above the centre of the adjoining street at the nearest point at which the drain from such building can be connected with the sewer than existing or thereafter to be laid in such street"

"(b) Not less than, 2 feet (60 cms.) above every portion of the ground within 5 feet (160 cms.)- of such building.

"(c) Not less than 92 ft. () meters above Town Hall Datum."

(4) Your attention is invited to the provision of Section 152 of the Act whereby the person liable to pay property taxes is required to give notice of erection of a new building or occupation of building which has been vacant, to the Commissioner, within fifteen days of the completion or of the occupation whichever first occurs. Thus compliance with this provision is punishable under Section 471 of the Act irrespective of the fact that the valuation of the premises will be liable to be revised under Section 167 of the Act, from the earliest possible date in the current year in which the completion or occupation is detected by the Assessor and Collector's Department.

(5) Your attention is further drawn to the provision of Section 353-A about the necessity of submitting occupation certificate with a view to enable the Municipal Commissioner for Greater Mumbai to inspect your premises and to grant a permission before occupation and to levy penalty for non-compliance under Section 471 if necessary.

(6) Proposed date of commencement of work should be communicated as per requirements of Section 47(1) (a) of the Bombay Municipal Corporation Act.

(7) One more copy of the Block plan should be submitted for the Collector, Mumbai Suburbs District.

(8) Necessary permission for Non-agricultural use of the land shall be obtained from the Collector Mumbai Suburban District before the work is started. The Non-agricultural assessment shall be paid at the site that may be fixed by the Collector, under the Land Revenue Code and Rules thereunder.

Attention is drawn to the notes accompanying this Intimation of Disapproval.

3

CHE/WS/0282/K/337(NEW)
No. EB/CE/ TBS

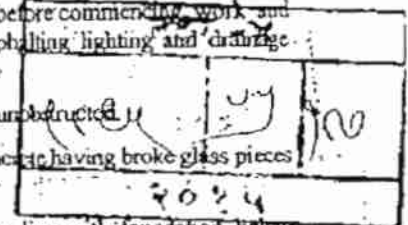
IA/

NOTES

4 OCT 2010

-A-11048

- (1) The work should not be started unless objections are complied with
- (2) A certified set of latest approved plans shall be displayed on site at the time of commencement the work and during the progress of the construction work.
- (3) Temporary permission on payment of deposit should be obtained any shed to house and store for constructional purposes, Residence of workmen shall not be allowed on site. The temporary structures for storing constructional material shall be demolished before submission of building completion certificate and a certificate signed by Architect submitted along with the building completion certificate.
- (4) Temporary sanitary accommodation on full flusing system with necessary drainage arrangement should be provided on site workers, before starting the work.
- (5) Water connection for constructional purpose will not be given until the hoarding is constructed and application made to the Ward Officer with the required deposit for the construction of carriage entrance, over the road side drain.
- (6) The owners shall intimate the Hydraulic Engineer or his representative in Wards atleast 15 days prior to the date of which the proposed construction work is taken in hand that the water existing in the compound will be utilised for their construction works and they will not use any Municipal Water for construction purposes. Failing this, it will be presume that Municipal tap water has been consumed on the construction works and bills preferred against them accordingly.
- (7) The hoarding or screen wall for supporting the depots of building materials shall be constructed before starting any work even though no materials may be expected to be stabled in front of the property. The scaffoldings, bricks metal, sand preps debris, etc. should not be deposited over footpaths or public street by the owner/ architect/their contractors, etc. without obtaining prior permission from the Ward Officer of the area.
- (8) The work should not be started unless the manner in obviating all the objection is approved by this department.
- (9) No work should be started unless the structural design is approved.
- (10) The work above plinth should not be started before the same is shown to the office of the Engineer concerned and acknowledgement obtained from him regarding correctness of the open spaces & dimensions.
- (11) The application for sewer street connections, if necessary, should be made simultaneously with commencement of the work as the Municipal Corporation will require time to consider alternative site to avoid the excavation of the road and footpath.
- (12) All the terms and conditions of the approved layout/sub-division under No. should be adhered to and complied with.
- (13) No Building/Drainage Completion Certificate will be accepted non water connection granted (except for the construction purposes) unless road is constructed to the satisfaction of the Municipal Commissioner as per the provision of Section 345 of the Bombay Municipal Corporation Act and as per the terms and conditions for sanction to the layout.
- (14) Recreation ground or amenity open space should be developed before submission of Building Completion Certificate.
- (15) The acces road to the full width shall be constructed in water bound macadam before commencing work and should be complete to the satisfaction of Municipal Commissioner including asphaltting, lighting and drainage before submission of the Building Completion Certificate.
- (16) Flow of water through adjoining holding or culvert, if any should be maintained unobstructed.
- (17) The surrounding open spaces around the building should be consolidated in Concrete having broke glass pieces at the rate of 125 cubic meters per 10 sq. meters below payment.
- (18) The compound wall or fencing should be constructed clear of the road widening line with foundation below level of bottom of road side drain without obstructing flow of rain water from adjoining holding before starting the work to prove the owner's holding.
- (19) No work should be started unless the existing structures proposed to be demolished are demolished.



9

- (20) This Intimation of Disapproval is given exclusively for the purpose of enabling you to proceed further with the arrangements of obtaining No Objection Certificate from the Housing commissioner under Section 13 (h) (H) of the Rent Act and in the event of your proceeding with the work either without an intimation about commencing the work under Section 347 (1) (aa) or your starting the work without removing the structures proposed to be removed the act shall be taken as a severe breach of the conditions under which this Intimation of Disapproval is issued and the sanctioned will be revoked and the commencement certificate granted under Section 45 of the Maharashtra Regional and Town Planning Act, 1966, (12 of the Town Planning Act), will be with drawn.
- (21) If it is proposed to demolish the existing structures by negotiations with the tenants, under the circumstances, the work as per approved plans should not be taken up in hand unless the City Engineer is satisfied with the following:-
 - (i) Specific plans in respect of evicting or rehousing the existing tenants on hour stating their number and the area in occupation of each.
 - (ii) Specifically signed agreement between you and the existing tenants that they are willing to avail of the alternative accommodation in the proposed structure at standard rent.
 - (iii) Plans showing the phased programme of construction has to be duly approved by this office before starting the work so as not to contravene at any stage of construction, the Development control Rules regarding open spaces, light and ventilation of existing structure.
- (22) In case of extension to existing building, blocking of existing windows of rooms deriving light and its from other sides should be done first before starting the work.
- (23) In case of additional floor no work should be start or during monsoon which will same arise water leakage and consequent nuisance to the tenants staying on the floor below.
- (24) the bottom of the over hand storage work above the finished level of the terrace shall not be more than 1 metre.
- (25) The work should not be started above first floor level unless the No Objection Certificate from the Civil Aviation Authorities, where necessary is obtained.
- (26) It is to be understood that the foundations must be excavated down to hard soil.
- (27) The positions of the rahanis and other appurtenances in the building should be so arranged as not to necessitate the laying of drains inside the building.
- (28) The water arrangement must be carried out in strict accordance with the Municipal requirements.
- (29) No new well, tank, pond, cistern or fountain shall be dug or constructed without the previous permission in writing of the Municipal Commissioner for Greater Mumbai, as required in Section 381-A of the Municipal Corporation Act.
- (30) All gully traps and open channel drains shall be provided with right fitting mosquito proof covers made of wrought iron or steel. The manholes of all jisterns shall be covered with a properly fitting mosquito proof hinged cast iron cover in one piece, with locking arrangement provided with a bolt and huge screwed on highly serving flange base of a lock and the warning pipes of the ribbet pretressed with screw or dome shape pieces (like the standard type) with copper pipes with perforations each not exceeding 1.5 mm. in diameter. The cistern shall be made safely and permanently a ceasible by providing a firmly fixed iron ladder, the upper ends of the ladder should be earmarked and extended 40 cms. above the top where they are to be fixed an its lower ends in concrete blocks.
- (31) No broken bottles should be fixed over boundary walls. This prohibition refers only to broken bottles to not to the usual plain glass for coping over compound wall.
- (32) (a) Louvres should be provided as required by Byo-law No. 5 (b).
 (b) Lintels or Arches should be provided over Door and Window opening.
 (c) The drains should be laid as require under Section 234-1 (a).
 (d) The inspection chamber should be plastered inside and outside.
- (33) If the proposed additional is intended to be carried out on old foundations and structures, you will do so at your own risk.

ACT - 8

COPY TO - ARCHITECT OWNER

4/10/11

22/10/11

Executive Engineer, Building Proposals
 Zones..... K. I. E. Wards.

o. CHE/WS/0232/337K(NEW).

4 OCT 2010

Ex. Engineer Bldg. Proposal (W
H and K. Wards
Municipal Office, R. K. Pokar Marg
Bandra (West), Mumbai - 400 050

- 7) That the regular / sanctioned / proposed lines and reservations, C.R.Z. marking will not be got demarcated at site through A.E.[Survey] / E.E. [I&C] / E.E.[D.P.] / D.I.L.R. before applying for C.C.
- 8) That the sanitary arrangement shall not be carried out as per Municipal specifications and drainage layout will not be submitted before C.C.
- 9) That the registered undertaking and additional copy of plan shall not be submitted for agreeing to hand over the setback land free of compensation and that the setback handing over certificate will not be obtained from Asst. Commissioner [K/East ward] that the ownership of the setback land will not be transferred in the name of M.C.G.M. before demolition of existing building.
- 10) That the Indemnity Bond indemnifying the Corporation for damages, risks, accidents etc. and to the occupiers and an undertaking regarding no nuisance will not be submitted before C.C./starting the work.
- 11) That the existing structure proposed to be demolished will not be demolished or necessary Phase Programme with agreement will not be submitted and got approved before C.C.
- 12) That the requirements of N.O.C. of (i) Reliance Energy, (ii) S.C. (iii) P.C.O. (iv) A.A. & C. K/East ward, (v) S.P. (vi) S.W.D., (vii) H.E. will not be obtained and the requisitions if any will not be complied with before occupation certificate / B.C.C
- 13) That the basement will not comply with basement rules and regulations and registered undertaking. for not misusing the basement will not be submitted before C.C.
- 14) That the N.O.C. from Labour Commissioner for no dues towards workers shall not be submitted.
- 15) That the N.O.C. from Director of Industries for closure of factory shall not be submitted.
- 16) That the industrial power shall not be discontinued and surrendered to electric supply Co.
- 17) That the qualified/registered site supervisor through architect/structural Engineer will not be appointed before applying for C.C.
- 18) That "All Dues Clearance Certificate" related to H.E.'s dept. from the concerned A.E. W.W. [ward] shall not be submitted before applying for C.C
- 19) That the true copy of the sanctioned layout/sub-division/amalgamation approved under the terms and conditions thereof will not be submitted before C.C. and compliance thereof will not be done before submission of B.C.C.
- 20) That the development charges as per M.R.T.P. (amendment) Act 1992 will not be paid.
- 21) That the registered undertaking to demolish the excess area if constructed beyond permissible FSI shall not be submitted before asking for C.C.
- 22) That the N.O.C. from M.O.E.P., C.R.Z. clearance will not be submitted before asking for C.C.
- 23) That the requisite premium as intimated will not be paid before applying for C.C.



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No. CHE/WS/0252/337/K(NEW).

4 OCT 2010

Ex. Engineer Bldg. Proposal (W.S.)
H and K. Wadia
Municipal Office, R. K. Park Marg
Mumbai - 400 050

- 24) That the registered undertaking shall not be submitted for payment of difference in premium paid and calculated as per revised land rates.
- 25) That the C.C. shall not be asked unless payment of advance for providing treatment at construction site to prevent epidemics like Dengue, Malaria, etc. is made to the Insecticide Officer of the concerned Ward Office and provision shall be made as and when required by the Insecticide Officer for inspection of water tanks by providing safe but stable ladder, etc. and requirements as communicated by the Insecticide Office shall not be complied with.
- 26) That the Phase programme will not be got approved before asking for C.C.
- 27) That the Janata Insurance Policy or policy to cover the compensation claims arising out of workman's compensation Act 1923 will not be taken out before starting the work and also will not be renewed during the construction work.
- 28) That the factory permit shall not be submitted to authority for cancellation.
- 29) That the soil investigation will not be done and report thereof will not be submitted with structural design.
- 30) That the building will not be designed with the requirements of all relevant IS codes including IS code 1893 for earthquake design while granting occupation certificate from Structural Engineer to that effect will be insisted.
- 31) That no main beam in R.C.C. framed structure shall not be less than 230 mm. wide. The size of the columns shall also not be governed as per the applicable I.S. Codes.
- 32) That all the cantilevers [projections] shall not be designed for five times the load as per I.S. code 1993-2002. This also includes the columns projecting beyond the terrace and carrying the overhead water storage tank, etc.
- 33) That the R.C.C. framed structures, the external walls shall be less than 230 mm, if in brick masonry or 150 mm autoclaved cellular concrete block excluding plaster thickness as circulated under No.CE/5591 of 15.4.1974.



- 34) That the phasewise programme for removal of the debris shall not be submitted and got approved.
- 35) That the registered undertaking for not misusing the part / pocket terraces / A.H.U.s. and area adjacent free of F.S.I. will not be submitted.
- 36) That the registered undertaking for water proofing of terrace and Nansi traps shall not be submitted.
- 37) That the N.O.C. from E.E.[T&C] for parking layout in the basement / podium shall not be submitted.
- 38) That setback area shall not be handed over to M.C.G.M
- 39) That the Indemnity Bond for compliance of L.O.D. conditions shall not be submitted.

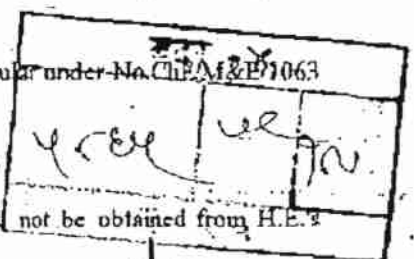
Handwritten signature and initials in a rectangular box. The signature appears to be 'H. S. Wadia' and there are initials 'W.C.' and 'J.R.' next to it.

No. CHE/WS/0252/337/K(NEW).

4 OCT 2010

Ex. Engineer Bldg. Proposal (W.3
Hand K/Wards
Municipal Council, B. K. Bhatkar Marg,
Gandhi (West), Mumbai - 400 050

- 16) That the necessary arrangement of borewell shall not be made/provided and necessary certificate to that effect from the competent authority shall not be obtained before C.C. 7
- 17) That the provisions of Rain Water Harvesting as per the design prepared by approved consultants in the field shall not be made to the satisfaction of Municipal Commissioner while developing plots having area more than 300 Sq.Mts. as per Govt. notification under Sec.37[2] of M.R.T.P. Act, 1966.
- 18) That the requisition from fire safety point of view as per D.C.R.91 shall not be complied with.
- 19) That the Vermiculture bins for disposal of wet waste as per the design and specification of Organisations/individuals specialized in this field, as per the list furnished by Solid Waste Management Department of M.C.G.M. shall not be provided to the satisfaction of Municipal Commissioner.
- 20) That the Drainage Completion Certificate shall not be submitted.
- 21) That the Lift Inspector's completion certificate shall not be submitted.
- 22) That the structural stability certificate shall not be submitted.
- 23) That the Site Supervisor's completion certificate shall not be submitted.
- 24) That the smoke test certificate shall not be submitted.
- 25) That the water proofing certificate shall not be submitted.
- 26) That the setback area shall not be transferred in the name of M.C.G.M.
- 27) That the P.R.Card for amalgamated plots in the name of applicant shall not be submitted.
- 28) That the N.A. order shall not be submitted.
- 29) That the final completion certificate from C.F.O. shall not be submitted.
- 30) That the N.O.C. from A.A. & C. [K/East ward] shall not be submitted.
- 31) That the completion certificate for Rain Water Harvesting System from Consultants shall not be submitted.
- 38) That the construction of road including S.W.Drain and footpath, including concrete curbs, lane marking and providing street furniture and obtain completion certificate from E.E. [Roads]W.S. shall not be submitted before applying for occupation.
- 39) That the payment towards the difference in pro-rata cost of C.C. road and asphalt road for road width of 18.30 mtrs. and above shall not be made in the office of Dy.Chief Engineer [Roads] before applying for occupation.
- 40) That the Energy Conservation Systems as stipulated vide circular under No. CH/EA/E/1063 dt.16/06/2009 shall not be complied with.



D) CONDITIONS TO BE COMPLIED WITH BEFORE B.C.C. :

- 1. That the certificate under Sec.270-A of the B.M.C. Act will not be obtained from H.E.'s department regarding adequacy of water supply.

EX. ENGR. BLDG. PROPOSAL
(W.3.) K/EAST/WEST WARDS.



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ANNEXURE "C"

This E.D./D.C.C. is issued subject to the provision of Urban Land Ceiling and Regulation Act 1976

Ex. Engineer Bldg. Proposal (1200) H and K Wards Municipal Office, R. K. Parkar Marg, (15/12/10), Mumbai

MUNICIPAL CORPORATION OF GREATER MUMBAI

FORM 'A'

MAHARASHTRA REGIONAL AND TOWN PLANNING ACT, 1966

No. CEZ/201/0252/K/BEHAVASHAK of 334 (N.F.S)

COMMENCEMENT CERTIFICATE

18 JAN 2011

To, M/s. Neera Real Estate (P) Ltd.

Sir,

With reference to your application No. 7955 dated 17/11/2010 for Development Permission and grant of Commencement Certificate under Section 44 & 69 of the Maharashtra Regional and Town Planning Act 1966, to carry out development and building permission under Section 346 of the Mumbai Municipal Corporation Act 1888 to erect a building.

To the development work of Proposed Bldg. CTS No. 4310/941/359A at premises at Street village plot No. situated at Andheri (E) in K/East Ward.

The Commencement Certificate/Building Permits is granted on the following conditions:-

- 1. The land vacated in consequence of the endorsement of the setback line/road widening line shall form part of the public street.
2. That no new building or part thereof shall be occupied or allowed to be occupied or used or permitted to be used by any person until occupancy permission has been granted.
3. The Commencement Certificate/Development permission shall remain valid for one year commencing from the date of its issue.
4. This permission does not entitle you to develop land which does not vest in you.
5. This Commencement Certificate is renewable every year but such extended period shall in no case exceed three years provided further that such lapse shall not bar any subsequent application for such permission under section 44 of the Maharashtra Regional & Town Planning Act, 1966.
6. This Certificate is liable to be revoked by the Municipal Commissioner for Greater Mumbai if:
(a) The Development work in respect of which permission is granted under this certificate is not carried out or the use thereof is not in accordance with the sanctioned plans.
(b) Any of the conditions subject to which the same is granted or any of the restrictions imposed by the Municipal Commissioner for Greater Mumbai is contravened or not complied with.
(c) The Municipal Commissioner of Greater Mumbai is satisfied that the same is obtained by the applicant through fraud or misrepresentation and the applicant and every person deriving title through or under him in such an event shall be deemed to have carried out the development work in contravention of Section 42 of 45 of the Maharashtra Regional and Town Planning Act, 1966.
7. The conditions of this certificate shall be binding not only on the applicant but on his heirs, executors, assignees, administrators and successors and every person deriving title through or under him.

The Municipal Commissioner has appointed Shri. P. K. BHANGALE

Executive Engineer to exercise his powers and functions of the Planning Authority under Section 45 of the said Act.

This CC is valid upto 17 JAN 2012. This Commencement certificate is for carrying out the work upto ... for doing A, B, C, D & E up to A.P. 212, 16/11/2010.

For and on behalf of Executive Engineer The Municipal Corporation of Greater Mumbai Executive Eng. Building Permits (Western Subs.) H/East, H/West & K/East, K/West/Wards

FOR MUNICIPAL CORPORATION OF GREATER MUMBAI

17/1/2015

for wing 1st & 2nd up to 24th floor (approx. floor) at 78.02 mt. AGL. It
is re-constructed for wing 1 & 2 up to 24th floor at 61.22 mt. AGL wing 3 & 4 up to 11th floor
at 37.22 mt. AGL. Wing 5 & 6 up to 20th floor at 10.22 mt. AGL wing 7 & 8
up to ground level at 4.22 mt. AGL.
27/8/2014

[Signature]

B. P. (W.S.) H. & K. Ward

Valid up to 17/1/2016

W.S. 025

for wing 1 & 2 up to top of 20th floor from
having at 64.02 mt. AGL wing 3 & 4 up to 24th upper floors having at
up to 78.02 mt. AGL. Wing 5 & 6 up to 11th floor having at
24th floor having at 78.02 mt. AGL wing
7 & 8 up to 20th floor having at 10.22 mt. AGL wing
9 & 10 up to ground level having at 4.22 mt. AGL wing
11 & 12 up to 11th floor having at 37.22 mt. AGL wing
13 & 14 up to 20th floor having at 10.22 mt. AGL wing
15 & 16 up to 24th floor having at 61.22 mt. AGL wing
17 & 18 up to 24th floor having at 61.22 mt. AGL wing
19 & 20 up to 24th floor having at 61.22 mt. AGL wing
21 & 22 up to 24th floor having at 61.22 mt. AGL wing
23 & 24 up to 24th floor having at 61.22 mt. AGL wing

[Signature]
B.P. (W.S.) H. & K. Ward



बंदर - ४		
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२०१५		



Mandla	
Handwritten signature	Handwritten signature

CFO

OFFICE OF CHIEF FIRE OFFICER
MUMBAI FIRE BRIGADE
WADALA COMMAND CENTER
SECTOR 7, SHREE KRISHNA MARG, ROAD,
ANTOP HILL, MUMBAI - 400 037.

MUNICIPAL CORPORATION OF GREATER MUMBAI
MUMBAI FIRE BRIGADE

No: FB/HRC/WS/75
Date: 03/03/2014

Sub: N.O.C. stipulating fire protection and fire fighting requirements for amended plans to the proposed high rise residential cum commercial Buildings on plot bearing CTS No 340, 341A, 343A, 344A, 345A, 345/1 to 345/20, 345/21, 345/22 to 345/55, 345/58A(pt) & 345/61A(pt) of Village Marol, Andheri (East), Mumbai.

- Ref:
- 1) Letter from A.E.B.P. (W.S.) K/E ward w/in CHE/WS/0252/K/337 (New) dated 30-8-2013.
 - 2) Letter from M/S Spacage Consultants, Architects dated 18-1-2014.
 - 3) M.F.B. No: HRC/WS/75 dated 18-31-2014.

Ch Eng (D.P)

Please refer to this Office N.O.C. issued w/in FB/HRAWS/914 dated 9-3-2011 stipulating fire protection and fire fighting requirements for construction of high rise residential building comprising of twenty wings having two level basement, ground floor on stilts, podium one and two, eco deck level and one to eighteen residential floors with a total height of 68.04 mtrs. from general ground level to terrace level.

Further, N.O.C. was issued w/in FB/HRAWS/368 dated 8-1-2012 stipulating fire protection and fire fighting requirements for amended plans and construction of sixteen high rise residential wings designated as wings 1 to 16, each having lower level basement + upper level basement + ground floor on stilts + 1st podium + 2nd podium / part 3rd residential to 17th upper floors with a total height of 58.02 mtrs and one low rise commercial wing designated as wing 18 having ground floor + one upper floor with a total height of 6.22 mtrs from general ground level to terrace level.

Further, N.O.C. was issued w/in FB/HRAWS/440 dated 30-7-2012 stipulating fire protection and fire fighting requirements for amended plans and construction of nineteen high rise residential (part commercial) wings designated as wings 1 to 19; wings 1 to 6 each having lower level basement + upper level basement + ground floor on stilts + 1st podium + 2nd eco deck + 3rd to 21st upper floors with a total height of 67.22 mtrs and wings 7 to 19 each having lower level basement + upper level basement + ground floor on stilts + 1st podium + 2nd eco deck / part 2nd residential + 3rd to 21st upper floors with a total height of 69.62 mtrs from general ground level to terrace level.

Now, the Architect has submitted amended plans with following modifications:

बदल - 8

14/3/14

14/3/14

- 1) Increase three floors in wings 1 to 18
- 2) And propose one low rise wing - row house as wing 19

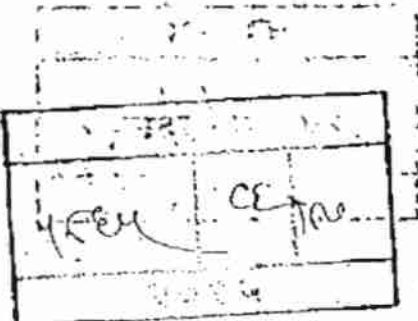
As per amended plans, now the high rise residential building (part commercial on ground floor in wing No 18) comprises of 18 high rise wings each having common lower level basement (for public parking) + common upper level basement (public parking) + common ground floor on stilts + common 1st podium + common 2nd eco deck / podium level + 3rd to 24th upper floors with a total height of 78.02 mtrs (wings 1 to 6); 78.97 mtrs (wings 7 to 13 & 17 & 18); 79.02 mtrs (wings 14 to 16) and one low rise residential wing No 19 having common lower level basement (for public parking) + common upper level basement (public parking) + common ground floor on stilts + common 1st podium + 2nd residential floor (common 2nd eco deck / podium level) + 3rd residential floor with a total height of 16.20 mtrs from general ground level to terrace level.

Use of various floors is proposed as follows:

Floor	Wings	Use
Common Lower level basement	All wings	Car parking (for public i.e. PPT)
Common upper level basement	All wings	Car parking (for public i.e. PPT)
Common Ground floor on stilts	1 to 18 & 19	Car parking & stack car parking
Ground floor	17 & 18	Departmental & Retail stores and stack car parking
Common 1 st podium	1 to 19	Car parking & stack car parking
Common 2 nd eco deck, Part 2 nd residential floor	1 to 18	Car parking & stack car parking
Part 2 nd residential floor	Wing 19	Residential
3 rd & 4 th floor	7 to 13 & 17, 18 & 19	Residential tenements
5 th floor	All wings	Residential tenements
6 th , 13 th & 20 th floor	1 to 6	Residential tenements
7 th , 8 th to 12 th , 14 th , 16 th to 19 th , 21 st , 23 rd	7 to 18	Residential tenements & refuge area
8 th , 15 th & 22 nd floor	All wings	Residential tenements
Fire check floor in between 21 st & 22 nd floor	1 to 6	Residential tenements & refuge area
	7 to 18	Residential tenements
	All wings	Void

Electric meter rooms are proposed at following locations:

Location of electric meter room	Wing
1 st podium	1, 2, 8, 4, 6, 7, 8, 9, 10, 11, 12, 13, 16 & 19
2 nd podium	5, 14, 15, 17, 18.



Electric sub-stations and D G sets are located as follows:

Location	Sub-station	D G Set
1 st podium	One	Three
2 nd podium	Three	Five

Basement is below the building as well as extends beyond building line. Both the levels of basement are proposed for public car parking.

Lower level basement is provided with two ramps from ground floor through upper basement. One ramp is of width 13.0 mtr (directly up to ground floor) while another is of width 7.5 mtr. (up to gr floor from upper basement) & one ramp of width 9.00 mtr is provided in between upper basement to lower basement). Upper level basement is provided with two ramps from ground floor, one having width of 6.0 mtr and another of width 5.0 mtr.

Upper level basement is provided with 8 staircases leading from ground floor. Lower level basement is provided with 15 staircases.

Natural ventilation to the basement is provided through cut-outs, ventilation shafts. In addition to this, mechanical ventilation shall also be provided.

Staircases for various wings are proposed as follows:

Wings 1 to 6:

Each of these wings is provided with two enclosed type staircases externally located & adequately ventilated, each having flight width 1.5 mtrs. Though the building height is above 70 mtrs, the Architect represented that this phase of the complex is already designed and casted with staircase width of 1.5 mtrs and the height of the proposed building is increased beyond 70 mtrs at a later stage. Hence it is not possible to provide 2.0 mtr flight width for the staircases. This phase of the proposal is recommended for clearance by high rise technical committee (copy attached). As far as this Department is concerned, the flight width of the staircases is considered favorably due to:

- i) Architect has represented his inability to increase the staircase width at this stage.
- ii) The height of the buildings is 78 to 79 mtrs, marginally above 70 mtrs.
- iii) The floor plate area of typical floor is not more than 1000 sq. mtrs and number of flats on each typical floor is not more than 8.
- iv) The High rise technical committee has already considered the proposal with this flight width of the staircases.
- v) However, Hon. M.C.'s approval shall be obtained for the same.

Wings 7 to 16:

Each of these wings is provided with two enclosed type staircases externally located & adequately ventilated, each having flight width 2.0 mtrs.

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Wing 17:

It is provided with two staircases, each having flight width 2.0 mtrs (one staircase leading from ground floor to terrace level and another staircase leading from 2nd podium to terrace level)

Wing 18:

It is provided with two enclosed type staircases each having flight width of 2.0 mtr leading from 2nd podium to terrace level. The architect has represented due to commercial premises below eco deck level in this wing, he is unable to provide staircases of residential floors up to ground level and those terminate at 2nd podium level. It is considered by this Department as the 2nd podium is very large in area and occupants can move to the safe place once at 2nd podium level in case of emergency. However, High Rise Technical Committee's and Hon. M.C.'s approval shall be obtained for the same.

Wing 19:

It is provided with two enclosed type staircases externally located & adequately ventilated, each having flight width 1.5 mtrs. leading from 1st podium to terrace level.

In addition to this, two staircases are provided from ground floor to 1st podium.

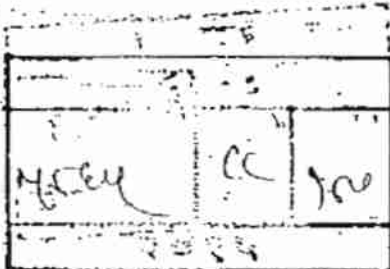
Three lifts are proposed in wings 1 to 6 and 9 two to 18 and four lifts are proposed in wing 7. Two lifts in each wing will be converted into fire lifts. In addition to this, four lifts are proposed from ground floor to 1st podium level.

Two ramps of 4.50 mtrs. width each and one ramp of 9.0 mtr width are proposed for access to the 1st podium from ground floor. Another ramp of width 4.5 mtr is provided from 1st podium to 2nd podium. In addition to this, one 9.00 mtrs. wide ramp (or Fire Tender) is provided from stilt (Gr Floor) to E-deck level with landing at 1st Podium.

The site is about on junction of 18.30 mtrs. wide D.P. Road on west side and 9.00 mtrs. wide road on the south side and the site is also accessible from 12.20 mtrs. wide road on east side.

The open spaces around the building as under:

	North	South	East	West
Wing 1	6.00 m wide access road for fire engine at 2 nd podium level	18.50 m including 8.00 m wide access road without compound wall at ground level, 28.09 m at 2 nd podium level	Annexed to wing 2	2.00 m & more at ground level + 18.30 M wide D.P Road, 10.32 m at 2 nd podium level, 10.32 m at 2d podium lvl

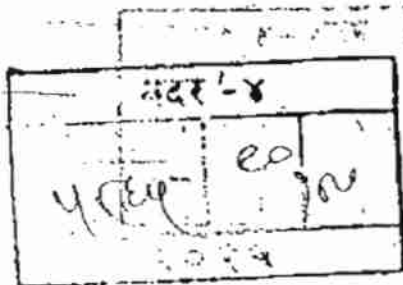


	North	South	East	West
Wing 2	6.00 M wide access road for fire engine at 2 nd podium level	20.89 m including 9.00 m wide access road without compound wall at ground level, 27.15 m at 2 nd podium level	Annexed to wing 3	Annexed to Wing 1
Wing 3	8.00 M wide access road for fire engine at 2 nd podium level	20.88 m including 9.00 m wide access road without compound wall at ground level, 26.85 m at 2 nd podium level	Joint open space of 8.00 M between Wing 3 & Wing 4 at 2 nd Podium level	Annexed to Wing 2
Wing 4	6.00 M wide access road for fire engine at 2 nd podium level	20.88 m including 9.00 m wide access road without compound wall at ground level, 28.85 m at 2 nd podium level	Annexed to wing 5	Joint open space of 9.0 m between wing 3 & 4 at 2 nd Podium level
Wing 5	6.00 M wide access road for fire engine at 2 nd podium level	12.75 m including 6.00 m wide access road without compound wall at ground level, 26.28 m at 2 nd podium level	6.00 m wide access road without compound wall at ground level 13.36 m at 2 nd podium level	8.00 m wide access road for fire engine at 2 nd podium level & annexed to wing 4
Wing 6	Joint open space of 20.00 M between Wing 6 & 7 at 2 nd Podium level	Annexed to wing 5	6.00 m wide access road without compound wall at ground level & Average 14.64 m at 2 nd podium level	8.00 m wide access road for fire engine at 2 nd podium level
Wing 7	Annexed to Wing 19 (Row House)	Joint open space of 20.00 M between Wing 8 & 7 at 2 nd Podium Level	6.00 m wide access road without compound wall at ground level, 15.86 m at 2 nd podium level	9.00 m wide access road for fire engine at 2 nd podium level
Wing 8	9.0 m at ground level & 18.25 m at 2 nd podium level	9.00 m wide access road for fire engine at 2 nd podium level.	Annexed to Wing 19	Annexed to Wing 9
Wing 9	9.0 m at ground level & 20.88 m at 2 nd podium level	9.00 m wide access road for fire engine at 2 nd podium level.	Annexed to Wing 8	Annexed to Wing 10

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	North	South	East	West
Wing 10	9.0 m at ground level & 20.82 m at 2 nd podium lvl	9.00 m wide access road for fire engine at 2 nd podium level.	Annexed to Wing 9	Annexed to Wing 11
Wing 11	9.80 m at ground level & 20.71 m at 2 nd podium M	9.00 m wide access road for fire engine at 2 nd podium level.	Annexed to Wing 10	Annexed to Wing 12
Wing 12	9.87 m at ground lvl & 20.18 m at 2 nd podium	9.00 m wide access road for fire engine at 2 nd podium level.	Annexed to Wing 11	41.08 M at 2 nd Podium level
Wing 13	38.29 m at 2 nd Podium level	Joint open space of 18.66 m between Wing 13 & Wing 15	9.00 m wide access road for fire engine at 2 nd podium lvl	6.0 m at ground level & 14.45 m at 2 nd podium lvl
Wing 14	9.00 m at 2 nd Podium including Ramp	9.00 m wide access road for fire engine at 2 nd podium level.	Joint open space of 24.48 m between wing 14 & 15	Joint open space of 6.50 m between Wing 14 & Wing 13
Wing 15	8.00 M at 2nd Podium including Ramp	9.00 m wide access road for fire engine at 2 nd podium level.	Joint open space of 20.05 m between Wing 15 & Wing 8 at 2 nd podium	Joint open space of 24.45 m between wing 15 & 14
Wing 16	Joint open space of 18.66 M between Wing 13 & 18 at 2 nd Podium lvl	Joint open space of 20.28 m between Wing 16 & 3 at 2 nd Podium level	9.00 m wide access road for fire engine at 2 nd podium level.	9.0 m wide drive way at 2 nd podium level
Wing 17	9.00 m wide access road for fire engine at 2 nd podium level.	9.00 m wide access road for fire engine at 2 nd podium level.	6.00 m wide drive way	7.5 m wide access at ground level
Wing 18	Joint open space of 21.01 m between wing 18 & wing 1 at 2 nd podium level	Joint open space of 21.01 m between wing 18 & wing 1 at 2 nd podium level	9.00 m wide access road for fire engine at 2 nd podium level.	11.42 m at 2 nd ground level
Wing 19	Joint open space of 8.14 m between wing 19 & wing 8 at 2 nd podium level	Joint open space of 8.14 m between wing 19 & wing 8 at 2 nd podium level	15.66 m at 2 nd podium & 6.0 m at ground level	Joint open space of 8.34 m between wing 18 & 7 at 2 nd podium



Refuge areas are provided as follows:

Wing	Floor	Height from ground lvl in mtr	Required refuge area in sq mtr	Provided refuge area in sq mtr
	8	25.22	196.06	192.95
	15	46.22	197.35	192.95
	22	69.02	53.61	56.05
2	8	25.22	110.78	112.06
	15	46.22	111.35	112.05
	22	69.02	31.69	37.35
3	8	25.22	221.39	225.44
	15	46.22	222.89	225.44
	22	69.02	63.74	64.08
4	8	25.22	240.00	248.99
	15	46.22	241.54	248.99
5	22	69.02	69.20	72.65
	8	25.22	145.49	145.67
	15	46.22	145.22	
	22	69.02	41.76	
6	8	25.22	161.95	163.38
	15	46.22	163.72	165.39
	22	69.02	46.72	48.97
7	6	21.12	108.20	110.19
	13	41.77	109.91	110.19
	20	62.42	64.31	66.82



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Wing	Floor	Height from ground lvl in mtr	Required refuge area in sq mtr	Provided refuge area in sq mtr
8	8	21.12	72.71	72.82
	13	41.77	73.14	73.82
	20	62.42	43.18	46.23
9	6	21.12	48.90	51.50
	13	41.77	49.44	51.50
	20	62.42	28.87	31.53
10&11	6	21.12	48.90	51.50
	13	41.77	49.44	51.50
	20	62.42	28.97	31.53
12	6	21.12	62.08	62.17
	13	41.77	62.06	62.17
	20	62.42	36.48	42.27
13A&13B	6	21.12	72.97	74.66
13A&13B	13	41.77	73.69	74.66
13A&13B	20	62.42	43.23	49.00
14&15	6	21.17	163.83	166.66
	13	41.82	188.53	166.66
	20	62.47	97.43	103.83
16	6	21.17	144.87	148.27
	13	41.92	148.15	148.27
	20	62.47	86.06	86.06
17	6	21.12	90.65	92.90
	13	41.77	92.16	92.90
	20	62.42	54.02	59.19



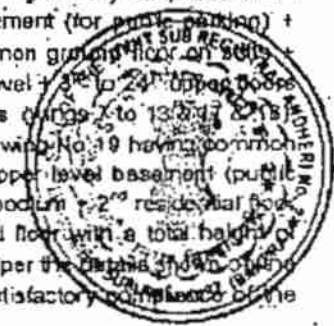
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Wing	Floor	Height from ground level in mtr	Required refuge area in sq mtr	Provided refuge area in sq mtr
18	6	21.12	151.63	154.78
	13	41.77	153.63	154.78
	20	62.42	90.07	95.89

The proposal has been considered favorably in view of the following:

- a. The building abuts on three roads.
- b. Provided wet riser in lift lobby / common corridor in each wing.
- c. Provided natural light & ventilation to the staircase, lift lobby.
- d. Provided wet riser outlet & hose reel at a distance of 30 mtr. on periphery at silted / podium / eco deck area.
- e. Automatic sprinkler system shall be provided in lift lobby common corridor at each floor level, car parking areas on podium, eco deck and all occupied areas above 70 m height and entire basement.
- f. Additional stand by pump to the main fire pump is recommended and it shall be connected to D.G. Set.
- g. The building will be protected with advance in built fire fighting system such as wet riser, hydrant system, fire alarm & fire detection system & sprinkler system, public address system, etc.
- h. Efficient P.A. system is recommended for entire building.
- i. During construction stage and prior to final occupation party agreed to comply with additional requirements stipulated by Mumbai Fire Brigade Officer if any in future.

In view of above as far as this department is concerned there would be no objection for the construction of proposed amendment and construction of high rise residential building (part commercial on ground floor in wing No 18) comprises of 18 high rise wings each having common lower level basement (for public parking) + common upper level basement (public parking) + common ground floor on stilts + common 1st podium - common 2nd eco deck / podium level + 3rd to 24th upper floors with a total height of 78.02 mtrs (wings 1 to 6); 78.97 mtrs (wings 7 to 13); 79.02 mtrs (wings 14 to 18) and one low rise residential wing No. 19 having common lower level basement (for public parking) + common upper level basement (public parking) + common ground floor on stilts + common 1st podium + 2nd residential floor (common 2nd eco deck / podium level) + 3rd residential floor with a total height of 18.20 mtrs from general ground level to terrace level; as per the detailed plan of the enclosed plan signed in token of approval subject to satisfactory compliance of the following requirements:



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1. ACCESS:

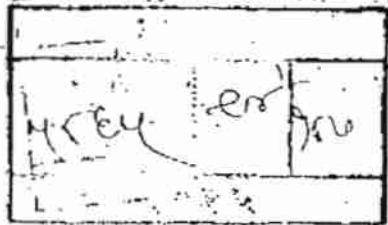
Six Entrance gates shall be of not less than 8 mtrs width each and archways if any provided to the entrance gates, shall have height clearance of not less than 3 mtrs. The slab of the covered walk at entry level on the East side shall be hardened so as to bear the load of fire appliances weighing up to 48 m tons with point load of 10 kg/cm².

2. COURTYARDS:

- i) All the open spaces / courtyards around the building line including R.G. area at ground level at around the building line and covered walk at East side shall be sufficiently hardened to bear the weight of fire appliances weighing up to 48 m tones.
- ii) The courtyards on all sides shall be in one plane.
- iii) Courtyards / side open spaces shall be kept free from obstructions, encroachments and encumbrances at all times.

3. BASEMENT:

- i) Basement shall be used for designated purpose only i.e. car parking utility services
- ii) Slab of the basement forming part of the courtyards shall be designed in such a way as to take the weight of fire appliances weighing up to 18 tonnes each, with point load of 10 kg/ sq cm.
- iii) The staircases shall be totally enclosed type complying with provision of National Building Code and as per D.C. regulations.
- iv) The staircases leading to ground floor from basement shall be provided with cut off lobby.
- v) Entry to the basement shall be provided through one hour fire resisting self closing door placed in the enclosed walls of the staircases.
- vi) The lift lobby shall be enclosed & shall be pressurized with positive air pressure of 5 mm water gauge.
- vii) Basement shall be provided with natural ventilation in form of stall board lights / ventilators.
- viii) Ventilation provided to the basement should not be closed or bricked up at any point of time in future.
- ix) Mechanical ventilation to the basement shall also be provided.
- x) The staircases and associated lift lobbies shall be pressurized in the event of fire. The pressure in these enclosed staircase and enclosed lift lobbies shall be maintained at not less than 5 mm water gauge.
- xi) Staircase and lift lobby shall have illuminated inverter operated exit signs visible from a distance of 12 to 16 meters.
- xii) The basement shall be properly lighted. All escape routes shall be lighted to have a minimum luminance of 2.5 lux and all such lights shall be connected to an emergency source i.e. battery backed inverter/D G Set.
- xiii) All the three levels of basements shall be compartmented with provision of fire link doors as per provisions of National Building Code.



4. CAR PARKING:

- i. Car parking shall be restricted to designated areas only.
- ii. No covered parking shall be allowed in compulsory open space of building.
- iii. The parking area shall not be used for dwelling purpose and repairing / maintenance purpose at any time.
- iv. Dwelling, use of naked light/flame, repairing / maintenance of vehicles shall be strictly prohibited in the parking area.
- v. The drive way shall be properly marked and maintained unobstructed.
- vi. Open car parking-if provided shall be 3 mtrs away from the building line.
- vii. Car parking areas at 1st & 2nd podium floor level shall be provided with parapet walls of 1.10 mtrs height at open sides
- viii. The open sides of the car parking areas shall not be enclosed with glazing or brick work any time in future.
- ix. Drainage of the car parking area of all the levels shall be provided with catch pit and fire trap before connecting the building drainage or Municipal drainage.
- x. Drainage of the car park areas at all the levels shall be so laid as to prevent any overflow in the staircase etc.

5. STAIRCASE (Each Wing):

- i. The layout of all the staircase shall be of enclosed type as shown on the plan throughout its height and shall be approached (gained) at every floor level through at least half an hour fire resistant self closing door (45 mm. Thickness) with equivalent iron mongery placed in the enclosed walls of the staircase.
- ii. Permanent vent at the top equal to 5% of the cross sectional area of the staircase shall be provided.
- iii. Openable sashes or R.C.C. grills with clear openings of not less than 0.5 sq. mtrs. per landing on the external wall of the staircase shall be provided.

6. ESCAPE ROUTES (CORRIDOR/LIFT LOBBY) (Each Wing)

- i. Escape route lighting of the staircase and corridor shall be on independent circuit also connected to the alternate source of electric supply.
- ii. Escape route shall be painted with fire retardant paint.
- iii. Corridor, lift lobby at each floor level shall be ventilated directly to outside air.

7. LIFTS (Each Wing)

- i. Walls enclosing lift shafts shall have a fire resistance of not less than two hours.
- ii. Shafts shall have permanent vents of not less than 0.2 sq. mtrs. per area immediately under the machine room.
- iii. Landing doors and lift car doors of the lift shall be closed chambers with fire resistance of one hour. No collapsible shutter shall be permitted.
- iv. Two lifts in each wing shall be converted into fire lift and shall be as per the specifications laid down under the rules.



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8. FIRE LIFT (Each wing):

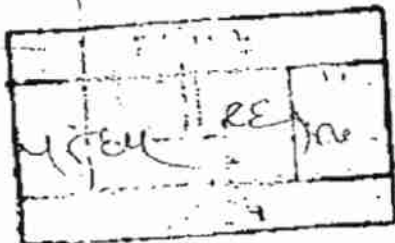
- a) To enable fire services personnel to reach the upper floor with the minimum delay, one fire lift shall be provided and shall be available for the exclusive use of the firemen in an emergency.
- b) The lift shall have a floor area of not less than 1.4 sq. mtrs. with a minimum dimension of 1.12 mtrs. It shall have loading capacity of not less than 545 k.g. (8 persons lift with automatic closing doors).
- c) There shall be an alternate electric supply, from a generator of an adequate capacity apart from the electric supply of the building and the cables run in a route safe from fire, i.e. within the lift shaft. In case of failure of normal electric supply, it shall automatically trip over to alternate supply. For apartment buildings this change over of supply should be done through manually operated change over switch.
- d) The words 'Fire lift' shall be conspicuously displayed in fluorescent paint above the lift landing door at each floor level.
- e) The operation of fire lift should be by a simple toggle or two button switch situated in glass-fronted box adjacent to the lift at the entrance level. When the switch is on, landing call points will become inoperative and the lift will be on car control only or on priority control device. When the switch is off, the lift will return to normal working. This lift can be used by the occupants in normal times.
- f) Collapsible gates shall not be permitted for lifts, the lifts shall have solid doors with fire resistance of at least one hour.
- g) The speed of the fire lift shall be such that it can reach the top floor from ground level within one minute.
- h) Lift lobbys shall be protected with fire retardant paint & sprinkler system.

9. SERVICE DUCT (Each Wing):

- a) All service ducts shall have 2 hr. fire resistance.
- b) Inspection door of the service ducts shall have 2 hr. fire resistance.
- c) Duct for water service, drainage line shall be separate from that of electrical cable duct.
- d) All the service ducts shall be sealed at each floor level with non combustible material such as vermiculite concrete / intumescent material.

10. ELECTRIC CABLE SHAFT (Each Wing):

- i) Electric cable shafts shall be exclusively used for electric cables and should not open in the staircase enclosure.
- ii) Inspection door for the shaft, shall have two hours fire resistance.
- iii) Electric meter room shall be provided at ground floor level at location marked on the plan. It shall be adequately ventilated.
- iv) Electrical shaft shall be sealed at each floor level with non-combustible material such as vermiculite concrete.
- v) Electric wiring cables shall be of copper core having the fire resistance and low smoke hazard cables for the entire bldg. with the provision of ELCB/APFC.



11. FLAT ENTRANCE AND KITCHEN DOORS (Each Wing):

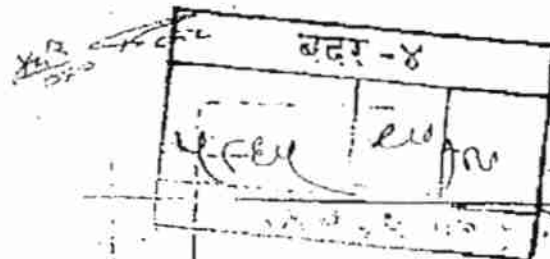
Flat entrance and kitchen doors shall be of solid core having fire resistance of not less than half an hour (solid wood of 45 mm thickness) with equivalent ironmongery

12. D. G. SET ROOM:

- a) D.G. Set Cabin as shown on enclosed plan shall be covered from all sides either by brick masonry walls / R.C.C. of 9" thickness with provision of two hours, self closing, fire resistant door.
- b) D.G. Set area shall be kept prohibited and no unauthorized person shall be allowed to enter in the area.
- c) Two Foam type fire extinguishers of 9 litres capacity each with ISI certification mark coupled with four buckets filled with dry clean sand shall be kept in the D.G. Set Cabin.

13. FIRE FIGHTING REQUIREMENTS:

- a) Underground water storage tanks: Seven underground water storage tanks, each of 2,50,000 Ltrs. capacity each shall be provided at ground level at the location marked on the enclosed plan as per the design specified in the rules with baffle wall and fire brigade collecting breaching. The layout of which shall be got approved from H.E.'s department prior to erection.
- b) Overhead water storage tank (Each wing): Another tank of 25,000 litres capacity shall be provided at the terrace level in each wing. The design and layout shall be got approved from H.E.'s Department prior to erection. These tanks shall be connected to the wet riser through a booster pump through a non-return valve and butterfly valve.
- c) Wet Riser: Wet riser-cum-down corner of internal dia. of 15 cms. of G.I. 'C' Class pipe shall be provided in the independent duct adjoining lobby with single hydrant outlet & hose reel at each floor including basements in such a way as not to reduce the width of the common corridor. Pressure reducing discs or orifices shall be provided at lower level, so as not to exceed the pressure of 5.5 kgs. per sq. cms. A fire service inlet on the exterior face of the building near the tank directly fronting the courtyard shall be provided to connect the mobile pump of the fire service to the wet riser. The wet risers shall be extended from lower basement up to topmost floor/terrace level.
- d) Automatic Sprinkler system (Each wing): Automatic sprinkler system shall be provided in the lift lobby/common passage at each floor level in the entire car parking area in entire still level, commercial areas from ground floor and entire basements, car parking areas on podium, eco deck and in all occupied areas above 70 m height as per the standards laid down by TAC or relevant IS.



specifications. Fire service inlet shall be provided at ground level for the
sprinkle line leading to the basement.

e) Fire Pump, Booster pump, sprinkler and jockey pump (Each Wing).

- (i) Wet-riser shall be connected to a fire pump at ground level of capacity not less than 2400 liters/min. capable of giving a pressure of not less than 3.2 kgs/sq.cms. at the top most hydrant.
- (ii) Booster pump of 800 liters/min. capacity giving a pressure of not less than 3.2 kgs/sq.cms. at the top most hydrant out let of the wet-riser shall be provided at the terrace level.
- (iii) Sprinkler pump of suitable capacity along with jockey pump shall be provided for automatic sprinkler system.
- (iv) Electric supply (normal) to these pumps shall be on independent circuit.
- (v) Separate jockey pump shall be provided to Wet riser system to keep system pressurized.
- (vi) Control panel / operating switches for all the pumps shall be located on ground floor.
- (vii) Operating switches for booster pumps shall be also provided in glass fronted boxes in lift lobbies on ground floor.
- (viii) Hose boxes, each with two hoses of length 15 meter standard size and branch shall be equally distributed near wet riser landing valve in ground floor & each refuge area level in each wing.

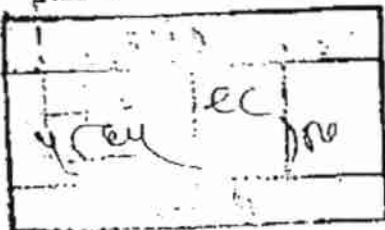
f) STAND BY PUMP: A stand by fire pump connected to D G Set or Diesel Engine driven pump with diesel tank shall be provided.

g) Alternate source of power supply: An Alternate source of L.V./H.V. supply from a separate sub-station as well as through Diesel generator with appropriate change over switch shall be provided for fire pump, booster pump, sprinkler & jockey pump, fire lift, staircase and corridor lighting circuits, PA system, pressurisation system, mechanical ventilation system and manual fire alarm system. It shall be housed in a separate cabin.

h) External Hydrant: Courtyard hydrants (along with glass fronted hose cabinets having two 5 mtr length canvas hose and one branch having nozzle) shall be provided @ distance of 30.00 mtrs each within the confines of the site of the building down corner at ground floor.

Portable fire extinguishers (Each Wing):

- (i) One glass ABC type fire extinguisher of 8 kgs. capacity having I.S.I. certification mark and two buckets filled with dry clean sand shall be kept in electric meter room as well as in lift machine room.
- (ii) Twenty glass ABC type fire extinguisher of 8 kgs capacity having I.S.I. certification mark and Ten buckets filled with dry clean sand shall be kept at each level of basements.



(iii) One class ABC type fire extinguisher of 6 kgs. capacity having I.S. certification mark shall be kept on each floor level & refuge area. (Quantity and spacing shall be increased as per I.S. requirements)

14. MANUAL FIRE ALARM SYSTEM (Each Wing):

Manual fire alarm system with main control panel in BMS office at ground level and near security cabin & pull / break glass alarm boxes with hooter / strobe light at each of the upper floor levels shall be provided

15. FIRE DRILLS / EVACUATION DRILLS:

Fire Drills and evacuation drills shall be conducted regularly in consultation with Mumbai Fire Brigade and log of the same shall be maintained.

16. SIGNAGES (Each Wing):

Self glowing/fluorescent exit signs in green color shall be provided showing the means of escape for both towers.

17. BREATHING APPARATUS SETS: (Each wing):

Four Self contained Compressed Air Breathing Apparatus sets of 45 minutes duration each shall be kept in the fire control room & two Self contained Compressed Air Breathing Apparatus sets of same capacity shall be kept in refuge area in consultation with C.F.O.

18. FIRE OFFICER & TRAINED STAFF:

A qualified Fire Officer, with not less than three years experience & Trained staff shall be appointed on full time basis for looking after the fire prevention, evacuation, escapes, repairs, drills, maintenance and upkeep of fire protection and fire-fighting equipment, as also to train the security staff, occupants of the building and selected persons using the premises and to liaise with the city Fire Brigade on regular and continual basis.

19. FIRE ESCAPE CHUTE (Wings 7 to 18):-

- a) The building shall be provided with fire escape chute shafts adjacent to staircase.
- b) Walls of the shaft shall have 4 hr fire resistance.
- c) Adequate ventilation shaft shall be provided for this shaft.
- d) The dimension of the shaft shall not be less than 2.5 m x 1.5 m.
- e) Access to the fire escape chute's shaft shall be made at alternate each floor level from staircase mid-landing with self closing fire resistant door of at least one hour.

20. FIRE CHECK FLOOR (Each wing):

- a) Height of the fire check floor shall not be more than 1.8 mtrs.
- b) The fire check floor should not be used for any purpose and it shall be responsibility of the owner / occupier to maintain the same clean and free of encumbrances and encroachments at all times.



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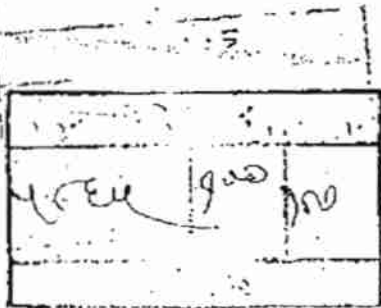
- c) Periphery of the fire check floor shall not be enclosed.
- d) Fire drenchers shall be provided at the periphery of the fire check floor externally.

21. REFUGE AREA (Each Wing):

- A) The refuge area shall be provided on various floors of each wing; shall conform with the following:
 - i) The lay-out of the refuge area shall not be changed/modified in future.
 - ii) The refuge area shall be provided with railing/parape: of 1.10 mtrs. height on the open sides and shall be of sound construction.
 - iii) Refuge area shall be segregated by brick masonry partition wall of 9" & access to refuge area shall be gained through half an hour fire resistant self closing door.
 - iv) Lift and/or staircases, ducts shall not open into refuge areas.
 - v) The refuge area shall be earmarked exclusively for the use of occupants as temporary shelter and for the use of Fire Brigade department or any other organization dealing with fire or other emergencies when occur into the building and also for exercise/drills if conducted by the Fire Brigade department.
 - vi) The refuge area shall not be allowed to be used for any other purpose and it shall be the responsibility of the owner/occupier to maintain the same clean and free of obstructions and encroachments at all times.
 - vii) The entrance door to the refuge area shall be painted or fixed with a sign painted in luminous paint mentioning "REFUGE AREA IN CASE OF EMERGENCY".
 - viii) Adequate drinking water facilities shall be provided in the refuge area.
 - ix) Adequate emergency lighting facility connected to the electric circuits of staircase, corridor/passage etc. lighting shall be provided.
 - x) Refuge area calculation shall be verified by E.E.B.P. (W.S.) as per rules.
- 5) Terrace floor of the building shall be considered as refuge areas as per the revised norms and guidelines and the same shall comply with the following requirements:
 - i) The entrance door to the refuge areas shall be painted or fixed with a sign board in luminous paint mentioning "REFUGE AREA IN CASE OF EMERGENCY".
 - ii) Adequate drinking water facilities shall be provided in the refuge areas.
 - iii) Adequate emergency lighting facility connected to the electric circuits of staircase, corridor/passage etc. lighting shall be provided.

22. ELECTRIC SUB-STATION :

- a) Only dry type sub-station/transformers shall be installed.
- b) Entire installation of sub-station including switchgear room, capacitors, transformer etc. shall be confined to the Indian Electric Act/Rules in practice.
- c) Cables in the cable trenches shall be coated with fire retardant material.
- d) Automatic pull-in circuit breakers shall be provided in the substation/transformer.

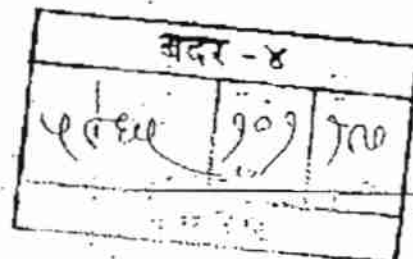


- e) Transformer shall be suitable insulated and shall be designed for continuous operation at rated KVA at the secondary terminal under the prevailing service condition at a higher rated voltage.
- f) The door of the sub-station shall be of two hours fire resistance.
- g) The capacity of the sub-station shall be as per service provider's requirements.
- h) All parts of switch gear and transformer are to be examined frequently and carefully for signs of overheating, tracking etc.
- i) The sub station/transformer area shall be kept prohibited and no unauthorized person shall be allowed to enter in the area.
- j) Ventilation shall be provided at the ceiling level
- k) The area provided for the installation of transformer shall be suitably hardened with R.C.C. and the same shall be covered with sand bed having thickness not less than 15 cms.
- l) H.V./L.V. cable ducts shall be as per Indian Electricity Rules.
- m) The danger signaga along with the electric voltage load shall be displayed.
- n) Entrance and exit door provided for transformer fencing shall be under lock and key at all the times.
- o) Two dry chemical powder type (ABC stored pressure type) fire extinguishers of 6 kgs. Capacity each with ISI certification mark coupled with four buckets filled with dry clean sand and shall be kept near each sub-station.

The party has earlier paid the scrutiny fee of Rs. 93,28,000/- vide Receipt No. 2932539 (SAP DOC No 1000789171) dated 31-07-2011 on gross built up area of 485000.00 sq. mtrs. as certified by the Architect vide his letter dated 20-12-2010. Further, the Architect has certified the gross built up area as 3,48,800.00 sq mtrs vide his letter dt 6-6-2011 and again certified the gross built up area as 3,81,205.00 sq mtrs vide his letter dated 28-5-2012 and paid additional scrutiny fee of Rs 6,38,100/- vide Receipt No 8584280 (SAP DOC No 1001159244) dated 30-5-2012. Now, the Architect has certified the gross built up area as 4,38,500.00 sq mtrs vide his letter dated 18-1-2014 and hence paid additional scrutiny fee of Rs 87,900/- vide Receipt No 2084959 (SAP DCC No.1001652896) dated 23-1-2014. Now, the difference. However, E.E.B.P. (W.S.) is requested to verify the gross built up area and inform this Department if it is more.

Note:

1. The schematic drawings / plans of fire fighting systems like Sprinkler system, wet riser system, fire alarm system, public address system integrated system, voice evacuation system, compartmentation of basements & its fire fighting installations, fire lift & protected lift lobby design / make etc shall be got approved from CFO prior to installation.



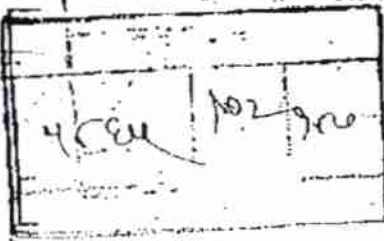
2. Any addition or alterations in utility services, escape routes shall be strictly done with prior permission and sanction of C.F.O. and other competent concerned authorities.
3. This NOC is subject to approval by High Rise Technical Committee.
4. Separate N.O.C. for the Sub-Station shall be obtained from concerned department & this department

This N.O.C. is subject to approval from High rise Technical Committee;

Copy to: 1) E.E.B.P. (W.S.)
2) M/S Spaceage Consultants, Architects

Chief Fire Officer i/s
Mumbai Fire Brigade

Chief Fire Officer i/s
Mumbai Fire Brigade



ANNEXURE "D"

**OFFICE OF THE
COLLECTOR, MUMBAI SUBURBAN DISTRICT**
4th floor Administrative Building, Government Colony, Bandra(E.), Mumbai-400 051

No.C/Desk -III-C/LND/NAP/SR-2009

Date :- 14 /09 /2011

- Read :-**
- 1) Application dt. 8/3/2011 from Shri. Manoj R. Kothari Director of Neepa Real Estate Pvt. Ltd. and C.A. to owner Borosil Glass Works Ltd.,
 - 2) This office order No.C/Desk.III C/Amal/S.D./SR-1557 dt. 08/ 08 /2011
 - 3) I.O.D.No.CHE/०२५२/WS/K-३३७ (New) dt.16/12/2010 from Ex.Engineer Building Proposals, K/E ward M.C.G.M
 - 4) Order No C/ULC/D-III/ B-76/MC/IC/GAD/1804 dt 1/8/80 from director of Industries Mantralaya.

ORDER :-

Land bearing, C.T.S.No. 340, 341A, 343A, 344A, 345A, 345/1, 345/2, 345/3, 345/4, 345/5, 345/6, 345/7, 345/8, 345/9, 345/10, 345/11, 345/12, 345/13, 345/14, 345/15, 345/16, 345/17, 345/18, 345/19, 345/20, 345/21, 345/22, 345/23, 345/24, 345/25, 345/26, 345/27, 345/28, 345/29, 345/30, 345/31, 345/32, 345/33, 345/34, 345/35, 345/36, 345/37, 345/38, 345/39, 345/40, 345/41, 345/42, 345/43, 345/44, 345/45, 345/46, 345/47, 345/48, 345/49, 345/50, 345/51, 345/52, 345/53, 345/54, 345/55, 345/58A/1, 345/61A of Village

Manoj, Taluka Andheri at Mumbai Suburban District, belongs to Borosil Glass Works Ltd.

* The owner of the land has given a Power of Attorney to the above named applicant who has applied for grant of Non-Agricultural Permission in respect of the above lands for Residential purpose.

The building plans have been approved by the Municipal Corporation of Greater Mumbai vide their IOD No. CHE/०२५२/WS/K-३३७ (New) dt 16/12/2010. The above lands are presently

held for agricultural purpose.

In exercise of the powers delegated under Section 47(b) of the M.L.R.Code. 1966, I the Collector, M.S.D. do hereby regularise the Non-Agricultural use to Borosil Glass Works Ltd., to use the land specified in the schedule appended hereto, as per the plans approved by the Municipal Corporation of Greater Mumbai, subject to the following conditions: चढा - ४

1. that the regularization of N.A, shall be subject to the provisions of the Code & Rules made there under.
2. that the grantee shall use the land together with the building or structure thereon, only for the purpose for which the land is permitted to be used and shall not use it or any part of the land or building thereon for any other purpose without obtaining the previous written permission to that effect from this office.
3. the grantee shall construct the building according to the plans approved by the Greater Mumbai Municipal Corporation.

4. that the grantee shall not sub-divide the plot or subplot, if any, approved in this order, without getting the sub-division previously approved by the collector, Mumbai Suburban District
5. that the grantee shall pay the N.A. Assessment in respect of the above land @ Rs.499/-/- per 100 sq.mtrs per annum for residential purpose. The N.A. Assessment for the 2010 to 2012 year comes to Rs.5,35,900/-.
6. that the present N.A. rates mentioned in condition No.5 above, is guaranteed upto 31st July 2006 & shall be revised thereafter for further guarantee period.
7. As mentioned in condition No.6 above, the grantee shall be liable to pay the amount of difference due to revision and fixation of rates of N.A.Assessments.
8. that the grantee shall pay the conversion tax as per the schedule, which is equal to five times of N.A.Assessment within 30 days from the date of issue of this order, failing which the N.A.Permission shall be liable to be cancelled.
9. that the grantee shall pay the measurement fees, to the concerned C.T.S.Officer, immediately.
10. that the area and it's assessment mentioned in this order and sanad shall be liable to be altered in accordance with the actual area found, on measuring the land by the concerned C.T.S. Officer.
11. that the grantee shall construct substantial building and/or other structure, if any, as per the approved plan of Municipal Corporation of Greater Mumbai on the land within a period of three years from the date of commencement of the N.A. use of the land. This period may be extended by this office in discretion on payment by the grantee such fine/premium as may be imposed as per the Government orders in force from time to time.
12. that the grantee shall be bound to execute a sanad in form as provided in Schedule appended to Maharashtra Land Revenue (Conversion of use of land & N.A. Assessment) Rules, 1969 embodying therein all conditions of this order, when called upon to do so.
13. that if the grantee contravene any of the foregoing conditions mentioned in this order, the same shall be incorporated in the sanad, the Collector may, without prejudice to any other penalty which he may be liable under the provisions of the Code, continue the said land for the occupation of the grantee on payment of such fine and assessment as the Collector may direct.
14. that notwithstanding anything contained in condition 13 above, it shall be lawful for the Collector, Mumbai Suburban District, to direct the removal or alteration of any building or structure erected or used contrary to the provisions of this grant within such time as specified in that behalf by him and no such removal or alteration not being carried out within the specified time, he may cause the same to be carried out and recover the cost of carrying out the same from the grantee, as an arrears of land Revenue.
15. that the grant of this permission is subject to the provisions of any other laws and Rules for the time being in force and that may be applicable to the relevant other facts of the case i.e. the Urban Land (Ceiling and Regulation) Act-1976, Coastal Regulation Zone Development Control Rules, 1991, etc.
16. that the grantee shall plant 704 trees, before the completion of the building on this land and he shall take adequate care of their proper and healthy growth.



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17. that the set back & proposed D.P. Road area and it's N.A. Assessment, if any, will be reduced after handing over the same to the Municipal Corporation of Greater Mumbai and also on receiving an intimation from Corporation to that effect.
18. that the grantee shall obtain the prior permission, for excavation & shall pay royalty to the Government as per Rules.
19. that the earlier N.A. Permission granted by the ----- under No. ----- dt.----- be treated as cancelled from the date of implementation of this order.
20. This permission is granted at the risk of applicant/Power of Attorney Holder/Occupant regarding Title of the land.
21. This permission is granted presuming that the papers submitted by the applicant are genuine and for any dispute arising out of document submitted the applicant/Power of Attorney Holder will be held responsible.
22. This order of N.A.A. is only for fiscal purposes of realisation of N.A. assessment as land has been put to Non-Agricultural use.
23. This order is issued subject to protection of rights, dispute or Court matter pending if any.

SCHEDULE

Name of the Holder : Borosil Glass Works Ltd..

Village : Marol, Taluka Andheri District M.S.D.

CTS No.:- C.T.S.No. 340, 341A, 343A, 344A, 345A, 345/1, 345/2, 345/3, 345/4, 345/5, 345/6,

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345/61A, S.No.32A/6

- i) Area in sq.mtrs Nil purpose Commercial.
- ii) Area in sq.mtrs 53,697.39 purpose Residential.
- iii) Amount of annual N.A. Assessment Rs.2,67,950/-
- iv) Period from Revenue Year 2010 to 2012.
- v) Conversion tax of Rs.13,39,750/- to be paid.

2/- the grantee shall pay the Conversion tax amount of Rs.13,39,750/- in the office of the Tahasildar Andheri immediately.

3/- the grantee shall pay the N.A. Assessment amounting to Rs.5,35,900/- in the office of the Executive Engineer Municipal Corporation.

To,
Shri. Manoj R. Kelhari
Director of Neepa Real Estate, to
Borosil Glass Works Ltd.,
Sheth House, Behind Dindoshi fire Station,
General A.K. Vaidya Marg, Opp. Western Express Highway,
Malad (E), Mumbai-97

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Page 3 of 4



For Collector
Mumbai Suburban District.

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ANNEXURE -D**Collector, Mumbai Suburban District**

No.C/Desk -III-C/LND/NAP/SR-2009

Date :- 09/04/2013

Read :- 1) Application dt. 8/3/2011 from Shri. Manoj R. Kothari Director of Neepa Real Estate Pvt. Ltd. and C.A. to owner Borosil Glass Works Ltd.,

2) This office order No.C/Desk.III C/Amal/S.D./SR-1557

dt.08/08/2011

3) I.O.D.No.CHE/०२५२/WS/K-३३७ (New) dt.16/12/2010 from Ex.Engineer Building Proposals, K/E ward M.C.G.M

4) Order No C/ULC/D-III/ B-76/MC/IC/GAD/1801 dt 1/8/80 from director of Industries Mantralaya.

5) City Surevey Officer, Vileparle Region No. १३३७/१३३७/१११३/क्षे.द./२०२२/४०६ सांताक्रुस दि.२८/२/२०१३

**CORRIGENDUM :-**

The Non-agricultural permission has been granted in respect of property of Village Marol, Taluka-Andheri, Mumbai Suburban District, bearing C.T.S.No., 340, 341A, 343A, 344A, 345A, 345/1 to 345/55, 345/58A/1, 345/61A, S.No.32A/6 admeasuring 53,697.39 sq.mtrs. was sanctioned vide this office order dt.14/9/2011. Accordingly measurement of land in subject was carried out by the City Survey Officer, Vileparle After measurement the actual area was found at site difference. Thereafter City Survey Officer, Vileparle vide his letter dt.28/2/2013 has intimated this office to make the necessary correction in this office N.A. Permission order dated 14/09/2011.

Collector Office, Administrative Bldg. १०th floor, Govt. Colony, Bandra (East) Mumbai ५२

Office-२६५५६७२२/२६५५७००७ Fax २६५५६८०५ Email

collector@mumbaisuburban@mah.gov.in

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Hence necessary changes in condition no. 5 and schedule of N.A.
Permission order dated 14/09/2011 are made as under :-

READ

SCHEDULE

Name of the Holder : Borosil Glass Works Ltd.,
Village : Marol, Taluka Andheri District M.S.D.
CTS No.: C.T.S.No., 340, 341A, 343A, 344A, 345A, 345/1, 345/2, 345/3,
345/4, 345/5, 345/6, 345/7, 345/8, 345/9, 345/10, 345/11, 345/12,
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345/45, 345/46, 345/47, 345/48, 345/49, 345/50, 345/51, 345/52,
345/53, 345/54, 345/55, 345/58A/1, 345/61A,

- i) Area in sq.mtrs Nil purpose Commercial.
- ii) Area in sq.mtrs 51,459.3 purpose Residential.
- iii) Amount of annual N.A. Assessment Rs.2,56,782/-
- iv) Period from Revenue Year 2010 to 2012.
- v) Conversion tax of Rs.12,83,910/- to be paid.

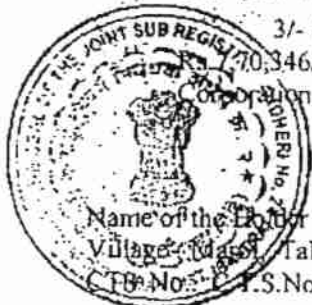
2/- the grantee shall pay the Conversion tax amount of
Rs.12,83,910/- in the office of the Tahasildar Andheri immediately.

3/- the grantee shall pay the N.A. Assessment amounting to
Rs.20,346/- in the office of the Greater Mumbai Municipal
Corporation.

FOR

SCHEDULE

Name of the Holder : Borosil Glass Works Ltd.,
Village : Marol, Taluka Andheri District M.S.D.
CTS No.: C.T.S.No., 340, 341A, 343A, 344A, 345A, 345/1, 345/2, 345/3,
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Collector Office, Administrative Bldg. 9th floor, Govt. Colony, Bandra (East), Mumbai 40
Office-२६५५७९९/२६५५७८०५ Fax २६५५७८०५ Email
collector.mumbaisuburban@mah.gov.in

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 345/53, 345/54, 345/55, 345/58A/1, 345/61A, S.No.32A/6

- i) Area in sq.mtrs Nil purpose Commercial.
- ii) Area in sq.mtrs 53,697.39 purpose Residential.
- iii) Amount of annual N.A.Assessment Rs.2,67,950/-
- iv) Period from Revenue Year 2010 to 2012.
- v) Conversion tax of Rs.13,39,750/- to be paid.

2/- the grantee shall pay the Conversion tax amount of Rs.13,39,750/- in the office of the Tahasildar Andheri immediately.

3/- the grantee shall pay the N.A. Assessment amounting to Rs.5,35,900/- in the office of the Greater Mumbai Municipal Corporation.

O/c. Signed by



For Collector,
 Mumbai Suburban District.

Shri. Manoj R. Kothari
 Director of Neepa Real Estate Pvt. Ltd. and C.A. to
 Borosil Glass Works Ltd., Sheth House,
 Behind Dindoshi fire Station, General A.K. Vaidya Marg,
 Opp. Western Express Highway,
 Malad (E), Mumbai-97



बंदर - ४	
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Collector Office, Administrative Bldg. 2nd floor, Govt. Colony, Bandra (East) Mumbai 44
 Office-२६५५३०११/२६५५३०१५ Fax २६५५६०५ Email
 collectormumbaisuburban@mah.gov.in

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ANNEXURE -E1

KANGA & CO. (Pvt.)
 ADVOCATES & SOLICITORS
 ESTABLISHED 1909 127th YEAR
 2011 - 2012

Head Office: Marol 43, Near Marol Road, Marol - 400 001, India. Tel: (01 22) 6625 0000, 6633 2222, 2204 2263 Fax: (01 22) 6633 6658, 6633 0057 Email: ca@kangacompany.com
 M. L. Bhatia - K. R. Modi - S. C. Kothari - A. M. Doshi - K. M. Vaswani - B. D. Desai - S. S. Vaidya - A. R. Ardi - M. P. G. Mehta - R. V. Chaudh - G. B. Thakkar - D. K. Vasani

M 7049 6/2/11

3054

MLB/DKVI /2011

TITLE CERTIFICATE

Re: All those pieces and parcels of land situate at Village Marol, Taluka Andheri, District of Bombay City and Bombay Suburban, bearing CTS Nos.340, 341A, 343A, 344A, 345A, 345/1 to 345/55, 345/58/A-1, 345/61A, Survey No. 32A Hissa No.6 admeasuring in the aggregate about 68,981.68 (sixty eight thousand nine hundred and eighty one point sixty eight) square metres or thereabouts.

- In or about the year 1962, by several means and assignment made between individual vendors and Industrial and Engineering Apparatus Company Private Limited ("I.E.&A.C.P.L.") and registered with the office of the Sub Registrar of Assurances, the then owners of the properties have conveyed, in the aggregate admeasuring 74,787.55 (seventy four thousand seven hundred and eighty seven point fifty five) square metres or thereabouts situate at Village Marol, Taluka Andheri and more particularly described in the First Schedule hereunder written ("the Freehold Land") in the manner and for the consideration specified therein. Particulars of the aforesaid Freehold Land are set out in Annexure "A" hereto.
- By an Indenture dated 7th August 1962 made by and between Khodabux Abdul Rehman therein referred to as the "Lessor" of the one part and I.E.&A.C.P.L., therein referred to as the "Lessee" of the other part and registered with the office of Sub Registrar of Assurances at Bandra under Serial No.1987 of 62, the said Khodabux Abdul Rehman has demised unto I.E.&A.C.P.L., all that piece or parcel of land or ground, bearing Survey No.21 Hissa No.1 admeasuring 756 (seven hundred and fifty six) square yards or thereabouts and Survey No.24 Hissa No.3 admeasuring 4930 (four thousand nine hundred and thirty) square yards or thereabouts aggregating to 5686 (five thousand six hundred and eighty six) square yards equivalent to 4753.46 (four thousand seven hundred and fifty three point forty six) square meters or thereabouts together with the structures standing thereon and more particularly described in the Second Schedule hereunder written ("the Leasehold Land") for a period of 999 (nine ninety nine) years subject to the payment of rent reserved thereunder and the performance and observance of the covenants and the conditions contained therein.
- By a Deed of Exchange dated 18th December, 1962 made by and between I.E.&A.C.P.L. therein referred to as the 'the Party of the One Part' and Gopaldas Trikanddas and Lakhmichand Trikanddas carrying on business in the firm, name and

style of Messrs. Gopal Brothers therein referred to as 'the Party of the Other Part' and registered with the office of the Sub-Registrar of Assurances under Serial No.3042 of 1962, I.E.&A.C.P.L. has conveyed certain portions of the Freehold Land bearing S.No.20 Hissa No.15(p), S.No.20 Hissa No.20(p) and S.No.20 Hissa No.16(p) admeasuring in the aggregate 236.62 (two hundred and thirty six point sixty two) square metres or thereabouts in favour of the aforesaid Messrs. Gopal Brothers, in consideration whereof I.E.&A.C.P.L. has received all that piece and parcel of land bearing S.No.21 Hissa No.6 and S.No.21 Hissa No.3(p) admeasuring in the aggregate 258.36 (two hundred and fifty eight point thirty six) square metres or thereabouts (hereinafter referred to as the "IEACPL Exchange Land").

4. By an Order dated 30th July, 1963 passed by the Hon'ble Bombay High Court in company petition bearing no.49 of 1963 in connection with company application No.16 of 1963, Industrial and Engineering Apparatus Company Private Limited was amalgamated with Borosil Glass Works Limited and consequently all the assets and liabilities of Industrial and Engineering Apparatus Company Private Limited, including the Freehold Land, the Leasehold Land and IEACPL Exchange Land, were vested in Borosil Glass Works Limited ("Borosil").
5. By four separate Deeds of Exchange made between Borosil of the one part and other parties of the other part and registered with the office of the Sub-Registrar of Assurances ("Deeds of Exchange"), I.E.&A.C.P.L. has conveyed certain portions of the Freehold Land being lands bearing Survey Nos.20/23(p), 20/24, 20/25(p), 24/12(p), 24/13(p), 24/14, 25/8(p), 23/1(p), 23/2(p), 29/2(p), 28/4(p), 23/15(p), 28/17(p), 28/18(p), 28/19, 28/20, 28/21(p) and portion of CTS No.345(p) admeasuring in the aggregate 4538.15 (four thousand five hundred and eighty eight point fifteen) square metres or thereabouts, in favour of the other parties in consideration whereof I.E.&A.C.P.L. has received all that piece and parcel of land more particularly described in the Third Schedule hereunder written ("Borosil Exchange Lands"). Particulars of the Deeds of Exchange are set out in Annexure "B" hereto.



The Freehold Land, the Leasehold Land, IEACPL Exchange Land and the Borosil Exchange Lands are hereinafter collectively referred to as the "said Larger Property".

Several mutation entries recording transfer of lands forming part of the Larger Property in favour of the predecessors in title of Borosil are not available. However, we have obtained all mutation entries with respect to transfer of the said Larger Property in favour of I.E.&A.C.P.L. Accordingly, the 7/12 extracts pertaining to the said Larger Property reflects the name of I.E.&A.C.P.L. as owner/lessee of such properties. Names of certain third parties are also reflected in the other rights columns on some of the 7/12 extracts pertaining to the said Larger Property. However, except as specified in this Report, none of the third parties appear to have made any claims upon the said Larger Property.

8. It appears that the said Larger Property acquired by Borosil by and under several deeds and assignments has been allotted CTS numbers in respect whereof, property register cards have been issued. We have been requested to issue this Title Report for a portion of the said Larger Property bearing CTS Nos. 340, 341A, 342A,

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344A, 345A, 345/1 to 345/55, 345/58-A/1, 345/61A and S.No.32A Hissa No.6 admeasuring in the aggregate 68,981.68 (sixty eight thousand nine hundred and eighty one point sixty eight) square metres or thereabouts and more particularly described in the Fourth Schedule hereunder written ("said Property").

9. The name of Borosil has been recorded on the property register cards for lands bearing CTS Nos.345A, 345/1 to 345/55, 345/58-A/1, 345/61A as owner of such lands. Property register cards for CTS Nos.340, 341A, 343A and 344A do not reflect the name of Borosil as owner and are shown thereon as 'agricultural land'. Further, there does not appear to be any corresponding CTS No. for Survey No.32A Hissa No.6 admeasuring 607.7 (six hundred and seven point seven) square metres or thereabouts. Since, only few Kami Jasti Patra reconciling the survey numbers specified in the title documents for the said Larger Property with the existing CTS numbers are available, we are unable to reconcile the same.
10. We observe that none of the property register cards reflect the name of Borosil as lessee of the land acquired on leasehold basis from Khodabux Abdul Rehman. This may be an error and would need to be rectified.
11. By an order dated May 1988 issued by the Office of the Additional District Deputy Collector portions of the said Property bearing CTS Nos.345, 345/1 to 345/62 were granted non-agricultural permission. By a further order dated 29th September, 1995 issued by the Office of the Tahsildar, Andheri, Borosil has been ordered to pay the increase in non-agricultural land assessment taxes inter-alia in respect of the said Property. However, the property registration cards for land bearing CTS Nos.340, 341A, 343A and 344A still show the tenure of the said land as agricultural. It appears that an application has been made to the government authorities to change the tenure of the land to non-agricultural.
12. It appears that Borosil was running a factory on a portion of the said Property which factory has now been closed.
13. Further, we observe that by an Indenture of Exchange dated 9th April 2004 referred to in paragraph 5 above, made by and between Dhruvshakti Ghatalia ("Ghatalia") and two others therein referred to as the 'the Parties of the First Part' and Borosil therein referred to as 'the Party of the Second Part', Borosil has conveyed certain portions of the Freehold Land admeasuring in the aggregate 1422.12 (one thousand four hundred and twenty two point twelve) square metres or thereabouts to Ghatalia. CTS No.345A has not been sub-divided and therefore the land actually exchanged with Ghatalia still forms part of CTS No.345A. Since the property register card for CTS No.345A does not reflect the aforesaid exchange in favour of Ghatalia, we have deducted an area of 1422.12 sq. mtrs. from CTS No.345A, whilst computing the total area of the said Property.
14. We have also seen a report dated 10th February, 2010 issued by Forum Gandhi and Associates, Company Secretaries in respect of the searches taken in the office of the Registrar of Companies and their report indicates that there is a charge created on the said Property in favour of Bank of Baroda (joint charge with four banks involved in consortium finance) ("said Banks") to secure the due repayment of the amounts borrowed by Borosil. We have been informed that certain original



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documents of title pertaining to the said Property are deposited with Bank of Baroda as security for due repayments of sums inter-alia advanced by the said Banks to Borosil. We have taken inspection of such original documents of title in the offices of the Bank of Baroda. We have been informed that certain original documents of title have been lost or misplaced by Borosil.

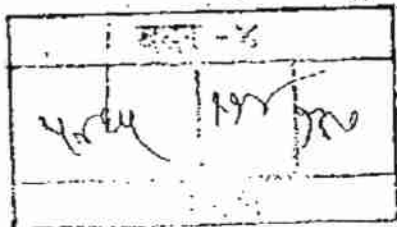
15. We have caused searches to be taken in the office of Sub-Registrar of Assurances and have seen the search reports dated 28th July, 2010 and 12th August 2010 issued by Mr. Nilesh Vagal, search clerk for the said Property for the period 1966 to 2010. The search reports indicate that there is a Notice of Lispendence dated 3rd December, 1993 filed by Ibrahim Ismail Bharadra, Rashid Ismail Bharadra. The papers pertaining to said lispendence notice are not available in the Sub-Registrar of Assurances and we have been in the course of discussions with the representatives of Borosil been informed that Borosil is not party to any suit filed by or against it in respect of the said lispendence notice.
16. A Public Notice has been issued by M/s. Khaitan & Co., Advocates and Solicitors on 3rd August, 2010 in the Times of India, Business Standard, Mumbai Samachar (Gujarati) and Maharashtra Times (Marathi), inviting claims from the public over the said Property. We understand from M/s. Khaitan & Co., that in pursuance of the public notice, only following three objections have been received as on date:
- (i) Letter dated 10th August, 2010 from Advocate Clive D'souza on behalf of Mrs. Christine Donald Pereira and Mrs. Marina Gregory D'Mello claiming right to plots bearing Survey Nos. 28/6, 27/8(part), 27/16, 24/8 and 28/16 forming part of the said Property;
 - (ii) Letter dated 11th August, 2010 from Advocate A.A. Jain on behalf of one Shri Anant Shridhar Lele claiming right to several pieces and parcels of land pertaining to the said Property; and
 - (iii) Email and attached letter, both dated 13th August, 2010 from Ghanekar and Company on behalf of Abdul Rehman, Mrs. Amina M.S. Sheikh, Mrs. Najmunissa Kusum and Mrs. Mariam Miya Sheikh in respect of the Leasehold Land.

We are awaiting a formal communication from M/s. Khaitan & Co. in this behalf.

We have seen a copy of the Indenture of Lease dated 7th August 1962 in respect of the Leasehold Land and observe that the tenure of the lease is 999 years and is freely transferable. Accordingly, in pursuance of the said Indenture of Lease, Borosil is entitled to the leasehold, right and interest in the Leasehold Land for the unexpired period of the lease term. Also, none of the other objections received including the one received from Ghanekar and Company have been substantiated with any supporting documents and therefore do not appear to be bona fide.

18. Subject to what is stated hereinabove, in our opinion: -

- (i) Borosil Glass Works Limited is the owner of and well and sufficiently entitled to the said Property admeasuring 64,228.22 square meters or



thereabouts and more particularly described in the Fourth Schedule hereunder and has a clear and marketable title thereto; and

- (ii) Borosil Glassworks Limited is entitled to leasehold rights in respect of the Leasehold Land admeasuring 4753.46 square meters or thereabouts and more particularly described in the Second Schedule hereunder and has a clear and marketable title thereto as a lessee thereof

THE FIRST SCHEDULE ABOVE REFERRED TO:
(Description of the Freehold Land)

ALL THAT pieces or parcels of land or ground bearing Survey Nos./ Hissa Nos. - 19/1CP, 19/14B, 19/13 A (part), 20/5A/1(part), 20/15B, 25/4, 20/6B, 19/7(part), 28/4(part), 29/5, 28/2, 28/7, 21A/32, 28/1, 28/10, 28/21 (part), 24/1, 29/11, 29/4, 29/ 6B, 24/9, 29/9, 28/5, 28/12, 28/17(part), 28/20(part), 24/7, 24/12 (part), 28/6, 27/8(part), 27/16, 24/8, 27/10, 24/4, 27/8(part), 24/13, 27/2, 25/2, 28/8, 21A/4, 28/9, 27/14, 28/13, 29/10, 29/2B (part), 24/2, 25/3, 27/7, 28/3, 32A/6, 29/8b, 28/18 (part), 24/11, 25/5, 21/2B, 21A/10, 23/1(part), 24/10, 27/3, 27/5, 27/13, 27/20, 28/16, 21A/3(part), 21A/15(part), 21A/16A(part), 28/22, 24/5, 27/17, 27/9, 20/23(part), 23/14(part), 24/13(part), 20/25(part), 23/16, 20/20A(part), 23/2(part), 28/15 (part), 19/5(part), 7A/28, 7A/30, 27/12, 27/18, 27/19, 27/4, 27/15, 27/11, 25/1, 21A/1, 24/3, 28/11, 21A/9, 21A/11, 21A/13 admeasuring in the aggregate 74,878.55 (seventy nine thousand six hundred and thirty six point sixteen) square metres or thereabouts together with the structures standing thereon situate lying and being at Village Marol, Taluka Andheri, District of Mumbai City and Mumbai Suburban.

THE SECOND SCHEDULE ABOVE REFERRED TO:
(Description of the Leasehold Land)

ALL THAT pieces or parcels of land or ground bearing Survey No.21 Hissa No.2 admeasuring 756 (seven hundred and fifty six) square yards or thereabouts and Survey No.24 Hissa No.3 admeasuring 4930 (four thousand nine hundred and thirty) square yards or thereabouts aggregating to 5686 (five thousand six hundred and eighty six) square yards equivalent to 4753.46 (four thousand seven hundred and fifty three point forty six) square metres or thereabouts together with the structures standing thereon situate lying and being at Village Marol, Taluka Andheri, District of Mumbai City and Mumbai Suburban.

THE THIRD SCHEDULE ABOVE REFERRED TO:
(Description of the Borosil Exchange Land)

ALL THAT pieces and parcels of land or ground bearing Survey Nos./ Hissa Nos. - 25/6(p) admeasuring 1199.66 sq. mtrs., 32/5(p) admeasuring 467.33 sq. mtrs., 25/8(p) admeasuring 62.02 sq. mtrs., 24/6 admeasuring 229 sq. mtrs., 27/3 admeasuring 228 sq. mtrs., 27/6 admeasuring 453 sq. mtrs., 346 (p) admeasuring 168.07 sq. mtrs. admeasuring in the aggregate 3322.08 (three thousand three hundred and twenty two point eight) square metres or thereabouts together with the structures standing thereon situate lying and being at Village Marol, Taluka Andheri, District of Mumbai City and Mumbai Suburban.

THE FOURTH SCHEDULE ABOVE REFERRED TO:
(Description of the said Property)

ALL THAT pieces and parcels of land or ground bearing CTS Nos.340, 341A, 343A, 344A, 345A, 345/1 to 345/55, 345/58/A-1, 345/61A and Survey No. 32A Hissa No.6 admeasuring in the aggregate about 68,981.68 (sixty eight thousand nine hundred and eighty one point sixty eight) square metres or thereabouts situate, lying and being at Village Marol, Taluka Andheri, District of Mumbai City and Mumbai Suburban.

Dated this 28th day of March 2011.

Kanga and Company,

L. B. Kanga
 Partner



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Sr. No.		Document and Date		Vendor	Partic	Purchase	Partic	Date	Survey No.	Hisa No.	Area in Sq. Yards
<p style="text-align: center;">ANNEXURE - 2 Sale Deeds and Lease Deeds at Marol Di</p>											
1		Deed of Sale dated 21 February 1962	Marquis Simon D'Velio & Others	Industrial and Engineering Apparatus Pvt. Co. Ltd	19	1 Part	19	19/02/1962			100.00
					19	13 Part	19	21/02/1962			1,225.00
					20	5 Part	20				460.00
					20	15 Part	20				785.00
					25	4 Part	25				907.00
2		Deed of Sale dated 21 February 1962	Khudabux Abdvi Rehman	Industrial and Engineering Apparatus Pvt. Co. Ltd	18	6 Part	20	21/02/1962			231.00
3		Deed of Sale dated 21 February 1962	Manuel Costes	Industrial and Engineering Apparatus Pvt. Co. Ltd	19	7	19	21/02/1962			344.00
4		Deed of Sale dated 19 April 1962	Marthal Anthony Gonsalves & Others	Industrial and Engineering Apparatus Pvt. Co. Ltd	1030	4	28	19/04/1962			4,596.00



Handwritten notes and signatures in the bottom right corner of the table area, including a signature and some illegible text.

5	Deed of Sale dated 21 April 1962	Joe Coultio	Industrial and Engineering Apparatus Pvt. Co. Ltd	1057	21/04/1962	29	5	514.00
6	Deed of Sale dated 21 April 1962	Joe Coutio	Industrial and Engineering Apparatus Pvt. Co. Ltd	1058	21/04/1962	28	2	181.50
						28	7	484.00
						21	32	302.50
7	Deed of Sale dated 24 April 1962	Ramprakash Mulchand Kapur	Industrial and Engineering Apparatus Pvt. Co. Ltd	1081	24/04/1962	28	1	1,421.00
						28	10	453.00
						28	14	272.00
						28	21	353.00
						24	1	1,058.00
8	Deed of Sale dated 3 May 1962	Francis Hieru Gajelus	Industrial and Engineering Apparatus Pvt. Co. Ltd	1167	03/05/1962	29	11	1,028.00
9	Deed of Sale dated 10 May 1962	Ramprakash Mulchand Kapur	Industrial and Engineering Apparatus Pvt. Co. Ltd	1204	10/05/1962	29	4	786.00



Handwritten signature and date: 22/5/62

10	Deed of Sale dated 14 May 1962	Joseph Antony Pimenta	Industrial and Engineering Apparatus Pvt. Co. Ltd	1290	18/05/1962	24	9	1542.00
11	Deed of Sale dated 17 May 1962	Rampurkash Mulchand Kapur	Industrial and Engineering Apparatus Pvt. Co. Ltd	1290	18/05/1962	24	9	332.00
12	Deed of Sale dated 17 May 1962	Rampurkash Mulchand Kapur	Industrial and Engineering Apparatus Pvt. Co. Ltd	1291	18/05/1962	29	9	646.00
13	Deed of Sale dated 18 May 1962	Thomas Gracias R Others	Industrial and Engineering Apparatus Pvt. Co. Ltd	1292	18/05/1962	28	5	1,391.00
14	Deed of Sale dated 25 May 1962	Louis Coutro	Industrial and Engineering Apparatus Pvt. Co. Ltd	1346	26/05/1962	24	7	242.00
				28	12	605.00		
				28	17	756.00		
				28	20	393.00		
				24	12	1,563.00		



Handwritten notes and stamps: '1542.00', '332.00', and a signature.

15	Deed of Sale dated 26 May 1962	Mrs. Sarah Gomes & Others	Industrial and Engineering Apparatus Pvt. Co. Ltd	1350	26/05/1962	28	6	281.00
						27	8 Part	1,297.00
						27	16	30.00
						24	8	544.00
16	Deed of Sale dated 26 May 1962	Abdul Aziz Khan	Industrial and Engineering Apparatus Pvt. Co. Ltd	1351	26/05/1962	27	10	544.00
						24	4	181.00
17	Deed of Sale dated 26 May 1962	Mrs. Sarah Gomes & Others	Industrial and Engineering Apparatus Pvt. Co. Ltd	1349	26/05/1962	27	8 Part	2,000.00
18	Deed of Sale dated 28 May 1962	Dominic F. Coates & Others	Industrial and Engineering Apparatus Pvt. Co. Ltd	1370	29/05/1962	24	15	484.00
								1,028.00
								2,087.00
19	Deed of Sale dated 28 May 1962	Rampurkash Mulchand Kapur	Industrial and Engineering Apparatus Pvt. Co. Ltd	1371	29/05/1962			514.00



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514.00

<p>20 Deed of Sale dated 31 May 1962 Mrs. Annie D'Veila & Others</p>	<p>Industrial and Engineering Apparatus Pvt. Co. Ltd</p>	<p>1436 05/06/1962 28 9 605.00</p>
<p>21 Deed of Sale dated 5 June 1962 Catherine Manuelt Nuhli</p>	<p>Industrial and Engineering Apparatus Pvt. Co. Ltd</p>	<p>1437 05/06/1962 28 9 605.00</p>
<p>22 Deed of Sale dated 5 June 1962 Rampurakath Muthend Kapur</p>	<p>Industrial and Engineering Apparatus Pvt. Co. Ltd</p>	<p>1436 05/06/1962 28 13 816.00</p>
<p>23 Deed of Sale dated 8 June 1962 Mrs. Rosy Alex D'Veila</p>	<p>Industrial and Engineering Apparatus Pvt. Co. Ltd</p>	<p>1448 08/06/1962 29 2 Part 1,000.00</p>
<p>24 Deed of Sale dated 23 June 1962 Abdul Aziz Khan</p>	<p>Industrial and Engineering Apparatus Pvt. Co. Ltd</p>	<p>1587 23/06/1962 24 2 5,503.00</p>



<p>423.00</p>	<p>605.00</p>	<p>181.00</p>
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25	Deed of Sale dated 29 June 1962	Marshal Gonzales & Olier	Industrial and Engineering Apparatus Pvt. Co. Ltd	1647	30/06/1962	29	8	1,518.00
26	Deed of Sale dated 7 July 1962	Peter F. O'Ilma & Others	Industrial and Engineering Apparatus Pvt. Co. Ltd	1720	07/07/1962	28	18	363.00
27	Deed of Sale dated 14 July 1962	Manuel Pascal DiMello	Industrial and Engineering Apparatus Pvt. Co. Ltd	1774	17/07/1962	24	11	907.00
28	Deed of Sale dated 17 July 1962	Victor Gabriel Creado	Industrial and Engineering Apparatus Pvt. Co. Ltd	1776	17/07/1962	21	2 Part	605.00
						21	10	393.00
						23	1	4,698.00
							10	544.00
							3	2,258.00
							5	998.00
							13	1,451.00
							20	1,845.00
							16	574.00
								1,028.00



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29	Deed of Sale dated 21 July 1962	Bridgit Patrick Pereira & Others	Industrial and Engineering Apparatus Pvt. Co. Ltd	1814	31	15	212.00	
30	Deed of Sale dated 21 July 1962	Bridgit Patrick Pereira & Others	Industrial and Engineering Apparatus Pvt. Co. Ltd	1814	31	15	212.00	
31	Deed of Sale dated 28 July 1962	Joseph Gratius Fernandes and others	Industrial and Engineering Apparatus Pvt. Co. Ltd	1867	28/07/1962	21	16	598.00
32	Deed of Sale dated 30 July 1962	Olive D'Penha & Anr	Industrial and Engineering Apparatus Pvt. Co. Ltd	1800	30/07/1962	28	19	272.00
33	Deed of Sale dated 28 July 1962	Hector Gracias	Industrial and Engineering Apparatus Pvt. Co. Ltd	1910	31/07/1962	24	5	1,150.00
34	Deed of Sale dated 28 July 1962	Abdul Karim Habib Lajli	Industrial and Engineering Apparatus Pvt. Co. Ltd	1986	07/09/1962	27	17	1,058.00



Handwritten notes and stamps: '923', '920', and other illegible scribbles.

35	Deed of Sale dated 11 August 1962	Abdul Aziz Khan	Industrial and Engineering Apparatus Pvt. Co. Ltd	2024	11/08/1962	27	9	544.00
36	Deed of Sale dated 4 September 1962	Agnes Catharine Courts and others	Industrial and Engineering Apparatus Pvt. Co. Ltd	2230	04/09/1962	20	23	2,601.00
						23	14	816.00
						24	13	565.00
37	Deed of Sale dated 8 September 1962	Thomas Gradus & Others	Industrial and Engineering Apparatus Pvt. Co. Ltd	2263	08/09/1962	20	24	30.00
						20	25	392.00
38	Deed of Sale dated 12 November 1962	Rev Fr. Joseph Vaz	Industrial and Engineering Apparatus Pvt. Co. Ltd	2691	12/11/1962	23	16	1,210.00
39	Deed of Sale dated 1 December 1962	Theresa Courts	Industrial and Engineering Apparatus Pvt. Co. Ltd	2231		20	2	937.00
						2		1,149.00



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450	12/11/62	23	16	1,210.00
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