

Ram
 HLST-B12C Bawa
 Vastukalg + Vankar
 Anshuman Ph-2

mohit sir

BUILDER TIE-UP CHECKLIST

(LIST OF DOCUMENTS (XEROX COPY) REQUIRED FOR ESTABLISHING TIE-UP ARRANGEMENT IN RESPECT OF HOUSING PROJECT)

REQUIRMENT FROM BUILDER:

1. Board Resolution Copy/ **Authority letter** to sign the application (on letter head).
2. **Builder Profile**, as per the attached format with detail of **latest 2** completed residential projects.
3. Details of expected Business with current penetration and expected penetration for the current project and past projects. (on letter head)
4. Affidavit on ~~letter head~~ (as per attached format).
5. **Flat Wise AREA & Work Completion Stage certificate**: Detail flat-wise statement of carpet and saleable area certified by Architect and present construction & work completion progress Status letter issued by architect, (on letter head)
6. **KYC of Individuals**: Self Attested Copy of PAN & AADHAR of the Partners/Directors/Proprietor of the Firm.
7. **Address proof of Business**: Electricity Bill, Tel Bill, Rent Agreement in the name of firm.
8. Name, contact number and PAN card of **Marketing Associate** who can be individual or non-individual. (if any)
9. **KYC of Firm**: Self Attested Copy of ~~PAN~~ card Partnership/ LLP/ Pvt Ltd./ Ltd/ and Partnership Deed/Memorandum & Article of Association, Certificate of Incorporation. Builder License/ Gumasta copy. **GST**
10. Screen shot of Home page of builder's website.
11. ~~Copy of External rating~~ from CRISIL / ICRA etc, (if any)
12. ~~Copy of Membership of Industry body~~ like **MCHI**, CREDAI, ISO certification (if any)
13. ~~Copy of Maha RERA Registration Certificate.~~
14. ~~Copy of Indenture of Mortgage, NOC from lender bank/financial institution and date of last disbursement.~~
15. A letter from Chartered Accountant certifying stipulated stake of the Builder (minimum 15%) in the Project.
16. **Details of Litigation with hard/soft Copies** of **Plaint/ Written Statement/ Petition/ Reply/ Orders** etc (if any).
17. **Property Documents & Approvals**: (1) Title deeds with Chain of all documents, (2) Relevant 7/12 Extract / Property Card, (3) Deed of Conveyance/Development Agreement/ Agreement with slum dwellers along with Registration Receipt in case of SRA project / Mutation Entries / Revenue Receipt & Index II, (4) Lease deed in case of leasehold lands, Gift deed, Settlement deed, Partition deed, Family settlement deed, Testamentary documents such as Wills etc., (5) Conveyance deed in favour of society / condominium etc. as applicable.
18. ~~Draft of Sale Agreement / Agreement of Sale~~
19. **Copy of Development permission**: issued by Appropriate Authority like MCGM/CIDCO/MAHADA/**SRA**
20. ~~Copies of all Commencement Certificate.~~
21. **Copies of Approved Master Plans & IOD**: Copies of approved / sanctioned/ amended plans certified by Architect and IOD, LOI.
22. **N.A. Order (permission)**: Up-to-date property tax paid receipt, ground rent, and lease premium paid receipt.
23. ~~Environment Clearance Certificate~~ from appropriate authority copy (if applicable).
24. ~~AAI & Fire NOC~~: Fire & Airport Authority of India- NOC (if applicable)
25. ~~TIR of Land / Project~~ prepared by Advocate of Builder.
26. A copy of **Insurance of Land and Building** of the real estate project and construction of the real estate project. (if any)

REQUIRMENT FROM SOURCING ENTITY:
1. Covering cum Recommendation Letter: Mentioning clearly the Name, Phone No., Designation and Email ID of the Relationship Manager of the Project. Also furnish information as under :
(a) Total no of Unit financed by SBI with amount (b) Expected business from this project (No.and Amount) till date from this builder in last 3 months.
2. Site Inspection Report (on latest 10 points format by souring entity).
3. Any adverse finding viz. delay in execution of project and delivery of flats Verification of RBI Defaulters list.
4. KYC Verified with Original: Individual & Firm KYC to be verified with original
5. Deviation from DGM (B&O): If Builder does not have past 2 completed residential projects OR no past experience in development of residential projects.

Disbursement

Ref. No: KBDPL/G-035/347/03/2024

15th March, 2024

The Assistant General Manager (HLS Marketing),
Home Loan Sales Department,
State Bank of India,
Mumbai LHO

Dear Sir,

REQUEST FOR TIE-UP ARRANGEMENTS FOR PROJECT:
BAWA AASHIYAAN, PHASE-II.

We M/s. Kay Bee Developers Pvt Ltd, a Company, having its registered office at 301 / 302, United Mansion No. 1, Parsiwada, Sahar Road, Vile Parle East, Mumbai - 400 099 are willing to enter into a Tie-up arrangement with your Bank for our Project Bawa Aashiyaan, situated at CS No. 348 (pt) & 344 (pt), V.K. Wadi, G/N Ward, Dharavi Division, Dharavi Main Road, Dharavi, Mumbai - 400 017.

2. On approval of the Tie-up, we undertake to execute a Tripartite Agreement with the Bank and the Borrower on the format approved by the Bank, agreeing to:

- (a) Deliver the Title Deeds in favour of the purchaser of the flat directly to the Bank,
- (b) Insist on No-objection Certificate (NOC) from the Bank before cancellation of the Agreement of Sale and refund of payment(s) received, and
- (c) To convey Bank's security interest to the existing/proposed Society for noting Bank's charge in its records.

Yours faithfully,

For Kay Bee Developers Pvt Ltd

Shri. Karanveer Singh Bawa



Sr. No.	Parameter	Particulars		
1	Name of the Builder	M/s. Kay Bee Developers Pvt Ltd.		
2	Registered Address	301 / 302, United Mansion No. 1, Parsiwada, Sahar Road, Vile Parle East, Mumbai – 400 099.		
3	Address for correspondence	301 / 302, United Mansion No. 1, Parsiwada, Sahar Road, Vile Parle East, Mumbai – 400 099.		
4	Contact Person Name, Mob.No. Email id	Shri. Karanveer Singh Bawa +91 9820032034 bawakaran@bawagroup.in		
4a	Whether Builder/His nominee is proposed to be engaged as Marketing Associate? If Yes, Name of the Marketing Associates	NA		
5	Website url, if any	https://bawagroup.in/		
6	Date of establishment	11.10.2001		
7	Constitution	Private Limited		
8	If members of an Industry Body like Builder's Association etc. names of such bodies like MCHI, CREDAI/ISO certification	RPM/MCHI/519000/MUM/423		
9	Ratings from CRISIL/ICRA etc.	NA		
10	Profile of the partners/directors			
Sr. No	Name	Age	Qualifications	Comments on his/her experience, area of expertise etc.
1	Shri. Karanveer Singh Bawa	45	Commerce Graduate	A man well – known for his passion and drive to excel towards anything he undertakes. Business of hospitality firmly engrained in values and vision, he has spear headed the entire group of hotels to a coveted position where he stands today. The description of this leader remains incomplete without the mention of the significant contribution imparted by him in steering Bawa Group to an all new enterprising venture of Realty and construction.
2	Smt. Gurinder Kaur Multani	60	Graduate	After completing her post-graduation in English literature from Punjab University, she dedicated herself in the service of Bawa Group of Companies. Her

				<p>leadership capabilities and ever flowing infusion of fresh ideas have elevated her today to take charge of the entire administration and operation of Bawa Group of Hotels.</p> <p>Her able guidance has also been immense useful in the Wellness initiative of the Group IOSIS Spa & Wellness Pvt. Ltd.</p> <p>She has been associated with Bawa Group of Hotels for 30 years and under her able supervision and enervated pioneering skills have lent significant contribution to the Realty venture too.</p>
11	Details of last 3 residential projects executed by the same firm/company/promoters			
Project Name	Agram	Akash	-	
Location	Dharavi	Dharavi	-	
Whether approved by SBI?	No	Yes		
If approved by Housing Finance Company like HDFC/LIC HF etc. and/or Schedule Commercial Bank, furnish names of HFCs/Banks	No	No	-	
Month & Year of Commencement of Construction	Commencement Certificate: SRA/ENG/734 /GN/GL/AP Dtd: 05.03.2009	Commencement Certificate: SRA/ENG/2727/GN/GL/AP Dtd: 05.02.2016	-	
Present Status (Completed/Partially completed)	Completed on 24.01.2014	Completed on 24.12.2021		
Total built up area of the project, in Sq.Mtr.	2966.81 sq. m (Rehab Built up area)	21879.40 sq. m (Rehab Built up area)	-	
Number of floors	Ground + 7 upper floors	Ground + 22 upper floors	-	
No. of Dwelling Units in the project	70	368	-	
No. of units sold in the project	All Rehab	Part Rehab Part Sale of 87 units - All sold	-	
Hsg Loan taken Through SBI (No. of flats)	No	05 Nos.	-	
Date of Occupancy	Full completion	Full completion	-	



Certificate	Occupation Certificate: SRA/ENG/734 /GN/GL/AP Dtd: 24.01.2014.	Occupation Certificate: SRA/ENG/2727/G N/GL/AP dtd: 24.12.2021	
Date of conveyance	In Process	In Process	
12	Details of the Present Project		
Project Name	Bawa Aashiyaan		
Location with Survey Nos.	CS Nos. 343 (pt) & 344 (pt), V.K. Wadi, G/N Ward, Dharavi Division, Dharavi, Mumbai – 400 017.		
Details of construction finance / loan, if any, availed by the builder for this project. (Note : If construction finance is provided by the SBI, then the project will stand Automatically approved.	State Bank Of India, SME Goregaon East Branch, Mumbai – 400 063.		
Status of encumbrance of the project land	- NIL -		
If approved by Housing Finance Company like HDFC/LIC HF etc, and/or Scheduled Commercial Bank, Furnish names of HFCs/Banks	- NIL -		
Month & Year of Commencement of Construction	9th June, 2020		
Proposed construction Plan. (Please furnish details of No. of phases, No. of buildings in each phase, No. of floors, No. of dwelling Units in each building. Planned Schedule of completion of each building, phase, Project.)	Sale Building No. 3 having A & B Wing comprising of Ground + 20 upper floors Wing C & D comprising of Ground + 21 (pt) upper floors		
Total built up area of the project, in Sq. Mt.	24818.46 sq. mt.		
No. of Dwelling Units in the project	Wing A – 58 units Wing B – 58 units Total - 116 units	Wing C – 54 units Wing D – 57 units Total - 111	
No. of units sold in the project	168		
Details of Development Agreement and POA if any	Development Agreement dated: 5 th September, 2006 Regd No: BBE2/11967/2006 dtd: 5 th January, 2007. Power of Attorney dated: 5 th September 2006		

Kay Bee Developers Pvt. Ltd.

CIN No.: U45201MH2001PTC133642

Status of receipt of approvals from Local Bodies/ Urban Development Authority	L.O.I : SRA/ENG/494/GN/GL/AP (i) 11.03.2008 (ii) 06.12.2008 (iii) 11.05.2015 (iv) 31.05.2018 (v) 31.10.2021 I.O.A: SRA/ENG/734/GN/GL/AP 05.02.2016 (Sale Bldg. No. 3, Bawa Aashiyaan) Commencement Certificate (Sale Bldg. No. 3 – Bawa Aashiyaan) : GN/STGOVT/0005/20000503, Dtd: 09.06.2020 C.F.O NOC: FB/HR/RII/47, Dtd: 17.06.2021 (Sale Bldg. No.3)		
13 Project Value			
Type of Flat/House	No. of Flats/House	Average price per flat/house (Lakh)	Total (Cr)
A – 1 BHK	58	55.00	31.90
B – 1 BHK	58	60.00	34.80
C – 1 BHK	54	60.00	32.40
D – 1 BHK	57	60.00	34.20
Total Project Value			133.3
14 Whether credit facility enjoyed With any bank Bank Branch A/c No IFSC		State Bank Of India SME, Goregaon East Branch 38029278081 SBIN0012521	
15. Detail of RERA Collection A/c. Account Name: Account Type: Account Number : Bank / Branch : IFSC code		Kay Bee Developers Pvt Ltd Current Account 40881886948 (Bawa Aashiyaan, Phase-2) State Bank Of India / SME, Goregaon East Branch SBIN0012521	

For Kay Bee Developers Pvt Ltd

Shri. Karanveer Singh Bawa
[Authorized Signatory]



Maharashtra Real Estate Regulatory Authority

REGISTRATION CERTIFICATE OF PROJECT

FORM 'C'

[See rule 6(a)]

This registration is granted under section 5 of the Act to the following project under project registration number **P51900033922**

Project: **BAWA AASHIYAAN PHASE-II**, Plot Bearing / CTS / Survey / Final Plot No.: **CTS NO 343 PT 344 PTat GNorth-400017, Ward GNorth, Mumbai City, 400017;**

1. **Kay Bee Developers Pvt. Ltd.** having its registered office / principal place of business at Tehsil: **Andheri**, District: **Mumbai Suburban**, Pin: **400099**.
2. This registration is granted subject to the following conditions, namely:-
 - The promoter shall enter into an agreement for sale with the allottees;
 - The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
 - The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub- clause (D) of clause (i) of sub-section (2) of section 4 read with Rule 5;
OR
That entire of the amounts to be realised hereinafter by promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated receivable of the project is less than the estimated cost of completion of the project.
 - The Registration shall be valid for a period commencing from **14/03/2022** and ending with **31/12/2027** unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 5 of the Act read with rule 6.
 - The promoter shall comply with the provisions of the Act and the rules and regulations made there under;
 - That the promoter shall take all the pending approvals from the competent authorities
3. If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.

Signature valid
Digitally Signed by
Dr. Vasant Premchand Prabhu
(Secretary, MahaRERA)
Date:14-03-2022 17:19:39

Dated: **14/03/2022**

Place: **Mumbai**

Signature and seal of the Authorized Officer
Maharashtra Real Estate Regulatory Authority

MahaRERA Application

General Information

Information Type Other Than Individual

Organization

Name KAY BEE DEVELOPERS PVT.
LTD.
Organization Type Company
Description For Other Type Organization NA
Do you have any Past Experience ? Yes

Address Details

Block Number 301-302 Building Name UNITED MANSION 1
Street Name SAHAR ROAD Locality VILE PARLE EAST
Land mark PARSIWADA State/UT MAHARASHTRA
Division Konkan District Mumbai Suburban
Taluka Andheri Village Andheri
Pin Code 400099

Organization Contact Details

Office Number 02226108541
Website URL www.bawagroup.in

Past Experience Details

Sr.No.	Project Name	Type of Project	Others	Land Area(In Sq mtrs)	Address	CTS Number	Number of Buildings/Plot	Number of Apartments	Original Proposed Date of Completion	Actual Date of Completion
1	AKASH	Residential	NA	933.74	ASHRA SRA CHS LTD V..K.WADI DHARAVI MUMBAI - 400 017	CTS NO 343 PT 344 PT	1	83	2020-12-31	2020-12-31

Member Information

Member Name	Designation	Photo
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GURINDERKAUR TAPINDER MULTANI

Director



KARANVEERSINGH GURINDERSINGH BAWA

Director



Project

Project Name	BAWA AASHIYAAN PHASE-II	Project Status	New Project
Proposed Date of Completion	31/12/2027		
Litigations related to the project ?	No	Project Type	Residential
Are there any Promoter(Land Owner/ Investor) (as defined by MahaRERA Order) in the project ?	No		
Plot Bearing No / CTS no / Survey Number/Final Plot no.	CTS NO 343 PT 344 PT	Boundaries East	DHARAVI MAIN ROAD
Boundaries West	C S NO 343 GOVERNMENT LAND	Boundaries North	C S NO 343 JOHNSON AND JOHNSON
Boundaries South	C S NO 335	State/UT	MAHARASHTRA
Division	Konkan	District	Mumbai City
Taluka	Ward GNorth	Village	GNorth-400017
Street	V.K.WADI	Locality	DHARAVI
Pin Code	400017	Area(In sqmts)	1014.55
Total Building Count	1		
Sanctioned Buildings Count	1	Proposed But Not Sanctioned Buildings Count	0
Aggregate area(In sqmts) of recreational open space	256.76		

FSI Details

Built-up-Area as per Proposed FSI (In sqmts) (Proposed but not sanctioned) (As soon as approved, should be immediately updated in Approved FSI)	0	Built-up-Area as per Approved FSI (In sqmts)	4911.47
TotalFSI	4911.47		

Bank Details

Bank Name	STATE BANK OF INDIA /
IFSC Code	SBIN0012512 /

Project Details

Name	Proposed	Booked	WorkDone(In %)
Number of Garages (In Numbers)	0	0	0
Covered Parking (In Numbers)	57	0	0

6	Internal walls, Internal Plaster, Floorings within Flats/Premises, Doors and Windows to each of the Flat/Premises	0
7	Sanitary Fittings within the Flat/Premises, Electrical Fittings within the Flat/Premises	0
8	Staircases, Lifts Wells and Lobbies at each Floor level connecting Staircases and Lifts, Overhead and Underground Water Tanks.	0
9	The external plumbing and external plaster, elevation, completion of terraces with waterproofing of the Building/Wing	0
10	Installation of lifts, water pumps, Fire Fighting Fittings and Equipment as per CFO NOC, Electrical fittings to Common Areas, electro, mechanical equipment, Compliance to conditions of environment /CRZ NOC, Finishing to entrance lobby/s, plinth protection, paving of areas appurtenant to Building/Wing, Compound Wall and all other requirements as may be required to Obtain Occupation /Completion Certificate	0

Project Professional Information

Professional Name	MahaRERA Certificate No.	Professional Type
S V THAKKER AND ASSOCIATES	NA	Architect
S V PATEL AND ASSOCIATES	NA	Engineer
DEEPAK N SHAH AND COMPANY	NA	Chartered Accountant
SAMEERKA CONSULTANT PRIVATE LIMITED	NA	Other Professional

Litigations Details

No Records Found

Uploaded Documents

Document Name	Uploaded Document
1 Copy of the legal title report	View Download
2 Copy of the legal title report	View Download
1 Details of encumbrances	View Download
1 Copy of Layout Approval (in case of layout)	View Download
1 Building Plan Approval / NA Order for plotted development	View Download
2 Building Plan Approval / NA Order for plotted development	View Download
3 Building Plan Approval / NA Order for plotted development	View Download
4 Building Plan Approval / NA Order for plotted development	View Download
5 Building Plan Approval / NA Order for plotted development	View

6 Building Plan Approval / NA Order for plotted development	Download
	View
	Download
7 Building Plan Approval / NA Order for plotted development	View
	Download
8 Building Plan Approval / NA Order for plotted development	View
	Download
9 Building Plan Approval / NA Order for plotted development	View
	Download
10 Building Plan Approval / NA Order for plotted development	View
	Download
11 Building Plan Approval / NA Order for plotted development	View
	Download
12 Building Plan Approval / NA Order for plotted development	View
	Download
1 Commencement Certificates / NA Order for plotted development	View
	Download
1 Declaration about Commencement Certificate	View
	Download
1 Declaration in FORM B	View
	Download
1 Architect's Certificate of Percentage of Completion of Work (Form 1)	View
	Download
2 Architect's Certificate of Percentage of Completion of Work (Form 1)	View
	Download
1 Engineer's Certificate on Cost Incurred on Project (Form 2)	View
	Download
2 Engineer's Certificate on Cost Incurred on Project (Form 2)	View
	Download
1 CERSAI details	View
	Download
1 Engineers Certificate on Quality Assurance (Form 2A FY 2019-20)	Not Uploaded
1 Disclosure of sold/ booked inventory	Not Uploaded
1 Annual Audit Report of Statutory CA (Form 5) (FY 2017-18)	Not Uploaded
1 Engineers Certificate on Quality Assurance (Form 2A FY 2020-21)	View
	Download
1 Annual Audit Report of Statutory CA (Form 5) (FY 2018-19)	Not Uploaded
1 Annual Audit Report of Statutory CA (Form 5) (FY 2019-20)	Not Uploaded
1 Annual Audit Report of Statutory CA (Form 5) (FY 2020-21)	Not Uploaded
1 Proforma of the allotment letter and agreement for sale	View
	Download

2 Proforma of the allotment letter and agreement for sale



1 Architect's Certificate on Completion of Project (Form 4)

Not Uploaded

1 Status of Formation of Legal Entity (Society/Co Op etc.)

Not Uploaded

1 Status of Conveyance

Not Uploaded

1 Other

Not Uploaded

3

Aggregate area of recreational Open Space	YES	0	AS PER APPROVAL
Open Parking	NO	0	NA
Water Supply	YES	0	FROM MCGM
Sewerage (Chamber, Lines, Septic Tank , STP)	YES	25	AS PER STP PROPOSED
Storm Water Drains	YES	0	AS PER APPROVAL OF MCGM
Landscaping & Tree Planting	YES	0	AS PER LANDSCAPE CONSULTANT APPROVAL
Street Lighting	YES	0	AS PER REQUIREMENT
Community Buildings	NO	0	NA
Treatment And Disposal Of Sewage And Sullage Water	YES	0	STP PROPOSED
Solid Waste Management And Disposal :	YES	0	AS PER DESIGN OF CONSULTANT APPROVAL

Building Details

Sr.No.	Project Name	Name (Also mention identification of building/wing/other as per approved plan)	Proposed Date of Completion	Number of Basement's	Number of Plinth	Number of Podium's	Number of Sanctioned Floors	Number of Stills	Total no. of open Parking as per Sanctioned Plan (4-wheeler+2-Wheeler)	Number of Closed Parking
1	BAWA AASHIYAAN PHASE-II	BAWA AASHIYAAN	31/12/2027	0	0	0	15	0	0	57

Sr.No.	Apartment Type	Carpet Area (in Sqmts)	Number of Apartment	Number of booked Apartment
1	1 BHK D WING	39.85	42	32
2	1 BHK C WING	39.12	12	8
3	1 BHK C WING	39.85	42	31
4	1 BHK D WING	39.12	15	12



1	Excavation	100
2	X number of Basement(s) and Plinth	100
3	X number of Podiums	100
4	Stilt Floor	100
5	X number of Slabs of Super Structure	100
6	Internal walls, Internal Plaster, Floorings within Flats/Premises, Doors and Windows to each of the Flat/Premises	90
7	Sanitary Fittings within the Flat/Premises,Electrical Fittings within the Flat/Premises	32
8	Staircases, Lifts Wells and Lobbies at each Floor level connecting Staircases and Lifts, Overhead and Underground Water Tanks.	50
9	The external plumbing and external plaster, elevation, completion of terraces with waterproofing of the Building/Wing	6
10	Installation of lifts, water pumps, Fire Fighting Fittings and Equipment as per CFO NOC, Electrical fittings to Common Areas, electro, mechanical equipment, Compliance to conditions of environment /CRZ NOC, Finishing to entrance lobby/s, plinth protection, paving of areas appurtenant to Building/Wing, Compound Wall and all other requirements as may be required to Obtain Occupation /Completion Certificate	0

Project Professional Information

Professional Name	MahaRERA Certificate No.	Professional Type
S V THAKKER AND ASSOCIATES	NA	Architect
S V PATEL AND ASSOCIATES	NA	Engineer
DEEPAK N SHAH AND COMPANY	NA	Chartered Accountant
SAMEERKA CONSULTANT PRIVATE LIMITED	NA	Other Professional

Litigations Details

No Records Found

Uploaded Documents

Document Name	Uploaded Document
1 Copy of the legal title report	View Download
2 Copy of the legal title report	View Download
1 Details of encumbrances	View Download
1 b Details of encumbrances concerned to Legal	Not Uploaded
1 Copy of Layout Approval (in case of layout)	View Download
1 Building Plan Approval / NA Order for plotted development	View Download
2 Building Plan Approval / NA Order for plotted development	View Download
3 Building Plan Approval / NA Order for plotted development	View Download
4 Building Plan Approval / NA Order for plotted development	View Download



RESOLUTION PASSED IN THE BOARD OF DIRECTORS' MEETING HELD ON 18th MARCH 2022 AT THE OFFICE OF THE COMPANY AT 301-302, 3RD FLOOR, UNITED MANSION 1, SAHAR ROAD, PARSIWADA, VILE PARLE EAST, MUMBAI - 400 099.

The Agreement for Sale are to be executed by the Company Kay Bee Developers Pvt. Ltd., with the prospective Flat Purchaser/s in Composite Sale Building No.3 known as Bawa Aashiyaan Phase II, situate at C. S. No. 343(pt), 344(pt), V. K. Wadi, Dharavi Mumbai - 400 017. The draft of the Agreement for Sale along with relevant annexures was placed before the Board for approval and the Board passed the following resolution;

"Resolved that the Company, to execute the Agreement for Sale for sale of flats units in project known as Bawa Aashiyaan Phase II and register the same with the Sub-Registrar of Assurances, Mumbai;

"Resolved further that the Mr. Karanveer Singh Bawa, Director of the Company, is hereby authorized to sign the said Agreement for Sale and all other documents, forms applications etc. as may be necessary for the same".

Kay Bee Developers Pvt. Ltd.,



[Signature]
DIRECTOR

Date: 18th March 2022

Place: Mumbai



Paul Men

A handwritten signature in cursive script, appearing to read 'Paul Men'.



(Amended)

Government of India
Form GST REG-06
[See Rule 10(1)]

Registration Certificate

Registration Number :27AACCK3286HIZE

1.	Legal Name	KAYBEE DEVELOPERS PRIVATE LIMITED			
2.	Trade Name, if any	KAYBEE DEVELOPERS PVT LTD			
3.	Additional trade names, if any				
4.	Constitution of Business	Private Limited Company			
5.	Address of Principal Place of Business	Jaisingh Business Centre, 3 Floor, 301-302, UNITED MANSION 1, Parsiwada Sahar Road, Vile Parle East, Mumbai, Mumbai Suburban, Maharashtra, 400099			
6.	Date of Liability	01/07/2017			
7.	Date of Validity	From	01/07/2017	To	Not Applicable
8.	Type of Registration	Regular			
		Validity unknown			
9.	Particulars of Approving Authority	Digitally signed by DS GOODS AND SERVICES TAX NETWORK OF Date: 2023.01.03 17:00:54 IST			
Signature					
Name	VIVEK PRABHAKAR GHODKE				
Designation	Assistant Commissioners of State Tax				
Jurisdictional Office	PRINCESS_DOCK_602				
9. Date of issue of Certificate	03/01/2023				
Note: The registration certificate is required to be prominently displayed at all places of Business/Office(s) in the State.					

This is a system generated digitally signed Registration Certificate issued based on the approval of application granted on 03/01/2023 by the jurisdictional authority.



Sanjay



Details of Additional Place of Business(s)

GSTIN 27AACCK3286HIZE
Legal Name KAYBEE DEVELOPERS PRIVATE LIMITED
Trade Name, if any KAYBEE DEVELOPERS PVT LTD
Additional trade names, if any


Total Number of Additional Places of Business(s) in the State 0





GSTIN 27AACCK3286H1ZE
Legal Name KAYBEE DEVELOPERS PRIVATE LIMITED
Trade Name, if any KAYBEE DEVELOPERS PVT LTD
Additional trade names, if any

Details of Managing / Whole-time Directors and Key Managerial Persons

	Name	KARANVEER SINGH GURINDERSINGH BAWA
	Designation/Status	DIRECTOR
	Resident of State	Maharashtra





भारतीय विशिष्ट औद्योगिक प्राधिकरण
भारत सरकार
Unique Identification Authority of India
Government of India

नोंदविण्याचा क्रमांक / Enrollment No 1177/70053/06038

To,
करनवीर मिश्र बाबा
Karanveer Singh Bawa
22 Guru Angad Niwas
11th Road
Arogyanidhi Hospital Juhu Scheme
Mumbai
Juhu Mumbai Mumbai
Maharashtra 400049
9820032034

Ref: 99 / 05D / 147359 / 147545 / P



SH341944127DF



आपला आधार क्रमांक / Your Aadhaar No. :

5450 5928 8690

आधार — सामान्य माणसाचा अधिकार



भारत सरकार
GOVERNMENT OF INDIA



करनवीर मिश्र बाबा
Karanveer Singh Bawa
जन्म वर्ष / Year of Birth : 1978
पुरुष / Male



5450 5928 8690

आधार — सामान्य माणसाचा अधिकार



Karanveer Singh Bawa
K

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

KARANVEERSINGH GURINDERSINGH
BAWA
GURINDERSINGH PARTAPSINGH BAWA

05/10/1978

Permanent Account Number

AEJPB8768B

Karanveersingh

Signature



04/02/2018



Karanveersingh



भारत सरकार
Government of India



गुरिंदर कौर तपिंदर सिंग मुलतानी
Gurinder Kaur Tapinder Singh Mul
जन्म तारीख/DOB: 10/01/1963
महिला/ FEMALE

2749 8745 5721

मेरा आश्वासन, मेरी पहचान



Gurinder

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

गुरिंदरकौर टी मुल्तानी
GURINDERKAUR T MULTANI

गुरचरान सिंह मुल्तानी
GURCHARAN SINGH MULTANI

10/01/1963
Permanent Account Number
ARSPM3502G

Gurinder
Signature

भारत सरकार
GOVT. OF INDIA



2012097



Gurinder

SBI - Bawa Shastriyan Project KYC Purpose only.



James



501

**FRESH CERTIFICATE OF INCORPORATION
CONSEQUENT ON CHANGE OF NAME**

No. 11 - 133642

IN THE OFFICE OF THE REGISTRAR OF COMPANIES, MAHARASHTRA,

MUMBAI

In the matter of **KAYBEE DEVELOPERS & BUILDERS PRIVATE LIMITED**

I hereby approve and signify in writing under Section 21

of the Companies Act, 1956 (Act of 1956) read with the

Government of India, Ministry of Company Affairs,

Notification No. G.S.R. 507E dated the 24th June 1985 the

change of name of the Company

from **KAYBEE DEVELOPERS & BUILDERS PRIVATE LIMITED**

to **KAYBEE DEVELOPERS PRIVATE LIMITED**

and I hereby certify that **KAYBEE DEVELOPERS & BUILDERS**

PRIVATE LIMITED

which was originally incorporated on

11th

day of

October 2001 under the Companies Act, 1956 and under the name

KAYBEE DEVELOPERS & BUILDERS PRIVATE LIMITED

duly passed the necessary resolution in terms of section 21(2)(1)

(a)/22(1)(b) of the Companies Act, 1956 the name of the said

Company is this day changed to

KAYBEE DEVELOPERS PRIVATE LIMITED

and this

certificate is issued pursuant to Section 23(1) of the said Act

Given under my hand at MUMBAI the

5th

2005

day of MAY

S. A. SAJEEVAN

ASST. Registrar of Companies

Maharashtra, Mumbai



KAYBEE DEVELOPERS PVT. LTD.
CIN: U45201MN2001PTC133642

DIRECTOR

MOA /
AOA

THE COMPANIES ACT, 1956

COMPANY LIMITED BY SHARES

MEMORANDUM OF ASSOCIATION

OF

KAYBEE DEVELOPERS PRIVATE LIMITED

- I. The name of the Company is **KAYBEE DEVELOPERS PRIVATE LIMITED**
- II. The Registered Office of the Company will be situated in the State of Maharashtra i.e. within the jurisdiction of Registrar of Companies, Maharashtra at Mumbai.
- III. The Objects for which the Company is established are :

(A) THE MAIN OBJECTS OF THE COMPANY TO BE PURSUED BY THE COMPANY ON ITS INCORPORATION :

1. To carry on the business of builders, contractors, erectors, constructors of buildings, houses, apartments structures or residential, office, industrial, institutional or commercial or developers of housing schemes, townships, holiday resorts, motels and in particular preparing of building sites, constructing, reconstructing, erecting, altering, improving, enlarging, developing, decorating, furnishing and maintaining of structures, flats, houses, factories, ships, offices, garages, warehouses, buildings works, workshops, hospitals, nursing homes, clinics, godowns and other commercial, educational purposes and conveniences to purchase for development, houses, buildings, structures and other properties of any tenure and any interest therein and purchase, sell and deal free-hold and lease-hold and in purchase, sell, lease, hire, exchange or otherwise deal in land and house property and other property whether real or personal and to turn the same into account as may seem expedient and to carry on business as developers of land buildings immovable properties and real estates by constructing, reconstructing, altering, improving, decorating, furnishing and maintaining offices, flats, house, factories, warehouses, shops, wharves, building, works and conveniences and by consolidating, connecting and sub-dividing immovable properties and by leasing and disposing off the same.

* Name changed to Kaybee Developers Private Limited vide special resolution passed at extra ordinary general meeting on 12th October, 2004.

KAYBEE DEVELOPERS (PVT.) LTD.
CIN : U45201MH2001PTC133612

[Signature]
DIRECTOR

We, the several persons whose names, addresses and descriptions are hereinunder subscribed below, are desirous of being formed into a Company, in pursuance of this **MEMORANDUM OF ASSOCIATION** and we respectively agree to take the Number of shares in the Capital of the Company set opposite to our respective names.

Name, Address, Description and Occupation of the Subscribers	No. of Equity Shares taken by each Subscriber	Signature of Subscribers	Signature of Witness, his name, address, description & occupation
<p>MR. GURINDER SINGH BAWA</p> <p>S/o Pratap Singh Bawa Bungalow No. 22, Guru Angad Niwas, 11 th Road, JVPD Scheme, Mumbai - 400 049. BUSINESS</p>	<p>5000 (Five Thousand only)</p>	<p>Sd/-</p>	<p>Sd/ NARAYAN R. JOSHI S/o. Ratnakar N. Joshi 2, Narendra Apartments, Old Nagardas Road, Andheri (East), Mumbai - 400 069. COMPANY SECRETARY</p>
<p>MR. KARANVEER SINGH BAWA</p> <p>S/o. Gurinder Singh Bawa Bungalow No. 22, Guru Angad Niwas, 11th Road, JVPD Scheme, Mumbai - 400 049. BUSINESS</p>	<p>5000 (Five Thousand only)</p>	<p>Sd/-</p>	
<p>TOTAL</p>	<p>..... 10000 (Ten Thousand only)</p>	<p>WITNESS TO ALL</p>	

Mumbai, Dated this, 11th day of October, 2001

KAYBEE DEVELOPERS PVT. LTD.
CIN : U45201MH2001PTC171112
[Signature]
DIRECTOR

THE COMPANIES ACT, 1956

COMPANY LIMITED BY SHARES

ARTICLES OF ASSOCIATION

OF

KAYBEE DEVELOPERS PRIVATE LIMITED

1. Subject as hereinafter otherwise provided, the regulations contained in Table 'A' in the Schedule I of the Companies Act, 1956, shall apply to this company so far as they have been impliedly or expressly modified except so far as they have been impliedly or expressly modified by what is contained in the Articles hereinafter mentioned.
2. The Company is a Private Company within the meaning of Section 3(1)(iii) of the Companies Act, 1956, and accordingly:
 - (a) The number of members of the Company (exclusive of persons who are in the employment of the Company and persons who having been formerly in the employment of the Company, and were members of the Company while in that employment and have continued to be members after the employment ceased) shall not exceed fifty, but where two or more persons hold one or more shares in the company jointly they shall for the purpose of this paragraph be treated as a single member.
 - (b) Any invitation to the public to subscribe for any shares in or debentures of the company is hereby prohibited; and
 - (c) The right to transfer of shares of the company is restricted as hereinafter provided.
 - (d) Prohibits any invitation or acceptance of deposits from person other than its members, directors or their relatives.
 - (e) The paid up capital of the company shall be minimum Rs. 1,00,000/- (Rs. One Lakh only)

KAYBEE DEVELOPERS PVT. LTD.
CIN 1145201M

[Signature]
DIRECTOR

We, the several persons whose names, addresses and descriptions are mentioned below, are desirous of being formed into a Company, in pursuance of this **ARTICLES OF ASSOCIATION**.

Name, Address, Description and Occupation of the Subscribers	Signature of Subscribers	Signature of Witness, his name, address, description & occupation
<p>MR. GURINDER SINGH BAWA</p> <p>S/o Pratap Singh Bawa Bungalow No. 22, Guru Angad Niwas, 11 th Road, JVPD Scheme, Mumbai - 400 049. BUSINESS</p> <p>MR. KARANVEER SINGH BAWA</p> <p>S/o. Gurinder Singh Bawa Bungalow No. 22, Guru Angad Niwas, 11th Road, JVPD Scheme, Mumbai - 400 049. BUSINESS</p>	<p>Sd/-</p> <p>Sd/-</p>	<p>Sd/ NARAYAN R. JOSHI S/o. Ratnakar N. Joshi 2, Narendra Apartments, Old Nagardas Road, Andheri (East), Mumbai - 400 069. COMPANY SECRETARY</p> <p>WITNESS TO ALL</p>

Mumbai, Dated this, 11th day of October, 2001

KAYBEE DEVELOPERS PVT. LTD.
CIN : U45201MH2001PTC133642

Rajesh Men
DIRECTOR

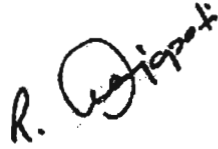
CREDAI - MCHI ←

Maker Bhavan – II, 4th Floor, 18, V. Thackersey Marg, New Marine Lines, Mumbai – 400 020.
Tel: 42121421, Fax : 42121411/ 407 • Email : secretariat@mchi.net • Website : www.mchi.net

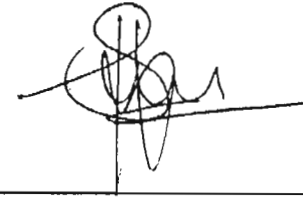
We are pleased to inform you that your RERA Project Membership has been approved with SRO - CREDAI-MCHI. This membership is entitled and restricted only to RERA related services. *

Company Name : Kay Bee Developers Pvt. Ltd.
Project Name : Bawa Aashiyaan - Phase I
Representative : Rajeev D Singh

Under Membership Category	:	RERA Project Membership
Date of Issuance of Membership	:	22 June 2020
Membership Number	:	RPM/MCHI/519000/MUM/423



Chairman SRO - CREDAI-MCHI



Head Secretariat, CREDAI-MCHI

* This RERA Project Membership shall not be part of CREDAI-MCHIs' Life, Patron, Corporate, Elementary, Ordinary and Associate Membership. RPM fee will be valid until the project completion date as indicated on MahaRERA Portal/ SRO Application Form. In case of extension of the project, RPM fee needs to be renewed.

SRA/ENG/3241/GN/GL/AP

03 JAN 2022


This C.C. is further extended upto 20th floor i.e. full height including LMR & OHWT of wing 'A' & 'B' and only R.C.C. frame structure upto full height i.e. 21st(pt) floor including LMR & OHWT with finishing work upto 16th upper floor of wing 'C' & 'D' as per amended plan dated 03/12/2021.


Executive Engineer
Slum Rehabilitation Authority

SRA/ENG/3241/GN/GL/AP

09 FEB 2024

This C.C. is further extended for entire work i.e. C.C. upto 21st(pt.) floor of wing C & D as per amended plan dated 10/11/2023.


Executive Engineer
Slum Rehabilitation Authority



S. V. Thakker & Associates

Associate
Hiren S. Thakker
b.e. (civil) a.m.c.e.

Architects, Surveyor & Valuer
Late Satyendra V. Thakker
b.e. (civil) a.m.c.e. (Lon) Miah
Registered Architect No. MCA 75/1575
Govt. Approved Valuer CAT I / 711

335, 337, Kailas Plaza, Vallabh Baug Lane, Ghatkopar (E), Mumbai - 400 075.
Tel.: 2501 4051 • 2501 6427 • Email: svtarchitects@yahoo.com / hstarchitects@gmail.com

Ref. No. :

Date : 23.01.2024

Annexure A
FORM 1

[see Regulation 3]

LICENSED SURVEYOR'S CERTIFICATE

(To be submitted at the time of Registration of Ongoing Project and for withdrawal of Money from Designated Account)

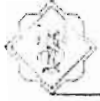
To,
The Kay Bee Developers Pvt. Ltd.
Hotel Bawa International,
Nehru Road Extension,
Vile Parle East,
Mumbai - 400099.

Subject : Certificate of Percentage of Completion of Construction Work of Composite Sale Building No. 3 of the Project known as "**BAWA AASHIYAAN Phase 2 - wing C & D**" having Maha RERA Registration Number: **P51900033922** being developed by **Kay Bee Developers Pvt. Ltd.**

Sir,

I Shri, Hiren S. Thakker of M/s. S. V. Thakker & Associates have undertaken assignment as Licensed Surveyor of certifying Percentage of Completion of Construction Work of '**BAWA AASHIYAAN Phase-2**', having Maha RERA Registration Number **P51900033922** being developed by M/s Kay-Bee Developers Pvt. Ltd. the Promoter.

Based on Site Inspection, with respect to layout / each of the building / wing of the aforesaid Real Estate Project, I certify that as on the date of this certificate, the percentage of work done for each of the building / wing of the Real Estate Project under Maha RERA is as per Table A herein below. The percentage of the work executed with respect to each of the activity of the entire phase is detailed in Table B.



S. V. Thakker & Associates

Associate
Hiren S. Thakker
B.E. (Civil) A.M.I.E

Architects, Surveyor & Valuer
Late Sulyendra V. Thakker
Beneficialias (Lon) Mians
Registered Architect No. MCA 75/1575
Govt. Approved Valuer CAT 1/711

335, 337, Kailas Plaza, Vallabh Baug Lane, Ghatkopar (E), Mumbai - 400 075.
Tel.: 2501 4051 • 2501 6427 • Email: svtarchitects@yahoo.com / hstarchitects@gmail.com

Ref No

Date

2

Table – A
Composite Sale Building No. 3
'BAWA AASHIYAAN Phase 2'

Sr. No (1)	Tasks /Activity (2)	Percentage of Actual Work Done (As on date of the Certificate) (3)
1	Excavation	100%
2	1 number of basement and plinth (RCC)	100%
3	1 stilt floor (RCC)	100%
4	5 Podiums	100%
5	15 number of slabs of super structure (15 RCC slabs)	100%
6	Internal walls, Internal Plaster, Floorings within flats / premises, Doors and Windows to each of the Flat / Premises	90%
7	Sanitary Fittings within the Flat / Premises, Electrical fittings within the Flat / Premises.	32.5%
8	Staircases, Lifts Wells and Lobbies at each Floor level connecting staircases and lifts, Overhead and Underground Water Tanks	50%
9	External plumbing and external plaster, Elevation, completion of terraces with waterproofing of the building / wing.	6.26%
10	Installation of lifts, water pumps, Fire Fighting Fittings and Equipment as per CFO NOC, Electrical fittings, mechanical equipment, compliance to conditions of environment / CRZ NOC, Finishing to entrance lobby/s, plinth protection, paving of areas appurtenant to building / wing, compound wall and all other requirements as may be required to obtain Occupation / Completion Certificate.	0%

CP



S. V. Thakker & Associates

Associate
Hiren S. Thakker
B.E. (Civil) A.M.I.E.

Architects, Surveyor & Valuer
Late Satyendra V. Thakker
Believe/Valias (Lon) Maharashtra
Registered Architect No. MCA 75-1575
Govt. Approved Valuer CAT I / 711

335, 337, Kailas Plaza, Vallabh Baug Lane, Ghatkopar (E), Mumbai - 400 075.
Tel.: 2501 4051 • 2501 6427 • Email: svtarchitects@yahoo.com / hstarchitects@gmail.com

Ref No.

3

Date

TABLE - B
Common Areas (Internal & External Development Works) in respect of the entire Registered
Phase / Project Number

S No (1)	Common areas and Facilities (2)	Proposed (Yes/No) (3)	Percentage of Work done (As on date of certificate) (4)	Details (5)
1.	Internal Roads & Footpaths	Yes	50%	
2.	Water Supply	Yes	0%	
3.	Sewerage (chamber, lines, Septic Tank, STP)	Yes	25%	
4.	Storm Water Drains	Yes	0%	
5.	Landscaping & Tree Planting	Yes	0%	
6.	Street Lighting	Yes	0%	
7.	Community Buildings	No	NA	
8.	Treatment and disposal of sewage and sullage water	Yes	0%	
9.	Solid Waste management & Disposal	Yes	0%	
10.	Water conservation / Rain water harvesting	Yes	0%	
11.	Energy management	Yes	0%	
12.	Fire protection and fire safety requirements	Yes	0%	
13.	Electrical meter room, sub-station, receiving station	Yes	15%	
14.	Aggregate area recreational open space	Yes	0%	
15.	Open Parking	No	NA	

Thanking you,

Yours faithfully,



Agreed and Accepted by:

Hiren S. Thakker

Hiren S. Thakker

HIREN S. THAKKER of
M/s. S. V. THAKKER & ASSOCIATES
(License No. T/107/L.S.)

Kay Bee Developers Pvt. Ltd.

Date: 23rd January 2024

SHAH & SANGHAVI (Regd.)
ADVOCATES, SOLICITORS
& IPR LAWYERS

OFFICE NO. 114/115, 11TH FLOOR,
MITTAL COURT, 'A' WING,
NARIMAN POINT, MUMBAI - 400 021.

PHONES : 2285 57 55/56
2285 35 92/93
FAX : 91-22-2284 5040
E-mail : info@snsattorneys.com

FORMAT - A

(Circular No.:- 28/2021)

TO,
MAHARERA,
6th and 7th Floor, House Fin Bhavan,
BKC, BANDRA EAST,
MUMBAI-400051.

LEGAL TITLE REPORT

Sub: Title clearance certificate with respect to

(i) All that piece or parcel of land lying and being at Dharavi Main Road, Dharavi Division, V.K. Wadi, bearing C.T.S. No. 344 (part) admeasuring 6682.89 mtrs, equivalent to 7992.67 Sq. yds., as per records in the registration District and Sub District of Mumbai city and Mumbai Suburban.

AND

(ii) All that piece or parcel of land lying and being at Dharavi Main Road, Dharavi Division, V.K. Wadi, bearing CTS No. 343 (pt) admeasuring 254.41 sq. mtrs. equivalent to 304.27 Sq. yds. in the registration District and Sub District of Mumbai city and Mumbai Suburban

We have investigated the title of the said properties on the request Kay Bee Developers Private Limited and the following documents i.e :-

1) **Description of the property**

All that piece or parcel of land lying and being at Dharavi Main Road, Dharavi Division, V.K. Wadi, bearing C.T.S. No. 344 (part) admeasuring 6682.89 mtrs, equivalent to 7992.67 Sq. yds., as per records in the registration District and Sub District of Mumbai city and Mumbai Suburban.

Boundary as follows:

On or Towards the North : C. S. No. 345 (Johnson & Johnson)

On or Towards the South : C. S. No. 335 (Mahomed Maasi
Mahomed Saffi)


For Shah & Sanghavi

On or Towards the West : C. S. No. 343 (Government Land)

On or Towards the East : 30.40 M wide DP Road
(Dharavi Road)

And

All that piece or parcel of land lying and being at Dharavi Main Road, Dharavi Division, V.K. Wadi, bearing CTS No. 343 (pt) admeasuring 254.41sq. mtrs. equivalent to 304.27 Sq. yds. in the registration District and Sub District of Mumbai city and Mumbai Suburban

On or towards the North : Mahim Creek

On or towards the South : C. S. No. 344

On or towards the East : Mahim Creek

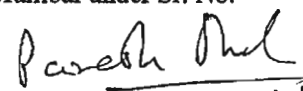
On or Towards the West : C. S. No.338

2) **The documents of allotment of plot**

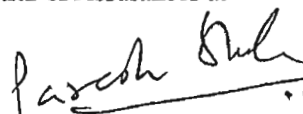
- a) Notification dated 23rd September, 1999 published in the Government Gazette dated 23rd September 1999.
- b) Papers and proceedings of Writ Petition No. 843 of 2000 filed in the High Court of Judicature at Bombay.
- c) Order dated 3rd October, 2000 passed in Bombay High Court Writ Petition No. 843 of 2000.
- d) Papers and proceedings of Appeal No. 1024 of 2000 from Bombay High Court Writ Petition No. 843 of 2000.
- e) Order/ Judgment dated 11th March, 2002 passed in Appeal No. 1024 of 2000 from Bombay High Court Writ Petition No. 843 of 2000.
- f) Certificate of Incorporation of SRA Ashra Co-operative Housing Society Ltd. bearing Registration No. MUM (SRA) HSG (TC) 10613/2001 dated 2nd August, 2001.
- g) Photocopy of Resolution dated 13th August, 2006 passed at Annual General Body Meeting of SRA Ashra Co-operative Housing Society Ltd.


For Shah & Sanghavi

- h) Notice of termination dated 5th September, 2006 issued by SRA Ashra Co-operative Housing Society Ltd. of the Development Agreement dated 10th May, 1998 entered into by and between SRA Ashra Co-operative Housing Society Ltd. and the Matrukrupa Developers Pvt. Ltd.
- i) Resolution dated 13th August, 2006 passed by SRA Ashra Co-operative Housing Society Ltd. appointing Kay Bee Developers Pvt. Ltd. as the Developers.
- j) Development Agreement dated 5th September, 2006 registered with the office of the Sub-Registrar of Assurances at Mumbai under Serial No. BBE2-11967 of 2006 on 5th January, 2007 executed between SRA Ashra Co-operative Housing Society Ltd. (the Society) and Kay Bee Developers Private Limited (the Developers).
- k) Deed of Modification dated 21st September, 2008 registered with the office of the Sub-Registrar of Assurances at Mumbai under Serial No. BBE3-7753-2008 on 22nd October, 2008 executed between SRA Ashra Co-operative Housing Society Ltd. (the Society) and Kay Bee Developers Private Limited (the Developers).
- l) Power of Attorney dated 5th September, 2006 executed by SRA Ashra Co-operative Housing Society Ltd.
- m) Order dated 12th April 2007 passed by the OSD/DRP Slum Rehabilitation Authority, terminating the permissions and the LOI granted to Matrukrupa Developers Pvt Ltd.
- n) Letter dated 24th May 2007 passed by the Slum Rehabilitation Authority appointing Kay Bee Developers Private Limited as the Developers.
- o) Papers and proceedings of Bombay High Court Writ Petition No. 1663 of 2008 and Order dated 4th June, 2008 passed therein.
- p) Deed of Mortgage dated 17th May, 2011 registered with the office of the Sub-Registrar of Assurances at Mumbai under Sr. No.


For Shah & Sanghavi

- BBE3/45555/2011 on 23rd May, 2011 executed between Hotel Bawa International Pvt. Ltd., (the Mortgagors), M/s. Kay Bee Developers Pvt. Ltd., (the Borrower) and The Punjab & Maharashtra Co-operative Bank Ltd. (the Mortgagee).
- q) Deed of Re-Conveyance dated 26th August, 2016 registered with the office of Sub-Registrar of assurances at Mumbai under Sr. No. BBE4-4531 of 2016 executed between The Punjab & Maharashtra Co-operative Bank Ltd. (the Releasor/Bank), Hotel Bawa International Pvt. Ltd. (the Releasee No.1) and M/s. Kay Bee Developers Pvt. Ltd. (the Releasee No.2).
- r) Agreement dated 21st June, 2010 registered with the office of the Sub-Registrar of Assurances at Mumbai under Sr. No. BBE-2/5686 of 2010 on 14th July, 2010 executed between SRA Ashra Co-operative Housing Society Ltd. (the said Society), Mr. Fakruddin T. Malid, (the said Fakruddin) and Kay Bee Developers Pvt. Ltd. (Kay Bee).
- s) Letter of Intent dated 11th March, 2008, 6th December, 2008, 11th May, 2015, 31st May, 2018 and 13th October, 2021.
- t) Layout Approval of the scheme on 26th October, 2015.
- u) Letter bearing no. CSLR/S&LR-2/Table-7/Dharavi/M.R. No. 12/09/459 dated 18th July, 2009 from CSLR.
- 3) (a) Property card issued by City Survey Office No.1/2 Mumbai on 20th January, 2022 in respect of C.T.S. No. 344 (part) admeasuring 6682.89 mtrs, equivalent to 7992.67 Sq. yds.,
- (b) Property card issued by City Survey Office No.1/2 Mumbai on 3rd August, 2018 in respect of CTS No. 343 (pt) admeasuring 254.41 sq. mtrs. equivalent to 304.27 Sq. yds.
- 4) Search reports for search undertaken with the office of the Sub-Registrar of Assurances at Mumbai (Manual Index) for the period 1936 to 2015, with the Office Sub-Registrar of Assurances at


For Shah & Sanghavi

Mumbai-I & II (Computerized Index) for the period 2002 to 2022, with the office of the Sub-Registrar of Assurances at Mumbai-III (Computerized Index) for the period 2007 to 2022, with the office of the Sub-Registrar of Assurances at Mumbai-IV & V (Computerized Index) for the period 2012 to 2022.

- 5) On perusal of the above mentioned documents and all other relevant documents relating to the title of the captioned property we are of the opinion the title of the Owner is clear, marketable and without any encumbrances and By reason of the Development Agreement dated 5th September, 2006 read with Deed of Modification dated 21st September, 2008 Kay Bee Developers Private Limited are entitled to re-develop the aforestated properties.

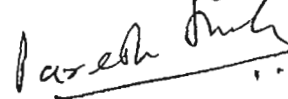
Owners of the land as Per Revenue records

- (i) Government of Maharashtra: C.T.S. No. 344 (part) admeasuring 6682.89 mtrs, equivalent to 7992.67 Sq. yds.
- (ii) Government of Maharashtra: CTS No. 343 (pt) admeasuring 254.41 sq. mtrs. equivalent to 304.27 Sq. yds
- 6) The Report reflecting the flow of the title of the Owner and the Developers on the captioned property is enclosed herewith as Annexure.

Encl : Flow of Title dated 8th March, 2022

Dated this 8th day of March, 2022.

For M/s. Shah & Sanghavi



Partner

SHAH & SANGHAVI (Regd.)
ADVOCATES, SOLICITORS
& IPR LAWYERS

OFFICE NO. 114/115, 11TH FLOOR,
MITTAL COURT, 'A' WING,
NARIMAN POINT, MUMBAI - 400 021.

PHONES : 2285 57 55/56
2285 35 92/93
FAX : 91-22-2284 5040
E-mail : info@snsattorneys.com

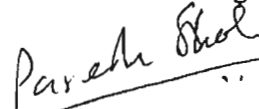
Format A
(Circular No. 28/2021)

FLOW OF THE TITLE OF THE SAID LAND

1. 7/12 extract/ P.R.Card as on date of application for registration:
 - (a) Property card issued by City Survey Office No.1/2 Mumbai on 20th January, 2022 in respect of C.T.S. No. 344 (part) admeasuring 6682.89 mtrs, equivalent to 7992.67 Sq. yds.
 - (b) Property card issued by City Survey Office No.1/2 Mumbai on 3rd August, 2018 in respect of CTS No. 343 (pt) admeasuring 254.41 sq. mtrs. equivalent to 304.27 Sq. yds.
2. Mutation Entry No...: NIL
3. Search reports for search undertaken with the office of the Sub-Registrar of Assurances at Mumbai (Manual Index) for the period 1936 to 2015, with the Office Sub-Registrar of Assurances at Mumbai-I & II (Computerized Index) for the period 2002 to 2022, with the office of the Sub-Registrar of Assurances at Mumbai-III (Computerized Index) for the period 2007 to 2022, with the office of the Sub-Registrar of Assurances at Mumbai-IV & V (Computerized Index) for the period 2012 to 2022.
4. Any other relevant title : NIL
5. Litigation if any : NIL

Dated this 8th day of March, 2022

For M/s. Shah & Sanghavi



Partner

FIRE-HOC

MUNICIPAL CORPORATION OF GREATER MUMBAI
MUMBAI FIRE BRIGADE

Office of the Dy. Chief Fire Officer (R-II), Wadala Fire Station, Shaikh Mistry Dargah road, C.G.S. Colony, Opp. MHADA Colony, Antop Hill, Wadala, Mumbai-400 037. Telephone No. 24132058 Fax No. 24153027.

No.: FB/HR/47

Date: 17/06/2021

Office of the Dy. Chief Fire Officer (Region-2)
Mumbai Fire Brigade
Wadala Command Center Building,
1st Floor, Shaikh Mistry Darga Road,
Antop Hill, Mumbai-400 037.

Sub: Stipulating fire protection & fire-fighting requirements for proposed construction of high-rise commercial cum residential sale building no.3 on plot bearing C.S. no. 344(Pt), 343(Pt) & 335(Pt) of Dharavi Division, G/N ward at V. K. Wadi, Dharavi main road, Dharavi, Mumbai-400 017.

- Ref:** 1. Application submitted by Shri. H.S. Thakker, Architect, dated 19.06.2021.
2. MFB No. FB/HR/47, dated 09.06.2021.
3. Corrected plans submitted on 15.06.2021.

M/s. S. V. Thakker & Associates;

This is a proposal for the proposed construction of high-rise commercial cum residential sale building no. 3 comprising of four wings i.e., Wing A, B (Phase-1) & Wing C, D (Phase 2), having Part basement (-5.56mtrs) for services + common ground floor + further Wing A, B (Phase-1) having 1st to 3rd floors for commercial units with separate staircase + 4th floor for two wheeler parking by way of 4.00mtrs wide one way ramp + 5th floor for service slab + 6th to 20th residential floors with a total height of 65.50mtrs from general ground level up to terrace level. And Wing C, D (Phase-2) having 1st to 5th podium floors for surface car parking by way of 02nos of car lifts and 3.60mtrs wide one way ramp + 6th podium floor for fitness center, society office, R.G. + 7th to 20th upper residential floors with a total height of 66.85mtrs from general ground level up to terrace level, as shown on plans.

Part Basement (-5.56mtrs):

Licensed Surveyor has proposed single basement in Wing C, D (Phase-2) used for services. Natural ventilation to the basement is provided through cut outs, side ventilators in addition mechanical ventilation shall be provided.

Podiums Floors: Licensed Surveyor has proposed 05podium floors for surface car parking accessible by way of 02nos of car lifts and 3.60mtrs wide one way ramp. Podium floors extended beyond the building line on two sides as shown on plans.

The floor-wise user of the building is as under:

Floors	Occupancy as per floor			
	Phase-1		Phase-2	
	Wing A	Wing B	Wing C	Wing D
(1)	(2)	(3)	(4)	(5)
Part Basement (-5.56mtrs)	NA		Fire-fighting tanks, domestic tank, flushing tank, pump room, STP plant, OWC plant.	
Ground floor	15 Nos. of shops, Meter room and entrance lobby.		Entrance Lobby, rehab, two tier stack car parking, electric sub-station, D.G set, L.V Room & Common Toilet Block.	

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(1)	(2)	(3)	(4)	(5)
1st to 2nd Podium	04nos of commercial units		Surface car parking by way of 02nos of car lifts and 4.00mtrs wide ramp	
3rd Podium	03nos of commercial units, meter room		Surface car parking by way of 02nos of car lifts and 3.60mtrs wide ramp & drivers' toilet.	
4th Podium	Two-wheeler parking spaces.		Surface car parking by way of 02nos of car lifts and 3.60mtrs wide ramp, meter room, OHT for shops & Commercial area and divers Toilet.	
5th Podium	Service slab		Surface car parking by way of 02nos of car lifts and 3.60mtrs wide ramp.	
6th Podium	04nos of flat	04nos of flat	Fitness centers, society office, R.G.	
7th & 14th floors	03nos of flats in each wing & Common Refuge Area		03nos of flats in each wing & Common Refuge Area	
8th to 13th & 15th to 20th floors	04nos of flats	04nos of flats	04nos of flats	04nos of flats

The details of staircase & lifts for each wing are as follows:

Wings	Staircase description	Width of staircase	Nos. of staircase
A	Leading from ground to terrace floor	1.50mtrs	01no.
B	Leading from ground to terrace floor	1.50mtrs	01no.
B	Leading from ground to 3 rd floor (separate for commercial users)	1.50mtrs	01no.
C	Leading from basement to terrace floor	1.50mtrs	01no.
D	Leading from basement to terrace floor	1.50mtrs	01no.

The proposed main staircases of each wing as shown in plans are enclosed type and adequately ventilated to outside air above ground level with smoke check lobby at basement & cut off lobby for entry to basement as shown on plan.

Lifts provided are as under;

Wings	Lifts Type	Profile	Nos. of lifts
A	Passenger lifts	Leading from ground to terrace floor	02nos.
B	Passenger lifts	Leading from ground to terrace floor	02nos.
B	Passenger lifts	Leading from ground to 3 rd floor	01no.
C	Passenger lifts	Leading from ground to terrace floor	02nos.
C	Passenger lifts	Leading from ground to 6 th floor	01no.
D	Passenger lifts	Leading from ground to terrace floor	02nos.

One lifts from each wing shall be converted into fire lift as per norms. The lift lobby & common corridor at each floor level is directly ventilated to outside air as shown on the plan.

The details of ramps:

No. of ramps	Width	Details
1	3.60mtrs	Leading from ground to 5 th podium floor.

Refuge area: Refuge area provided as under:

Wing	Refuge floor	Refuge area in sq. mtrs.		At the height from ground in mtrs.
		Required	Provided	
Wing A & B	7 th floor	94.15	94.85	23.50
	14 th floor	94.15	94.85	44.50
Common Refuge Area				
Wing C & D	7 th floor	95.07	96.09	24.85
	14 th floor	95.07	96.09	45.85
Common Refuge Area				
In addition to that, terrace of each wing shall be treated as refuge area.				
Refuge area calculation shall be verified by E.E.(SRA) as per rules & excess refuge area if any, shall be counted in F.S.I. as per amended DCR/DCPR-34.				

Open space:

The building abuts on 30.40mtrs. wide Dharavi main road East side & 9.00mtrs wide internal access road on North side.

Open spaces all around the building as under:

Sides	From building line to plot boundary		
	Building line to plot boundary	Building line to podium line	Podium line to plot boundary
North	Wing A & B - 9.00 mts. Wing C & D - 12.57 mts.	Wing A & B - Same as building line. (Podium only at 4 th Floor) Wing C & D - 3.57 mts.	Wing A & B - 9.00 mts (Podium only at 4 th Floor) Wing C & D - 9.00 mts.
South	Wing A & B - 6.00 mts. Wing C & D - 6.75 mts.	Wing A & B - Same as building line. (Podium only at 4 th Floor) Wing C & D - min. 3.23 mts. Max. - 12.90 mts. (Ramp portion)	Wing A & B - min. 4.20 mts Max - 9.28 mts (Podium at 4 th Floor) Wing C & D - min. 1.54 mts Max - 4.41 mts
East	Wing A & B - 3.00 mts. Wing C & D - Abutting wing A and B.	Wing A & B - Same as building line. (Podium only at 4 th Floor) Wing C & D - Abutting wing A and B.	Wing A & B - 3.00 mts. Wing C & D - Abutting wing A and B.
West	Wing A & B - Abutting wing C and D. Wing C & D - 9.00 mts.	Wing A & B - Abutting wing C and D. Wing C & D - 2.25 Mts.	Wing A & B - Abutting wing C and D. Wing C & D - More than 9 mts.

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The proposal has been considered favorably in view of the facts that:

- i) Proposed building abuts on 30.40mtrs. wide Dharavi main road East side & 9.00mtrs wide internal access road on North side which is accessible for fire appliance in case of emergency.
- ii) The building will be protected with advance in built fire-fighting system such as wet riser, hydrant system, fire alarm system & sprinkler system, smoke detection system etc.
- iii) The fire resistance rating for staircase F.R.D., flat entrance, kitchen door, each commercial units, Lift lobby / protected lobby & the lift doors as per N.B.C. provisions.
- iv) Efficient P.A. system is recommended for building with standard Building Management System.
- v) During construction stage and prior to final occupation party agreed to comply with additional requirements stipulated by Mumbai Fire Brigade Officer if any in future.

In view of above, as far as this department is concerned; there is no objection from fire safety point of view for the proposed construction of high-rise commercial cum residential sale building no. 3 comprising of four wings i.e., Wing A, B (Phase-1) & Wing C, D (Phase 2), having Part basement (-5.56mtrs) for services + common ground floor + further Wing A, B (Phase-1), having 1st to 3rd floors for commercial units with separate staircase + 4th floor for two wheeler parking by way of 4.00mtrs wide one way ramp + 5th floor for service slab + 6th to 20th residential floors with a total height of 65.50mtrs from general ground level up to terrace level. And Wing C, D (Phase-2) having 1st to 5th podium floors for surface car parking by way of 02nos of car lifts and 4.00mtrs wide one way ramp + 6th podium floor for fitness center, society office, R.G. + 7th to 20th upper residential floors with a total height of 66.30mtrs from general ground level up to terrace level, as shown on plans., signed in token of approval, subject to satisfactory compliance of the following requirements;

1. Access:

- a. All access & fire tender access should be free of encumbrances.
- b. Courtyards shall be flushed with the road levels.
- c. Entrance gate if provided shall be of not less than 6.00 meters width each shall be provided, at locations marked on the plan. Archways, if any over the entrance gates, shall have height clearance of not less than 4.50mtrs.
- d. There is no compound wall in between Road & building.

2. Protection to structural steel:

- i) All the structural steel members i.e., columns, beams etc. shall be protected with the 02 hours fire resisting materials and methods as stipulated under IS 1942-1960 as application for residential building.
- ii) A certificate to that effect that the fire resistance protection has been provided as above shall be furnished from the Structural Engineer as the time of application for occupying the building.

iv) Emergency lights shall be provided in the staircases/corridors.

7. Flat entrance, kitchen doors (if provided), entrance of each occupancy & exit / entrance staircase: (for each wing)

- i) Entrance of each occupancy, flat entrance and kitchen doors (if provided) shall be of solid core having fire resistance of not less than one hour (solid wood of 45 mm thickness.)
- ii) The fire resistance rating for staircase F.R.D., Lift lobby / protected lobby & the lift doors as per N.B.C. provisions.

8. Electric cable shafts, services & meter room: (for each wing)

- i) Electric cable shafts shall be exclusively used for electric cables and should not open in staircase enclosure.
- ii) Inspection doors for shafts shall have two hours fire resistance.
- iii) Electric shafts shall be sealed at each floor level with non-combustible materials such as vermiculite concrete. No storage of any kind shall be done in electric shaft.
- iv) Electric wiring/ cable shall be non-toxic, non-flammable, low smoke hazard having copper core / fire resistance for the entire building with provision of ELCB/MCB.
- v) Electric meter room shall be provided at location marked on the plan. It shall be adequately ventilated & easily accessible.
- vi) Low and medium voltage wiring running in shaft and in false ceiling should run in separate conduits;
- vii) Water mains, telephone lines, intercom lines, gas pipes or any other service line should not be laid in the duct for electrical cables; use of bus bar/solid rising mains instead of cables is preferred.
- viii) Preferably bus bar system shall be installed from ground to all upper floors main supply.
- ix) Separate circuits for firefighting pumps, lifts, staircases and corridor lighting shall be provided directly from the main switch gear panel and these circuits shall be laid in separate conduit pipes, so that fuse in one circuit will not affect the others. Such circuits shall be protected at origin by an automatic circuit breaker with its no-volt coil removed.
- x) Automatic smoke detector system shall be provided in each electric shaft on each floor along with response indicator which shall be connected to main console panel board on ground floor level and each floor level.
- xi) Master switches controlling essential service circuits shall be clearly labeled.

9. False ceiling (if provided): (for each wing)

False ceiling if provided in the building shall be of non-combustible material. Similarly, the suspenders of the false ceiling shall be of non-combustible materials.

10. Materials for interior decoration/furnishing: (for each wing)

The use of materials which are combustible in nature and may spread toxic

fume/gases should not be used for interior decoration/furnishing, etc.

11. Lifts:

A. Passenger lift: (for each wing)

- i) Walls enclosing lift shaft shall have a fire resistance of not less than 2hour.
- ii) Shafts shall have permanent vent of not less than 0.2 sq. mtrs in clear area immediately under the machine room.
- iii) Landing doors and lift car doors of the lifts shall be of steel shuttered with fire resistance of one hour. No collapsible shutter shall be permitted.
- iv) Fire lift shown in the plan shall be as per specifications laid down under the regulations, a toggle switch shall be provided to this lift for the use of Firemen.
- v) Threshold of non-combustible material shall be provided at the entrance of each landing door.

B. Fire lift: (for each wing)

- i) Walls enclosing lift shafts shall have two hours fire resistance.
- ii) The shafts shall have permanent vent equal 0.2sq.mtrs clear area under the Lift Machine room.
- iii) Landing doors and lift car doors shall be of steel shuttered type with one hour fire resistance. No collapsible shutters shall be provided.
- iv) To enable fire services personnel to reach the upper floor with the minimum delay, one fire lift shall be provided and shall be available for the exclusive use of the firemen in an emergency and the directly accessible to every dwelling of each floor.
- v) The lift shall have a floor area of not less than 1.4sq. mtrs with a minimum dimension of 1.12 mtrs. It shall have loading capacity of not less than 545kgs (8 persons lift) with automatic closing doors.
- vi) There shall be an alternate electric supply of an adequate capacity apart from the normal electric supply the building and the cables run in a route safe from fire, i.e., within the lift shaft. In case of failure normal electric supply, it shall automatically trip over to alternate supply.
- vii) The operation of fire lift should be by a simple toggle or two button switches situated in glass-fronted box adjacent to the lift at the entrance level. When the switch is on, landing call points will become inoperative and the lift will be on car control only or on priority control device. When the switch is off, the lift will return to normal working. This lift can be used by the occupants in normal times.
- viii) The words 'Fire lift' shall be conspicuously displayed in florescent paint on the lift landing door at each floor level & Threshold of non-combustible material shall be provided at the entrance of each landing door.

C. Car lift:

- i. All the structural steel members of the car lift well i.e., columns, beams etc. shall be protected with the fire resisting/ retardant materials and methods as stipulated under relevant IS specification. A certificate to that effect shall be furnished from chartered structural Engineer.

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- ii. The electrical cables used internally shall be fire retardant and heat resistant of capacity 105degree centigrade.
- iii. Emergency stop switch shall be installed inside the auto parking system at the top of the car lift, near the driving unit and on the main control panel for activation in case of any emergency, for the power cut off to the main motor and all operations to stop.
- iv. Blue & Red display lamps indicating whether system is ready to accept the car shall be installed at the entry point of the car. When the red lamp is on, car should not enter into the tower.
- v. Threshold of non-combustible material shall be provided at the entrance of each landing door.

12. Car parking:

- i) Car parking shall be permitted in the designated area.
- ii) Drainage of the car parking area of all the levels shall be laid independent from that of the buildings & it shall be provided with catch pit & fire trapped before connecting the building drainage or Municipal drainage.
- iii) Drainage of the car parking areas at all the levels shall be so laid as to prevent any overflow in the staircase, lift shaft etc.
- iv) The parking area shall not be used for dwelling purpose & repairing / maintenance purpose, at any time. Dwelling use of naked light/flame, repairing / maintenance of vehicles shall be strictly prohibited in the parking area.
- v) Repairing / servicing of cars, use of naked light shall not be permitted in the car parking areas.
- vi) The drive way shall be properly marked & maintained unobstructed
- vii) The Automatic Sprinkler System provided to the entire car parking area.

13. Basement: (-5.56mtrs)

- i) Basement shall be adequately ventilated. Vents with cross, sectional area (Aggregate) not less than 2.5 percent of the floor area spread evenly around the perimeter of the basement shall be provided in the form of grills or breakable stall boards lights or pavement lights or by way of shafts. Alternatively, a system of air inlets shall be provided at basement floor level and smoke outlets at basement ceiling level. Inlets and outlets may be terminated at ground level with stall boards or pavement lights as before but ducts to convey fresh air to the basement floor level shall have to be laid. Stall boards and pavement lights should be in position easily accessible to the fire Brigade personal and rescue teams and clearly marked 'SMOKE OUTLET' or 'AIR INLET' with an indication of area served at or near the opening.
- ii) The basement shall be used for designated purpose only as shown in the plan.
- iii) The basement shall be provided with natural ventilations through the ventilators, open cut outs as shown in the plan.
- iv) The staircase of the basement shall be of enclosed type and entry to basement areas shall be through two hours fire resistance self-closing door

provided in the enclosed wall of the staircase and through smoke check / cut off lobby. The smoke check / cut off lobby shall be mechanically pressurized.

- v) Mechanical ventilation shall be provided to the basement with 15 air changes per hour with an arrangement to accelerate the rate of air changes to 30 per hour in the event of a fire emergency.
- vi) The ducts of the mechanical ventilations system shall be of substantial metal gauge as per the relevant I.S. standard.
- vii) The operating switches of the mechanical ventilation shall be located in the fire control room with appropriate zonal indications.
- viii) Exhaust duct shall be provided to draw out exhaust at ground level of the basement.
- ix) Suitable signages shall be provided in the basement showing exit direction, way to exits etc.
- x) Automatic sprinkler system shall be provided in entire basement including ramp. This system shall be installed as per the standard laid down by T.A.C. and relevant I.S. specifications
- xi) Smoke check lobby/ cut off lobby, Staircases, common passages & escape routes of the entire building shall be painted with fire retardant paint.
- xii) One Dry Chemical Powder fire extinguisher ABC type of 06 kgs. capacity each shall be kept for every 100 sq. mtrs. area in basement.
- xiii) Staircase and lift lobby shall have illuminated by inverter operated exits signs with IP 54 enclosure. Luminance of the signages shall be such that they are visible from a distance of 12 to 16 meters.
- xiv) Ventilation system shall start automatically on actuation of detector provided in the basement area.
- xv) Exhaust duct, mechanical ventilation duct should not pass-through exit or entry.

14. Podium / car parking floors:

- i) All the sides of the stilted / covered car parking shall be kept open except parapet walls of not more than 0.75 meters.
- ii) Automatic sprinkler system to the entire parking floor & drencher system on the top of each podium floor shall be provided.
- iii) The driveways shall be properly marked and maintained unobstructed, proper illuminated signage shall be provided for escape route, ramps etc at prominent location.

15. Access ramps:

- i) The Access Ramp as shown in enclosed plan provided entry at the ground level.
- ii) The gradient of ramp shall not be steeper than 1:10.
- iii) The gradient of ramp shall not be steeper than 1:10. and bear the load of fire engines weighing up to 48 m. tones each with point load of 10 kgs / sq. cms.

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12/11/2024

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16. **FIRE FIGHTING REQUIREMENTS:**

a) **Under Ground Water Storage Tank: (common for all wings)**

Common underground water storage tank of 4,00,000 liters capacity shall be provided, as per the design specified in the rules with baffle wall and fire brigade collecting breaching. The layout of which shall be got approved from H.E.'s department prior to erection. The tank shall be connected to sprinkler system.

b) **Overhead Water Storage Tank: (for each wing)**

A tank of 30,000 liters capacity shall be provided on staircase shaft at the terrace level, the layout of which shall be got approved from H. E.'s departments prior to erection. The tank shall be connected to wet risers through a booster pump through a non-return valve gate valve.

c) **Wet- riser cum down comer: (for each wing)**

Wet riser cum down comer of internal dia. of 15cms of G.I. 'C' Class pipe shall be provided in the duct adjoining each staircase with double hydrant outlet & hose reel at each floor in such a way as not to reduce the width of the common corridor. Pressure reducing discs or orifices shall be provided at lower level, so as not to exceed the pressure of 5.5 kgs. per sq. cms. Wet riser shall be extended from basement to terrace / top floor level.

d. **Fire Service Inlet:**

- i) A fire service inlet on the external face of the building near the tank directly fronting the courtyards shall be provide to connect the mobile pump of the fire service to (a) The wet riser (b) Sprinkler system & (c) Double line sprinkler system/Water spray projector system
- ii) Breaching connection inlet shall be provided to refill U.G. tank.
- iii) Operating switches of fire pumps shall be also provided in glass fronted boxes at ground floor.

e. **Automatic Sprinkler System: (for each wing)**

Automatic sprinkler system shall be provided in entire building including in each habitable room of each flat at each floor level of each wing, in lift lobbies & common corridor at each floor level of each wing, each shops/commercial units, in entire basement including ramp & podium floors as per the standards laid down by T.A.C. or relevant I.S. specifications.

f. **Automatic Smoke Detection System: (for each wing)**

Automatic smoke detection system shall be provided in each shop/commercial units, electric meter room, lift machine room & in electric shaft at every floor level with response indicator; same should be connected to main consol panel on ground floor level, as per IS specification.

g. **Drencher System: (for all podiums)**

Drencher system should be provided on the periphery of the top of each podium floor of the building and should be connected to the main sprinkler

pump as per the standard laid down in relevant I.S. Specifications.

h. Fire pump, Sprinkler pump & Jockey pump (common for both wings) and Booster pump (Separate for each wing):

- i) Wet-riser cum down comer shall be connected to a fire pump at ground level of capacity of not less than 2400 liters/min. capable of giving a pressure of not less than 3.2 kgs/ sq. cms at the top most hydrant.
- ii) Booster pump of 900 liters/min. capacity giving a pressure of not less than 3.2 kgs./ sq. cms at the top most hydrant out let of the wet-riser shall be provided at the terrace level.
- iii) Sprinkler pump of suitable capacity along with jockey pump shall be provided for automatic sprinkler system.
- iv) Electric supply (normal) to these pumps shall be independent circuit.
- v) Operating switches for booster pumps shall be also provided in glass fronted boxes in lift lobbies on each floor at prominent place.
- vi) Operating switches of fire pumps shall be also provided in glass fronted boxes at ground floor.
- vii) All above pumps should be surface mounted or vertical turbine type (submersible pump not permitted) pump along with adequate size of pump room.

i. Stand by pump: Diesel operated stand pump shall be provided as per N.B.C.

j. External Hydrants:

Courtyard hydrants shall be provided at distance of 30.00mtrs each within the confines of the site of the wet riser-cum-down comer. Hose box with two non-percolating ISI marked hoses (length not less than 15mtrs) & branch shall be equally distributed on ground, all podium floors, entire shops/commercial unit area as well as on each floor of each wing near the hydrant outlet.

k. Alternate source of power supply:

An alternate source of L. V./H. V. supply from a separate sub-station OR as D.G. Set with appropriate change over switch shall be provided for fire pump, fire lift, staircase, corridor lighting circuits, sprinkler pump, jockey pump and fire alarm system, detector systems, etc. It shall be housed in a separate cabin.

l. Portable fire extinguishers:

- a. Dry chemical powder type fire extinguisher of 06kgs capacity having B.I.S. certification mark and two buckets filled with dry clean sand shall be kept at the entrance of each electric meter room as well as in each lift machine room.
- b. Dry chemical powder type fire extinguishers of 06kgs capacity having B.I.S. certification mark shall be kept for every 100 sq. mtrs area on each podium floors.
- c. Dry chemical powder type fire extinguisher of 06kgs capacity having B.I.S. certification mark shall be kept on each refuge area

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- d. Dry Chemical Powder fire extinguisher ABC type of 06kgs. capacity each shall be kept for every 100 sq. mtrs area in basement.
- e. Dry Chemical Powder fire extinguisher ABC type of 06 kgs. capacity each shall be kept in each shop/commercial unit and for every 100 sq. mtrs. area.
- m. **Fire-fighting requirements at the construction stage of building:**
Following fire protection arrangement shall be provided with the following fire protection measures shall be provided & same shall be maintained in good working condition at all the times.
 - a) Dry riser of minimum 10cms diameter pipe with hydrant outlets on the floor constructed with fire service inlet to boost the water in the dry riser & maintenance should be in accordance with good practice.
 - b) Drums of 200liters capacity filled with water & two fire buckets shall be kept on each floor for every 100sq. mtrs area.
 - c) Water storage tank of minimum 20,000liters capacity shall be kept at site ready to use in case of emergency, which may be used for other construction purpose also.
- n. **Public Address System: (for each wing)**
The building shall be provided with public address system as per the rules with main control operator at console panel at ground floor area.
- o. **Fire Alarm System: (for each wing)**
The building shall be provided with manual fire alarm system with main control panel at ground floor level and pill-boxes and hooters at each upper floor level. The layout of fire alarm system shall be in accordance with I.S. specification.
- p. **Signages: (for each wing)**
Self-glowing/fluorescent exit signs in green color shall be provided showing the means of escape for each wing.
- q. **Trained Occupiers & Security Staff:**
Occupiers & security staff of the building shall be trained in Fire prevention and to extinguish fire in initial stage, supervision on Maintenance of fire fighting system & portable extinguishers, Mock evacuation drills etc.
- r. **Panel Board Of Firefighting System:**
Fire alarm system, public address system, alternate supply, etc. panels shall be installed on ground floor at the location shown in the plans & which shall be manned 24 hrs.
- 17. **Fire drill/evacuation drills / plan:**
Fire Drills and evacuation drills shall be conducted regularly and log of the same shall be maintained.

18. Electric sub-station (dry type):

- a) Only dry type substation/transformers shall be installed.
- b) Entire installation of substation including switchgear room, capacitors, transformer etc. shall be confirmed to the Indian Electric Act/Rules in practice.
- c) Cables in the cable trenches shall be coated with fire retardant material.
- d) Automatic built-in circuit breakers shall be provided in the substation/transformer.
- e) The door of the sub-station shall be of two hours fire resistance.
- f) The capacity of the sub-station shall be as per service provider's requirement.
- g) All parts of switch gear and transformer are to be examined frequently and carefully for signs of overheating, tracking etc.
- h) The substation/transformer area shall be kept prohibited and no unauthorized person shall be allowed to enter in the area.
- i) Ventilation shall be provided at the ceiling level.
- j) H.V. /L.V. cable ducts shall be as per Indian Electricity Rules.
- k) The danger signage on the substation with the electric voltage load.
- l) Two dry chemical power type (Class ABC type) fire extinguishers of 09 kgs. Capacity each with BIS certification mark coupled with four buckets filled with dry clean sand and shall be kept on the sub-station.

19. D.G. set:

- i. D.G. Set with appropriate change over switch shall be provided for fire pumps, sprinkler pump, booster pump, staircase and corridor lighting circuits, manual fire alarm system & Fire lift.
- ii. For proposed D.G. Set acoustic enclosure will be provided for safe operation location provided in plan. Entire installation of D.G. Set shall be confirming to the Indian electrical act/rules & practice.
- iii. A deep tray shall be kept under the fuel tank of the D.G. Set to collect the spillage & same shall be disposed off daily without fail.
- iv. Cable in the cable trenches shall be coated with fire retardant material. Electrical wiring shall be having copper / aluminum core having the fire resistant and low smoke hazards cables for the entire building with the provision of ELCB/MCB.
- v. In electrical installation of the building shall be provided for vertical electrical shaft with feeder pillar box of a gap of every 24mtrs Height of the building.
- vi. Adequate air and ventilation for switchgear room is essential to prevent condensation of moistures.
- vii. The capacity of the D.G. Set shall be minimum 40KVA or as per load requirements.
- viii. The door of D.G set room shall be of two hours fire resistance.
- ix. D.G. Set shall be properly grounded.
 - x. Exhaust of D.G. Set shall not be directed in to the exit/entrance of any adjoining structure.
 - xi. Sand bed of 6 inches thickness shall be provided below D.G. Set.

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S. J. J. J.

- xii. Electrical cable of D.G. Set shall be FRLS type.
- xiii. Adequate quantity of diesel shall be stored in its original container near D.G. Set, away from electrical switches of source of ignition.
- xiv. Automatic built in circuit breaker shall be provided to the D.G. Set.
- xv. Rubber pad shall be provided to the D.G. Set for absorbed vibrations if any.
- xvi. The D.G. Set area shall be kept prohibited and no UN authorized shall be allowed to enter the area.
- xvii. Structural stability of the building regarding absorption of the vibration of D.G. Set shall be checked by Structural engineer before installation of the D.G. Set.
- xviii. Two foam type fire extinguishers of 9 ltrs capacity each with ISI certification mark coupled with 4 buckets filled with dry, clean sand shall be kept in the D.G. Set cabin.

20. Elevation features (If provided):

- i. Elevation features such as cornices (for windows, floor level and terrace level), ACP /GRC cladding for building, jali work, molding & railing for windows, jali work, windows, cornices for podiums shall be of non-combustible materials and it should not obstruct firefighting activities.
- ii. Supporting system and all framework used for peripheral cladding should be painted with fire retardant paint.
- iii. For the dead wall portion of the façade, same shall be 1 hour fire rated.
- iv. All material used for cladding/decorative purpose should be of non-combustible nature and be fire resistant as per NBC. Parapet wall for the proposed connecting terrace portion shall not exceed max. 1.5mt in ht.
- v. The proposed elevation features of the building shall be as per requirement stated in the circular no- CHE.ENG.DP/30449/GEN Dated 03.01.2017 & circular U/No- CHE/DP/95440/GEN Dated- 28.12.2016

21. Other noc / permissions:

Necessary permissions for addition & alteration / trade activity / interior work, etc. if any for the shops shall be obtained from competent Municipal Authorities & CFO's Department.

22. Refuge area: (for each wing as shown on plans)

- A. The Refuge area provided on 7th & 14th floor of each wing the building shall confirm to the following requirements:
 - i) The layout of refuge area shall not be changed / modified at any time in future.
 - ii) The refuge area shall be provided with railing parapet of 1.10mtrs height on open side and shall be sound construction.
 - iii) There shall not be any opening/s into the refuge area from any portion of the occupied premises.
 - iv) There shall not be segregated by brick masonry partition wall 9" thickness or concrete block wall of 6" thickness and access to the refuge area shall be gained through half an hour fire resistance self-closing door.

- v) The refuge area shall be earmarked exclusively for the use of occupants as temporary shelter and for the use of fire brigade or any other organization dealing with fire or other emergency when it occurs in the building and also for exercises / drills, if conducted by the Fire Brigade Department.
 - vi) The refuge area shall not be allowed to be used for any other purpose and it shall be responsibility of the owner / occupier to maintain the same clean and free of encumbrances and encroachments at all times.
 - vii) The entrance door to the refuge area shall be painted or fixed with a sign painted in luminous paint mentioning "REFUGE AREA IN CASE OF EMERGENCY".
 - viii) Adequate drinking water facility shall be provided in the refuge area.
 - ix) Adequate emergency lighting facility connected to the electric circuit to the staircase, corridor / passage etc. lighting shall be provided in the refuge area.
- B. The terrace of the building shall be treated as refuge area and shall be provided as under:**
- i) The entrance door to the refuge area shall be painted or fixed with a sign painted in luminous paint mentioning "REFUGE AREA IN CASE OF EMERGENCY".
 - ii) Adequate drinking water facility shall be provided in the refuge area.
 - iii) Adequate emergency lighting facility connected to the electric circuit to the staircase, corridor / passage etc. lighting shall be provided.

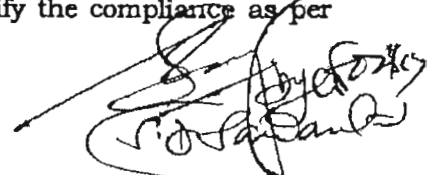
The party has paid the Scrutiny fee of Rs. 12,37,935/- vide Sap. Receipt No. 4271031/032/033 & Sap. Doc. No. 1003773602, dated 09.01.2020 on the total built up area of 23357.27sq.mtrs as certified by the Licensed Surveyor.

Further party paid difference of scrutiny fees of Rs. 1,39,710/- vide Sap. Receipt No. 0233361/362/363 & Sap. Doc. No. 1004070605, dated 25.05.2021 on the total built up area of 23282.88sq.mtrs as certified by the Licensed Surveyor.

However, Licensed Surveyor is requested to verify the total built-up area and inform this department, if the same is found to be more for the purpose of levying additional Scrutiny fees, if required.

Note for E.E. (S.R.A.) & Licensed Surveyor:

1. The fire-fighting installation shall be carried out by Govt. of Maharashtra approved Licensing Agency.
2. The schematic drawings/plans of automatic sprinkler system, automatic smoke detection system, wet riser system, public address system, manual fire alarm system shall be submitted to CFO.
3. The area, size, etc. for the sprinkler system, detection system, fire alarm system, wet riser system, public address system, Fire duct, electrical duct etc. to be verified & examined by MEP Consultant.
4. The area calculation shown in the enclosed plan shall be checked by the E.E.B.P.
5. E.E.(S.R.A.) shall verify the proposal in context with Hon. M.C.'s circulars issued u/n. Ch.E./32545/DP-Gen dated 24/02/2015 & u/no. Ch.E./34194/DP/Gen dated 10/03/2015 and verify the compliance as per

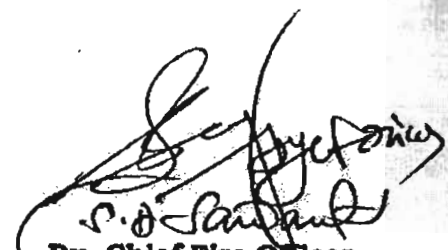


the above said circulars. If the same is not complied with, this proposal shall be referred back to this department for issuing fresh NOC.

6. No any addition/alteration shall be done in the structure of the flats/building without the previous consent of all the concerned/occupier as per the provision of Section 7 of MOFA.
7. The plans approved along with these requirements are approved from Fire Risk / Fire Safety point of view only. Approval of these plans does not mean in any way of allowing construction of the building. It is Licensed Surveyor / Developer's responsibility to take necessary prior approval from all concerned competent authorities for the proposed construction of the building.
8. The width of abuts road, open spaces, podiums mentioned in plans as submitted by the Architect attached herewith. These parameters shall be verified by E.E.(S.R.A.) before granting any permission (I.O.A./C.C./further C.C.) If found any contradiction, the proposal shall be referred back to this Department.
9. Separate necessary permission for any licensable activity shall be obtained from concerned authorities of MCGM/CFO's department, till then shall not be allowed to use.
10. This approval is issued without prejudice to legal matters pending in court of law, if any.

— 39 —
Dy. Chief Fire Officer
Mumbai Fire Brigade

Copy to: E.E. (S.R.A.), for information please.


Dy. Chief Fire Officer
Mumbai Fire Brigade

M. D. ...
17/11/2021

A. ...
17/11/2021



SLUM REHABILITATION AUTHORITY

Administrative Building, Pr. Ananat Kanekar Marg, Bandra (East), Mumbai - 400 051.

Intimation of Approval under Sub regulation 2.3 of Appendix - IV
of D.C.R. No. 33 (10) Dt. 15.10.97 for Brhhanmumbai.

No. SRA / ENG / 3241 / GN / GL / AP

5 FEB 2016

SALE BLDG.

To,

M/s. Kay Bee Developers Ltd.,
~~Hotel Red Rose, Gokuldas Pasta Lane,~~
~~Behind Chitra Talkies, Dadar (E),~~
~~Mumbai-400 014.~~

With reference to your Notice, letter No. 3236 dated 23/05/2015 and delivered on 23/05/2015 and the plans, Sections, Specifications and Description and further particulars and details of your building at C.S.Nos. 343(pt.) & 344(pt.) of Dharavi Division at V.K. Wadi, Dharavi Main Road, Dharavi, Mumbai-400 017 for 'Ashra CHS Ltd.'

furnished to me under your letter, dated 23/05/2015 I have to inform you that the proposal of construction of the building or work proposed to be erected or executed is hereby approved under section 45 of the Maharashtra Regional & Town Planning Act, 1966 as amended up-to-date, subject to the following conditions :

A. THAT THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH BEFORE COMMENCEMENT OF THE WORK UPTO PLINTH LEVEL

- A.1) That the Commencement Certificate us/. 44/69. (1) of the MR & TP Act, Shall be obtained before starting the proposed work.
- A.2) That the compound shall be constructed, after getting the plot demarcated from the concerned authority, on all sides of the plot clear of the road side drain without obstructing the flow of rain water from the adjoining holding, to prove possession of holding before starting the work as per D.C. Regulation No. 38 (27)
- A.3) That the structural Engineer shall be appointed, and the Supervision memo as per Appendix XI D.C. Regulation 5(3) (ix) shall be submitted by him.
- A.4) That the Structural design and calculations for the proposed work accounting for system analysis as per relevant I.S. code along with plan shall be submitted before C.C.

Subject to your so modifying your intention as to comply the aforesaid mentioned conditions and meet by requirements. You will be at liberty to proceed with the said building or work at anytime before the _____ day of _____ 20 but not so as to contravene any of the provisions of the said Act as amended as aforesaid or any rule, regulations of bye-law made under that Act at the time in force.

Your attention is drawn to the special Instructions and Notes accompanying this Intimation of Approval


Executive Engineer, (S.R.A.)

SPECIAL INSTRUCTIONS

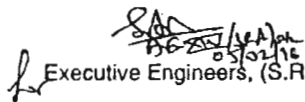
- (1) IN CASE OF PRIVATE PLOTS THIS INTIMATION OF APPROVAL GIVES NO RIGHT TO BUILD UPON LAND WHICH IS NOT YOUR PROPERTY.
- (2) Under Section 151 & 152 of M.R & T.P. Act 1966, as amended the Chief Executive Officer, Slum Rehabilitation Authority has empowered the Chief Engineer (S.R.A.) / Executive Engineer (S.R.A.) to exercise, perform and discharge the powers, duties and functions conferred and imposed upon and vested in the C.E.O. (S.R.A.) by section of the said Act.
- (3) Proposed date of commencement of work should be communicated to this office.
- (4) One more copy of the block plan should be submitted to the Collector, Mumbai / Mumbai Suburbs District as the case may be.
- (5) Necessary permission for Non-agricultural use of the land shall be obtained from the Collector, Mumbai / Mumbai Suburban District before the work is started. The Non-agricultural assessment shall be paid at the rate that may be fixed by the Collector, under the Land Revenue Code and Rules thereunder.

Attention is drawn to the notes Accompanying this Intimation of Approval.

NOTES

- (1) The work should not be started unless objections _____ are complied with.
- (2) A certified set of latest approved plans shall be displayed on site at the time of commencement of the work and during the progress of the construction work.
- (3) Temporary permission on payment of deposit should be obtained for any shed to house and store for constructional purposes, Residence of workmen shall not be allowed on site. The temporary structures for storing constructional materials shall be demolished before submission of building completion certificate and a certificate signed by Architect submitted alongwith the building completion certificate.
- (4) Temporary sanitary accommodation on full flushing system with necessary drainage arrangement should be provided on site for workers, before starting the work.
- (5) Water connection for constructional purposes will not be given until the hoarding is constructed and application is made to the Ward Officer of M.C.G.M. with the required deposit for the construction of carriage entrance, over the road side drain.
- (6) The owners shall intimate the Hydraulic Engineer of M.C.G.M. or his representative in wards of M.C.G.M. atleast 15 days prior to the date of which the proposed construction work is taken in hand that the water existing in the compound will be utilised for their construction works and they will not use any Municipal Water for construction purposes. Failing this, it will be presumed that Municipal tap water has been consumed on the construction works and bill preferred against them accordingly.
- (7) The hoarding or screen wall for supporting the depots of building materials shall be constructed before starting any work even though no materials may be expected to be stabled in front of the property. The scaffoldings, bricks, metal, sand, preps, debris etc. should not be deposited over footpaths or public street by the owner/architect/their contractors, etc. without obtaining prior permission from the Ward Officer of the area.
- (8) The work should not be started unless the compliance of abovesaid conditions is approved by this department.
- (9) No work should be started unless the structural design is submitted from LSE.
- (10) The work above plinth should not be started before the same is shown to this office Sub-Engineer (SRA) concerned and acknowledgement obtained from him regarding correctness of the open spaces dimension.
- (11) The application for sewer street connections, if necessary, should be made simultaneously with commencement of the work as the Municipal Corporation of Greater Mumbai will require time to consider alternative site to avoid the excavation of the road and footpath.
- (12) All the terms and conditions of the approved layout/sub-division/Amalgamation under No. _____ should be adhered to and complied with.
- (13) No building/Drainage Completion Certificate will be accepted and water connection granted (except for the construction purposes) unless road is constructed to the satisfaction of the concerned Ex. Engineer of M.C.G.M. and as per the terms and conditions for sanction to the layout.
- (14) Recreation ground or amenity open space should be developed before submission of building Completion Certificate.
- (15) The access road to the full width shall be constructed in water bound macadam before commencing work and should be complete to the satisfaction of concerned. Ex-Engineer of M.C.G.M. including asphaltting, lighting and drainage before submission of the building Completion Certificate.
- (16) Flow of water through adjoining holding or culvert, if any should be maintained unobstructed.
- (17) The surrounding open spaces around the building should be consolidated in concrete having broken glass pieces at the rate of 0.125 cubic metres per 10 Sq.Mtrs below pavement.

- (18) The compound wall or fencing should be constructed clear of the road widening line with foundation below level of the bottom of road side drain without obstructing flow of rain water from adjoining holding before starting the work to prove the owner's holding.
- (19) No work should be started unless the existing structures or proposed to be demolished are demolished.
- (20) If it is proposed to demolish the existing structures by negotiations with the tenants, under the circumstances, the work as per approved plans should not be taken up in hand unless the Chief Engineer [SRA] is satisfied with the following :
- (i) Specific plans in respect of evicting or rehousing the existing tenants on your plot stating their number and the area in occupation of each.
 - (ii) Specifically signed agreement between you and the existing tenants that they are willing to avail for the alternative accommodation in the proposed structure.
 - (iii) Plans showing the phase programme of construction has to be duly approved by this office before starting the work so as not to contravene at any stage of construction, the Development Control Rules regarding open spaces, light and ventilation of existing structure.
- (21) In case of additional floor no work should be started during monsoon which will give rise to water leakage and consequent nuisance to the tenants staying on the floor below.
- (22) The bottom of the over head storage work above the finished level of the terrace shall not be more than 1 metre.
- (23) The work should not be started above first floor level unless the No Objection Certificate from the Civil Aviation Authorities, where necessary, is obtained.
- (24) It is to be understood that the foundations must be excavated down to hard soil.
- (25) The positions of the nahanis and other appurtenances in the building should be so arranged as not to necessitate the laying of drains inside the building.
- (26) No new well, tank, pond, cistern or fountain shall be dug or constructed without the previous permission in writing from the Chief Executive Officer of Slum Rehabilitation Authority.
- (27) All gully traps and open channel shall be provided with right fitting mosquito proof covers as per relevant I. S. specifications.
- (28) No broken bottle should be fixed over boundary walls. The prohibition refers only to broken bottles & not to the use of plain glass for coping over compound wall.
- (29) If the proposed addition is intended to be carried out on old foundations and structures, you will do so at your own risk.


 Executive Engineers, (S.R.A.)

SRA/ENG/3241/GN/STGL/AP

- vi) To demolish the Transit Camp, Site Office, Temporary structures, etc. constructed outside on site within one month of Rehab OC & may be directed by SRA.
- 12) The Structural designs and the quality of materials and workmanship shall be strictly as per conditions laid down in Regulation 45 of DCR 1991 amended up to date.
- 13) That you shall submit the NOC's as applicable from the following concerned authority in the office of Slum Rehabilitation Authority at a stage at which it is insisted upon by the concerned Executive Engineer (SRA).

Sr. No.	NOC's	Stage of Compliance
1	A.A & C 'G/N' Ward	Before Plinth C.C. of Sale Bldg.
2	H.E. from MCGM	Before Plinth C.C.
3	Tree Authority	Before Plinth C.C.
4	Dy. Ch. Eng. (SWD)- City Regarding Internal SWD	Before Further C.C.
5	Dy.Ch.Eng.(S.P.) (P & D)	Before Plinth C.C.
6	Dy. Ch. Eng.(Roads)-City	Before Plinth C.C.
7	P.C.O.	Before Plinth C.C.
8	BEST/ TATA/ Reliance Energy /MSEB/ Electric Co.	Before Further C.C.
9	Civil Aviation Authority	Before Plinth C.C.
10	E.E. (T & C) of MCGM for Parking Layout	Before Further/Full C.C.
11	CFO	Before Plinth C.C.
12	MOE & F (if required)	Before C.C. beyond 20000 sq. mtr. of constructed.

- 14) That the design and construction of the proposed building will be done under supervision of registered Structural Engineer as per all relevant I.S. Codes including seismic loads as well as under the supervision of Architect and licensed Site Supervisor.
- 15) That you shall submit remarks from Asst. Commissioner of G/N Ward for closing/covering of well in the S.R. Scheme.
- 16) That the C.C. shall be released as per the co-relation Rehab BUA & PRC in words policy as may be decided by SRA.

SRA/ENG/3241/GN/STGL/AP

- 5) That the minimum plinth height shall be 30 cm. above the surrounding ground level or in areas subject to flooding the height of plinth shall be at least 60 cm. above the high flood level.
- 6) That the low lying plot shall be filled up to a reduced level of atleast 92 T.H.D. or 15 cm. above adjoining road level whichever is higher with murum, earth, boulders etc. and shall be leveled, rolled, consolidated and sloped towards road.
- 7) That the internal drainage layout shall be submitted & got approved from concerned Asst. Engineer (SRA) and the drainage work shall be executed in accordance with the approved drainage layout.
- 8) That the existing structure proposed to be demolished shall be demolished with necessary phase program by executing agreement with eligible slum dwellers.
- 9) That the Registered site supervisor through Architects/Structural Engineer shall be appointed before applying for C.C. & quarterly report from the site supervisor shall be submitted through the Architect/Structural Engineer certifying the quality of the construction work carried out at various stages of the work.
- 10) That no construction work shall be allowed to start on the site unless labour insurance is taken out for the concerned labours and the same shall be revalidated time to time. And the compliance of same shall be intimated to this office.
- 11) That the Registered Undertaking from the Developer and Society shall be submitted for the following
 - i) Not misusing part/pocket terrace/Free of FSI.
 - ii) Not misusing stilt.
 - iii) Not misusing Refuge Area.
 - iv) To demolish the excess area if constructed beyond permissible F.S.I.
 - v) Handing over setback land free of compensation along with the plan.

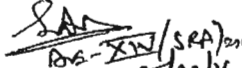
- 24) That the completion certificate from Tree Authority of MCGM shall be submitted.
- 25) That you shall submit the receipt for handing over of buildable / non-buildable reservations before requesting full OCC of sale bldg.
- 26) That the Rain Water Harvesting system should be installed/ provided as per the direction of U.D.D. Govt. of Maharashtra under No. TPB/432001/2133/CR-230/01/UD-11 dtd. 10/03/2005 and the same shall be maintained in good working conditions all the time, failing which penalty of Rs. 1000/- per annum for every 100 sq.mt. of built-up area shall be levied.
- 27) That the NOC from H.E. Department and PCO of MCGM shall be submitted.

D. THAT THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH BEFORE B.C.C.

- 1) That certificate under Section 270A of B.M.C. Act. shall be obtained from H.E.'s department regarding adequacy of water supply.

NOTES:

1. That C.C. for sale building shall be controlled in a phasewise manner as decided by CEO (SRA) in proportion with the actual work of rehabilitation component as per Circular No. 98 & 104.
2. That no occupation permission of any of the sale wing/sale building/sale area shall be considered until Occupation Certificate for equivalent Rehabilitation area is granted.
3. That CEO (SRA) reserves right to add or amend or delete some of the above or all the above mentioned conditions if required, during execution of Slum Rehabilitation Scheme.


SRA
05/02/16
Executive Engineer-City
for Slum Rehabilitation Authority

SRA/ENG/3241/GN/STGL/AP

- 10) That 10'-0" wide paved pathway up to staircase shall be provided.
- 11) That the surrounding open spaces, parking spaces and terrace shall be kept open and unbuilt upon and shall be levelled and developed before requesting to grant permission to occupy the building or submitted the B.C.C. whichever is earlier.
- 12) That the name plate/board showing Plot No., Name of the Bldg. etc. shall be displayed at a prominent place.
- 13) That the N.O.C. from Inspector of Lifts, P.W.D. Maharashtra, shall be obtained and submitted to this office.
- 14) That the drainage completion Certificate from E.E. (S.P.) (P & D) for provision of septic tank/soak pit/STP shall be submitted.
- 15) That stability Certificate from Structural Engineer in prescribed Performa 'D' along with the final plan mounted on canvas shall be submitted.
- 16) That the single P.R. cards for the amalgamated plot shall be submitted.
- 17) That layout R.G. shall be developed as approved by SRA.
- 18) That the N.O.C. from the A.A. & C. 'G/N' Ward shall be obtained and the requisitions, if any shall be complied with before O.C.C.
- 19) That the list of slum dweller to be accommodated in the building shall be submitted in duplicate before submitting BCC.
- 20) That completion certificate from C.F.O. shall be submitted.
- 21) That you shall submit P.R. Card and CTS plan thereby clearly earmarking the rehab plot and sale plot and built up area as per the approved layout.
- 22) That the completion certificate from E.E. (T&C) of MCGM for parking shall be submitted.
- 23) That the completion certificate from E.E. (M&E) of MCGM for Ventilation/Stack parking/Mechanical Parking System shall be submitted.

- 6) That the amended plans considering full height (i.e. including fungible FSI) shall be submitted before requesting CC beyond 16th floor, or else the excess refuse area shall be counted in FSI.

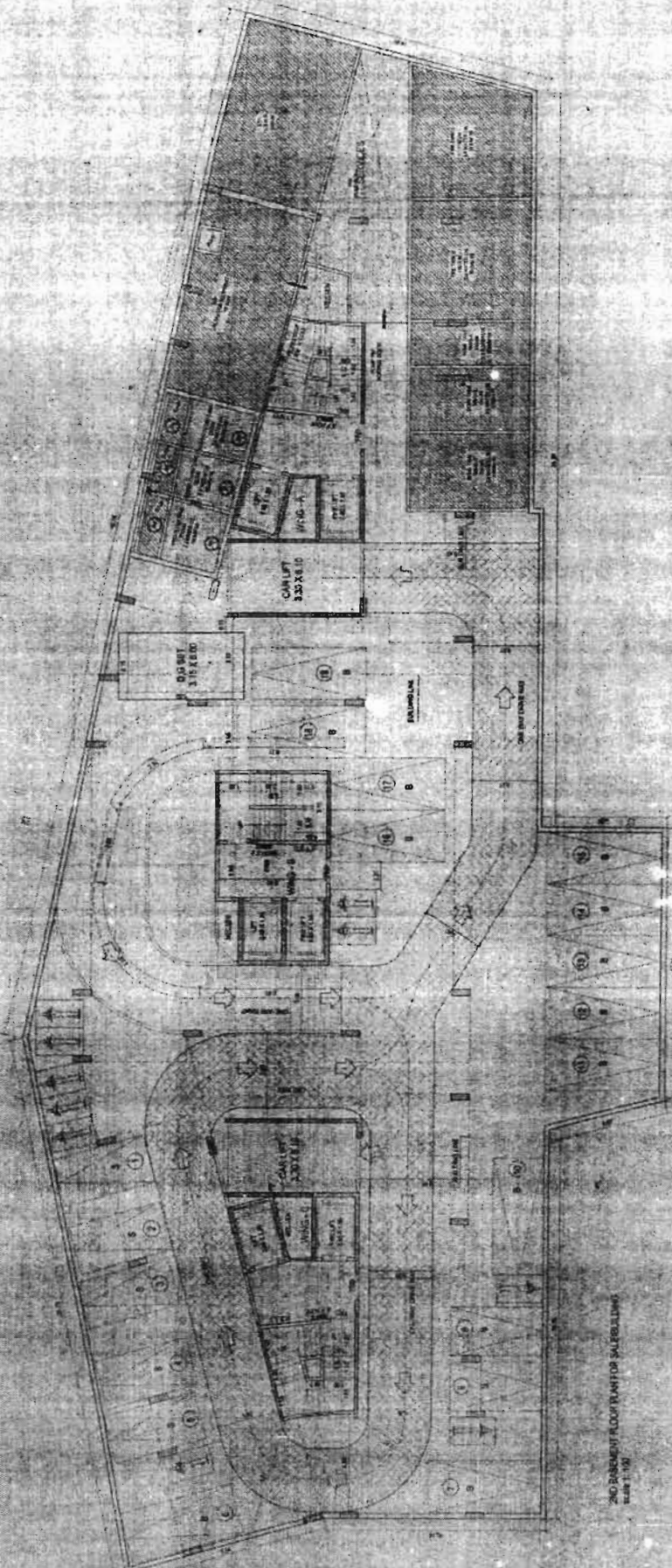
C. THAT THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH BEFORE GRANTING O.C. TO ANY PART OF THE PROPOSED BUILDING.

- 1) All the conditions of Letter of Intent shall be complied with at stages as directed by SRA or before asking for occupation certificate of sale/composite building.
- 2) The Building Completion Certificate in prescribed Performa certifying work carried out as per specification shall be submitted.
- 3) That some of the drains shall be laid internally with C.I. pipes.
- 4) That you shall develop the layout access/D.P. Road/setback land including providing streetlights as per the remarks/specifications MCGM. And submit the completion certificate from E.E. (Road Construction) as per the remarks.
- 5) That the dustbin shall be provided as per requirement.
- 6) That carriage entrance over existing SWD shall be provided and charges if any for the same shall be paid to MCGM before requesting occupation.
- 7) That the surface drainage arrangement shall be provided in consultation with E.E. (SWD) as per the remarks and a completion certificate shall be obtained and submitted before requesting for occupation certificate/B.C.C.
- 8) That the requirements from the M.T.N.L./ Reliance Energy /concerned electric Supply Co. shall be complied and complied with before asking occupation permission.
- 9) That the Architect shall submit the debris removal certificate before requesting for occupation permission.

- 17) That you shall take proper precautions for safety like barricading, safety nets etc. as directed by Safety Engineer/Structural Engineer, Geotech Consultant towards workers, occupants, adjoining structures etc. and you & your concerned team shall be responsible for safety.
- 18) That you shall submit fresh D.P. Remarks & Survey Remarks before asking plinth C.C.
- 19) That you shall install CC TV Cameras with direct feed to SRA Server at site as may be directed by I.T. Dept. SRA.
- 20) Report from Geological Engineer for basement will be submitted before C.C.
- 21) That the MOEF permission is to be obtain before CC of sale area of the scheme u/ref.
- 22) That the necessary remarks of MCZMA for the CRZ II area included in the scheme, shall be submitted.

B. THAT THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH BEFORE FURTHER C.C. OF SUPER STRUCTURE: -

- 1) That a plan showing the dimensions of the plinth and the available open spaces certified by the Architect shall be submitted and the same shall be got checked & certified by the concerned Sub Engineer (SRA).
- 2) That the stability certificate for work carried out upto plinth level/stilt level shall be submitted from the Lic. Structural Engineer.
- 3) That the quality of construction work of bldg. shall be strictly monitored by concerned Architect, Site supervisor, Structural Engineer, Third Party Quality Auditor and Project Management Consultant. The periodical report as regards to the quality of work shall be submitted by Architect along with test result.
- 4) That the C.C. of last 10% sale area shall not be released till the outside transit camp is demolished.
- 5) That the P.R.C. reflecting name of developers shall be submitted before asking further C.C.



2ND BASEMENT FLOOR PLAN OF SALES BUILDING
SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION	QTY.	UNIT	REMARKS
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APPROVAL

DATE OF APPROVAL OF THIS PLAN: FEB 20 2014

FOR THE ARCHITECT: [Signature]

FOR THE ENGINEER: [Signature]

FOR THE CONTRACTOR: [Signature]

FOR THE OWNER: [Signature]

FOR THE CITY: [Signature]

FOR THE COUNTY: [Signature]

FOR THE STATE: [Signature]

FOR THE FEDERAL: [Signature]

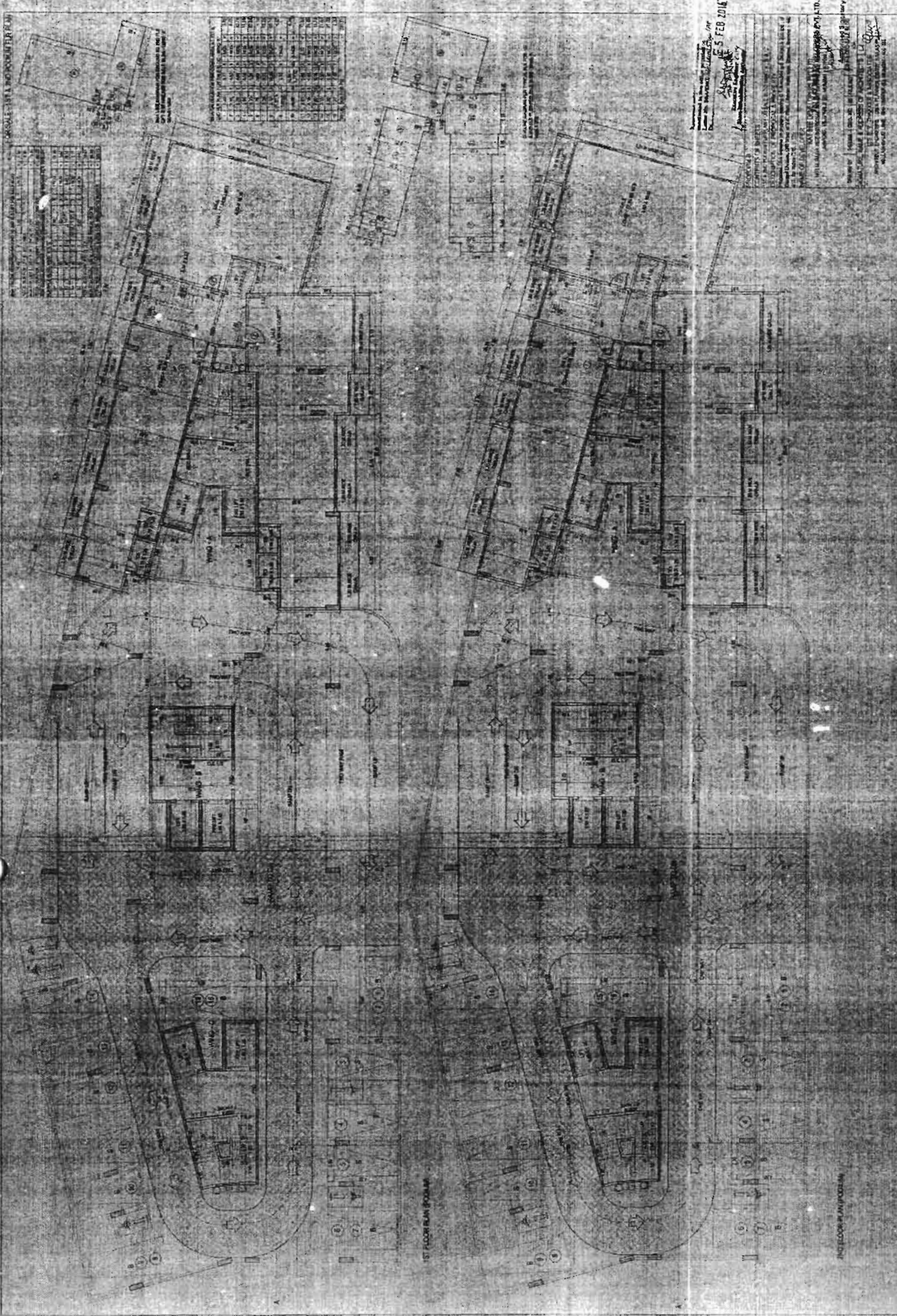
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FOR THE GLOBAL: [Signature]

FOR THE UNIVERSE: [Signature]



DRAWING NO. 1000000000
 DATE 5 FEB 2016
 PROJECT NO. 1000000000
 SHEET NO. 1000000000
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]
 COMPANY: [Company Name]
 ADDRESS: [Address]
 CONTACT: [Phone Number]

1ST FLOOR PLAN

2ND FLOOR PLAN

OFFICE OF THE ARCHITECT

NO.	DESCRIPTION	QTY	UNIT	AMOUNT
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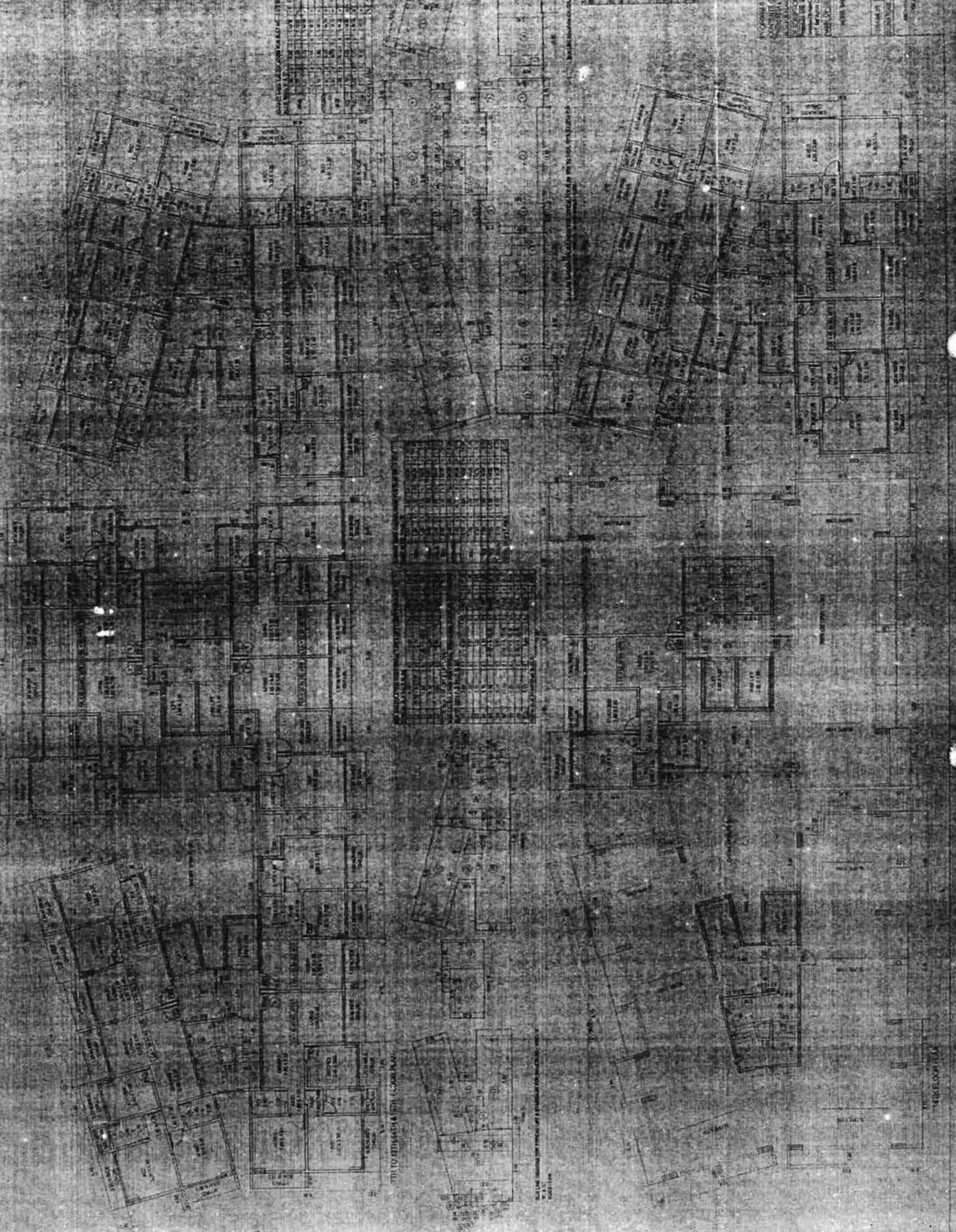
Approved by the Architect
 Date: 1/15/1918
 J. H. ...



NO.	DESCRIPTION	QTY	UNIT	AMOUNT
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Approved by the Architect
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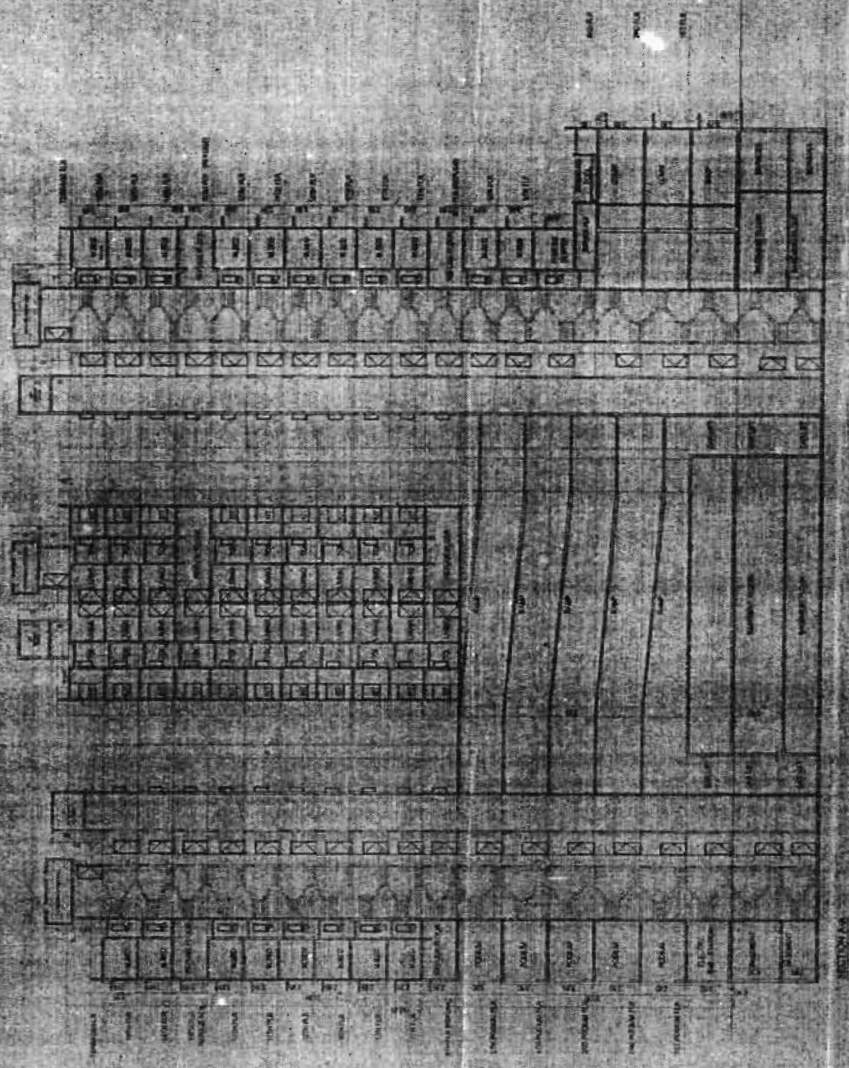
TO THE RETRACTION OF THE FLOOR PLAN

TO THE RETRACTION OF THE FLOOR PLAN

FIRST FLOOR

ESTD 2016

COUNTY OF BURLINGTON
 OFFICE OF THE REGISTER OF DEEDS
 100 WATER STREET, SUITE 200
 BURLINGTON, VERMONT 05401
 TEL: 802-241-8700
 FAX: 802-241-8701
 WWW.VTREGISTRY.COM



SECTION AS SHOWN

RECEIPT NO. 23/0276277

Assessment and Collection
BRIHANMUMBAI MAHANAGAR PALIKA
 KAY BEE DEVELOPERS PVT.LTD. WARD

Date: 05/09/2023 18:06:34
 Receipt No: 2023ACR04306662

Tax: Property
 Account No GN1801070140000

Assessee's Name : RASIKLAL KANJI & MRS. PRABHAVATI W/O RASIKLAL KANJI

State Code	PAN No.	GST No.	UIN No.	Place of Supply	Registered

Bill No.	Bill Dt	Amount	ND+W.Fee+M.P+T+Q+Prity+Dischg.F.+Unlawful+Adm.	Total Dues	Early Bird Discount	Net Payable	Cash Chq Amt.
202210BIL15941090	01/10/2022	3964430	0+0+0+0+0+0+0	4638386	0	4638386	957505
202220BIL15941091	01/10/2022	3964430	0+0+0+0+0+0+0	4638386	0	4638386	957505

Seq. No. Instrument Type Date No. MCR No. Bank Status Amount
 1/ Chq/ 05/09/2023/ 235555/ 400002230/ STATE BANK OF INDIA/ 1915010/ Cheque/ 0 9278772 1915010

Net Amount	CGST	SGST	UGST	IGST	Net Value
1915010	0	0	0	0	1915010

Total In Words: Nineteen Lakh Fifteen Thousand Ten Only

Advance Payment Part Payment
 Remark MCGM PAN NO.: KAALM0042L
 Type of Collection Authorised MCGM GST NO.: 27AAALM0042L324
 Page 1 of 1 M.C.

HSN/SAC NO.: 998111
 Printed By: Dinesh Kesari
 Printed On: 05/09/2023 18:6

'Cheque' Received Subject to Realisation

RECEIPT NO. 23/02/2975



BRIHANMUMBAI MAHANAGAR PALIKA

Assessment and Collection **WARD G/N**

Received with Thanks from

Billing Name : **ASHRA CO-OPERATIVE HOUSING SOCIETY LTD. BLD.NO.2.A-WING**

Date : **30/08/2023 17:09:25**

Receipt No **2023ACR04305484**

Tax : **Property**

Account No **CN1901080110000**

Assessee's Name : **RASIKLAL KANJI & MRS PRABHAVATI W/O RASIKLAL KANJI**

State Code	PAN No.	GST No.	UIN No.	Place of Supply	Registered		
BRI No.	BRI Dt.	Amount	ND+W.Fee+M.Prity+G.Prity+Disch.F.+Unlawful+Adm.	Total Dues	Early Bird Discount	Net Payable	Cash/ Chq Amt.
202118L14350323	13/12/2021	11959	0+0+2565+286+0+0+0	14832	0	14832	2873
2021238L17648095	10/01/2023	12089	0+0+872+96+0+0+0	13057	0	13057	968
2022128L17648096	10/01/2023	11959	0+0+860+86+0+0+0	12915	0	12915	968
2022228L17648097	10/01/2023	11959	0+0+860+86+0+0+0	12915	0	12915	968

Instrument type _____ Date _____ No. _____ MGR No. _____ Bank Status Amount _____ 53719 0 53719 5753

Net Amount	CGST	SGST	UGST	IGST	Bank Value
5753	0	0	0	0	5753
Total In Words: Five Thousand Seven Hundred Fifty Three Only					1 Cash 5753

MCGM GST NO. 27AAALM004ZL324

Advance Payment **Subject to Realization** PAN NO. AAALM004ZL

Type of Collection **Authorised** MCGM GST NO. 27AAALM004ZL324

Place of Collection **Authorised** PAN NO. AAALM004ZL

Date of Collection **Authorised** 30/08/2023 17:09:25



AAI



भारतीय विमानपत्तन प्राधिकरण AIRPORTS AUTHORITY OF INDIA

M/s.KAY BEE DEVELOPERS

306, United tenants CHSL., Parshiwada,
Sahar Road, Vile Parle (East), Mumbai -
400099.

Date: 29-06-2018

Valid Upto: 28-06-2026

No Objection Certificate for Height Clearance

1. This NOC is issued by Airports Authority of India (AAI) in pursuance of responsibility conferred by and as per the provisions of Govt. of India (Ministry of Civil Aviation) order GSR751 (E) dated 30th Sep. 2015 for Safe and Regular Aircraft Operations.

2. This office has no objection to the construction of the proposed structure as per the following details:

NOC ID :	SNCR/WEST/B/060618/312030 ✓
Applicant Name*	Dhanaji Gurkhe
Site Address*	C T S no 343 pt 344 pt and 335 pt Dharavi Division Dharavi Mumbai,Dharavi,Mumbai,Maharashtra
Site Coordinates*	72 51 6.23-19 02 42.57, 72 51 6.52-19 02 43.34, 72 51 6.55-19 02 41.75, 72 51 6.72-19 02 43.65, 72 51 6.83-19 02 42.28, 72 51 6.98-19 02 41.55, 72 51 7.22-19 02 41.82, 72 51 7.81-19 02 43.04, 72 51 8.24-19 02 41.03, 72 51 8.86-19 02 41.37
Site Elevation in mtrs AMSL as submitted by Applicant*	5.2 M ✓
Permissible Top Elevation in mtrs Above Mean Sea Level(AMSL)	79.59 M (Restricted) ✓

*As provided by applicant

3. This NOC is subject to the terms and conditions as given below:

a. Permissible Top elevation has been issued on the basis of Site coordinates and Site Elevation submitted by Applicant. AAI neither owns the responsibility nor authenticates the correctness of the site coordinates & site elevation provided by the applicant. If at any stage it is established that the actual data is different, this NOC will stand null and void and action will be taken as per law. The office in-charge of the concerned aerodrome may initiate action under the Aircraft (Demolition of Obstruction caused by Buildings and Trees etc.) Rules, 1994"

b. The Site coordinates as provided by the applicant in the NOC application has been plotted on the street view map and satellite map as shown in ANNEXURE. Applicant/Owner ensure that the plotted coordinates corresponds to his/her site.In case of any discrepancy,Designated Officer shall be requested for cancellation of the NOC

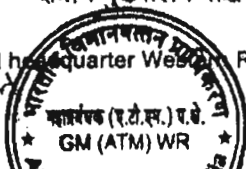
c. The Structure height (including any superstructure) shall be calculated by subtracting the Site elevation in AMSL from the Permissible Top Elevation in AMSL i.e. Maximum Structure Height = Permissible Top Elevation minus (-) Site Elevation.

d. The issue of the 'NOC' is further subject to the provisions of Section 9-A of the Indian Aircraft Act, 1934 and any notifications issued there under from time to time including the Aircraft (Demolition of Obstruction caused by Buildings and Trees etc.) Rules,1994.

क्षेत्रीय मुख्यालय पश्चिमी क्षेत्र पोर्टा केबिंस, नई एयरपोर्ट कॉलोनी, हनुमान रोड के सामने, विलेपारले ईस्ट

मुंबई- 400099 दूरभाष संख्या : 91-22-28300808

Regional Headquarters Western Region,Porta Cablins, New Airport Colony, Opposite Hanuman Road, Vile Parle East
Mumbai-400099 Tel. no. 91-22-28300808





भारतीय विमानपत्तन प्राधिकरण AIRPORTS AUTHORITY OF INDIA

e. No radio/TV Antenna, lighting arresters, staircase, Mumtee, Overhead water tank and attachments of fixtures of any kind shall project above the Permissible Top Elevation of 79.59 M (Restricted) , as indicated in para 2.

f. Only use of oil fired or electric fired furnace is permissible, within 8 KM of the Aerodrome Reference Point.

g. The certificate is valid for a period of 8 years from the date of its issue. One time revalidation without assessment may be allowed, provided construction work has commenced, subject to the condition that such request shall be made within the validity period of the NOC and the delay is due to circumstances which are beyond the control of the developer.

h. No light or a combination of lights which by reason of its intensity, configuration or colour may cause confusion with the aeronautical ground lights of the Airport shall be installed at the site at any time, during or after the construction of the building. No activity shall be allowed which may affect the safe operations of flights

i. The applicant will not complain/claim compensation against aircraft noise, vibrations, damages etc. caused by aircraft operations at or in the vicinity of the airport.

j. Day markings & night lighting with secondary power supply shall be provided as per the guidelines specified in chapter 6 and appendix 6 of Civil Aviation Requirement Series B Part I Section 4, available on DGCA India website: www.dgca.nic.in

k. The applicant is responsible to obtain all other statutory clearances from the concerned authorities including the approval of building plans. This NOC for height clearances is to ensure the safe and regular aircraft operations and shall not be used as document for any other purpose/claim whatsoever, including ownership of land etc.

l. This NOC has been issued w.r.t. the Civil Airports. Applicant needs to seek separate NOC from Defence, if the site lies within their jurisdiction.

m. In case of any discrepancy/interpretation of NOC letter, English version shall be valid.

n. In case of any dispute w.r.t site elevation and/or AGL height, top elevation in AMSL shall prevail.



Chairman NOC Committee

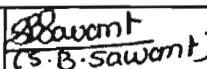
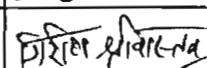
Region Name: WEST

Address: General Manager Airports
Authority of India, Regional
Headquarter, Western Region,
Opp. Parsiwada, Sahar Road, Vale
Parle (E) MUMBAI-400099

Email ID: nocwr@aai.aero

Contact No: 022-28300656

मूसा टी. एफ. / MOOSA T. F.
महाप्रबंधक (ए.टी.एम.), पश्चिमी क्षेत्र
General Manager (A.T.M.), Western Region
भारतीय विमानपत्तन प्राधिकरण/ Airports Authority of India
मुंबई / Mumbai - 400 099

Name / Designation / Sign with Date	
Prepared By :	 (S.B. Sawant) 29/06/18
Verified By :	 प्रिषिता शिवलकर 29/06/18

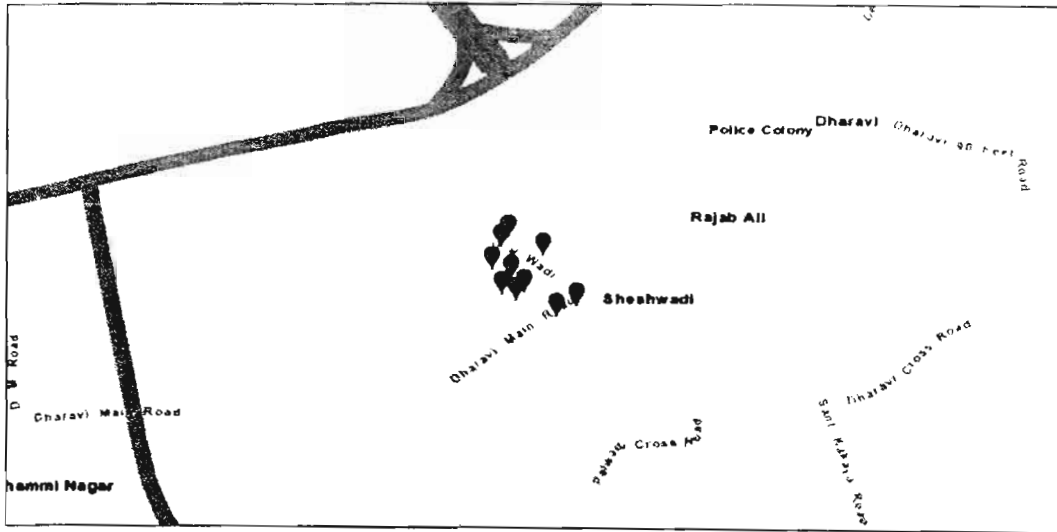
क्षेत्रीय मुख्यालय पश्चिमी क्षेत्र पोर्टा केबिंस, नई एयरपोर्ट कॉलोनी, हनुमान रोड के सामने, विलेपारले ईस्ट
मुंबई- 400099 दूरभाष संख्या : 91-22-28300608

Regional headquarter Western Region, Porta Cablins, New Airport Colony, Opposite Hanuman Road, Vile Parle East
Mumbai-400099 Tel. no. 91-22-28300608

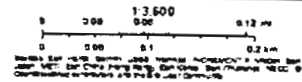
Distance From Nearest Airport And Bearing

Airport Name	Distance (Meters) from the Nearest Runway	Bearing (Degree)
Juhu	6061.58	162.04
Navi Mumbai	23604.21	284.31
Santa Cruz	5312.63	196.06

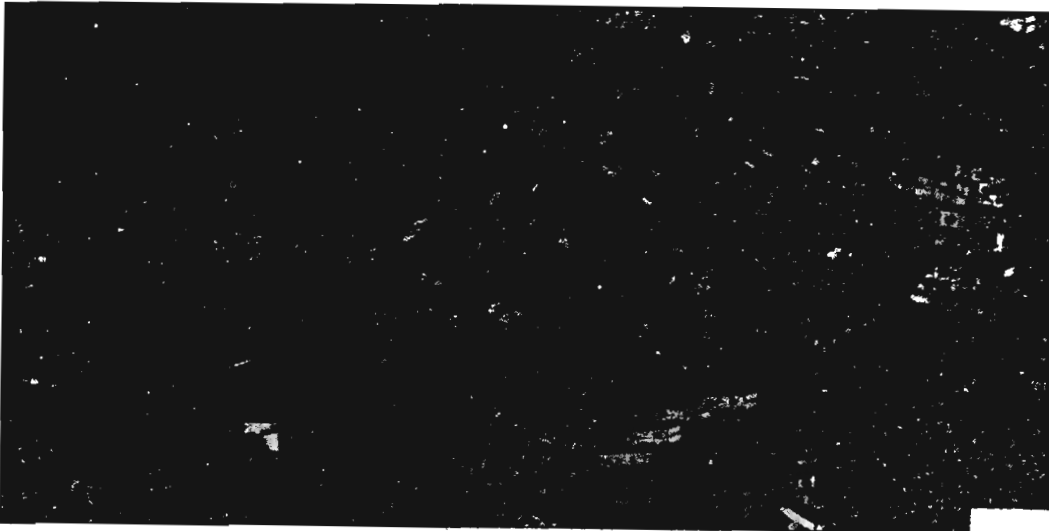
Street view



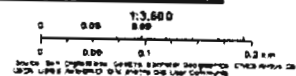
June 5, 2018



Satellite View



June 6, 2018





SLUM REHABILITATION AUTHORITY

No: SRA/ENG/494/GN/GL/LOI

Date:

REVISED LOI **13 OCT 2021**

- ✓ **1. Architect :** SHRI H. V. THAKKER OF
M/s S.V. Thakker & Associates 335,337, Kailash
Plaza, Vallabh baug lane, Ghatkopar (East)
Mumbai-400 075.
- 2. Developer :** M/s Kay Bee Developers Pvt. Ltd.
Hotel Bawa International, Nr. Domestic Airport,
Vileparle (E), Mumbai -400 099
- 3. Society :** "Ashra C.H.S. Ltd."
C/o No.15, Nellai Mahal, V.K. Wadi, Dharavi, Mum-17.

Sub.: Issue of Revised LOI for the S. R. Scheme, on plot bearing Part of C.S.No.343(pt.) & 344(pt.) of Dharavi Division, at V. K. Wadi, Dharavi Main Road, in G/North Ward.

Ref.: SRA/ENG/494/GN/GL/LOI

Gentleman,

With reference to the above mentioned Slum Rehabilitation Scheme and on basis of documents submitted by applicant and in continuation to last Revised LOI issued dated 31/05/2018 by this office is pleased to issue in principal approval to the scheme in the form of this **Revised Letter of Intent (LOI)** subject to following conditions;

- 1) That the conditions mentioned in the revised LOI issued UNDER No. SRA/ENG/494/GN/GL/LOI dtd. 31/05/2018 shall be complied with at appropriate stages.
- 2) This letter of Intent is issued on the basis of plot area certified by the Architect and the Annexure-II issued by Competent Authority and other relevant document.
- 3) That you shall restrict the built up area meant for sale in the open market and built up area rehabilitation as per the salient features Annexure herewith.

Revised Scheme parameters:

Sr. No.	Description	Area (In sq. mtr.)
1	Plot area for the Scheme	7033
	Private plot carved-out	95.70
	Area of plot	6937.30
2	Deduction:	
	a. 30.40mtr. wide D.R.P. Road setback	202.00
	b. Area under CRZ	2.18
	Total	204.18
3	Balance plot area	6733.12
4	Deduction for 15% Recreational Open Space	---
5	Net area of plot for computation of T/S density.	6733.12
6	Addition for FSI purpose (2.a)	202.00
7	Plot area for FSI	6935.12
8	Max. FSI permissible on plot	3.00
10	Max. BUA permissible on plot	20805.36
11	Rehab BUA	9986.08
12	Rehabilitation component	13388.94
13	Sale component	17847.46
14	Total BUA sanctioned for project	27833.54
15	FSI sanctioned for Project	4.01
16	Sale permissible in situ	10819.28
17	Nos. of slum dwellers to be re-accommodated	
	Residential	202
	Resi.cum Comm.	03
	Commercial	20
	Provisional PAP commercial	02
	Provisional PAP	21
	Religious Structure	---
	Balwadi	04
	Welfare Center	04
	Soc. Office	03
18	PAP	98

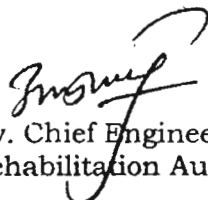
- 4) That you shall obtain clarification regarding eligibility pending of 05nos of tenements.
- 5) That you shall hand over 98 numbers of tenements to the Slum Rehabilitation Authority for PAP's each of carpet area 25.00 Sq.m. for Residential tenements at free of cost. The agreement to that effect shall be signed and registered as may be required by CEO(SRA).
- 6) This LOI is issued on the basis of documents submitted by the applicant. If any of the document submitted by Architect / Developer /

Society or Owner are proved fraudulent /misappropriated before the Competent court/AGRC and if directed by Competent Court/AGRC to cancel the LOI, then the LOI is liable to be cancelled and concerned person / Society / Developer /Architect are liable for action under version provision of IPC 1860 and Indian Evidence Act.1872.

- 7) That proper safety measures like barricading, safety net etc. shall be taken on site during construction work as maybe necessary depending upon the type of work and the developer along with their concerned technical team shall be solely responsible for safety.
- 8) That the work shall not carried out between 10.00 pm. to 6.00 am, only in accordance with rule 5A(3) of noise pollution (regulation & control) Rules 2000 & the provision of notification issued by Ministry of Environment & forest Department.
- 9) That you shall submit revised NOC for MOEF as per condition no.08 dtd. 30/10/2018 before O.C.C. of Sale Building no. 03.

If applicants Society/Developer/Architect are agreeable to all these conditions, then may submit proposal for approval of plans separately for each building. in conformity with modified D.C. Regulation of 1991 and 2034 in the office of the undersigned within 90 days from receipt of this LOI.

Yours faithfully,


Dy. Chief Engineer
Slum Rehabilitation Authority

(Hon'ble CEO (SRA) & OSD (DRP) has approved the Revised LOI)



STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

Environment department,
Room No. 217, 2nd floor,
Mantralaya, Annexe,
Mumbai- 400 032.
Date: October 30, 2018

To,
M/s Kay Bee Developers Pvt. Ltd.
at Plot bearing CS No. 343(pt) & 344 (pt) of Dharavi Division, G/N ward at V.K Wadi, Dharavi Main road, Dharavi,
Mumbai-400 017 Maharashtra

Subject: Environment Clearance for Proposed Amending in Environment Clearance for Proposed Slum
Redevelopment of 'Ashra Cooperative Housing Society Ltd.' through SRA Scheme U/s 33 (10)

Sir,

This has reference to your communication on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee-II, Maharashtra in its 142nd meeting and recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its 142nd meetings.


2. It is noted that the proposal is considered by SEAC-II under screening category 'B' as per EIA Notification 2006.

Brief Information of the project submitted by you is as below:

1. Name of Project	Proposed Slum Rehabilitation Scheme
2. Type of Institution	Private
3. Name of Project Proponent	M/s Kay Bee Developers Pvt. Ltd.
4. Name of Consultant	Building Environment India Pvt. Ltd.
5. Type of project	Building Construction
6. New project/expansion in existing project/modernization/diversification in existing project	Diversification in existing project
7. If expansion/diversification whether environmental clearance has been obtained for existing project	Yes. The project received EIA on 12th March 2018.
8. Location of the project	Plot bearing CS No. 343(pt) & 344 (pt) of Dharavi Division, G/N ward at V.K Wadi, Dharavi Main road, Dharavi, Mumbai-400 017 Maharashtra
9. Taluka	Dharavi
10. Village	Dharavi
Correspondence Name:	M/s Kay Bee Developers Pvt. Ltd.
Room Number:	-
Floor:	-
Building Name:	Hotel Bawa International
Road/Street Name:	Nehru Extn. Road, Near Domestic Airport,
Locality:	Vile Parle (E)
City:	Mumbai-400 099
11. Area of the project	MCGM

SEIAA Meeting No: 142 Meeting Date: October 10, 2018 (SEIAA-
STATEMENT-0000001468)
SEIAA-MINUTES-0000000705
SEIAA-EC-0000000497

Page 1 of 14


Shri. Anil Diggikar (Member Secretary
SEIAA)

12. IOD/IOA/Concession/Plan Approval Number	Concession Layout approved by MCGM IOD/IOA/Concession/Plan Approval Number: Building No 1: SRA/ENG/734/GN/GL/AP OCC Dated 24/01/2014 Building No 2: SRA/ENG/2727/GN/GL/AP Last Amended IOA dated 05/02/2016 Last Endorsed CC Dated 26/10/2016 Building No 3: SRA/ENG/3241/GN/GL/AP IOA 05/02/2016 IOD/IOA/Concession/Plan Approval Number: Concession Layout approved by MCGM IOD/IOA/Concession/Plan Approval Number: Building No 1: SRA/ENG/734/GN/GL/AP OCC Dated 24/01/2014 Building No 2: SRA/ENG/2727/GN/GL/AP Last Amended IOA dated 05/02/2016 Last Endorsed CC Dated 26/10/2016 Building No 3: SRA/ENG/3241/GN/GL/AP IOA 05/02/2016 Approved Built-up Area: 20805
13. Note on the initiated work (If applicable)	Total Constructed work: As of now we have constructed one Rehabilitation Building (Rehab Bldg. No.1) of Total Construction B.U.A of 2966.81 sq.m as per I.O.A & C.C granted by SRA & also obtained O.C. Further we are constructing the Composite Bldg No 2 -construction completed upto the 17th as per CC granted by SRA and the total area constructed as on today is 16763.47 sq.mt FSI: 12673.64 sq.mt Non-FSI: 4089.83 sq.mt Total 16763.47sq.mt.
14. LOI / NOC / IOD from MHADA/ Other approvals (If applicable)	LOI from Slum Rehabilitation Authority (SRA) Received LOI, dtd. 18th Nov, 2000 for B.U.A of 13,766.33 sq.m. 1st Revised LOI on 1st March, 2008 for B.U.A of 13,766.33 sq.m. 2nd Revised LOI on 6th December, 2008 for B.U.A of 18,727.37 sq.m. 3rd Revised LOI on 11th May, 2015 for B.U.A of 19,500.50 sq.m. 4th Revised LOI on 31st May, 2018 for B.U.A of 20805.36 sq.m.
15. Total Plot Area (sq. m.)	69372 sq.m
16. Deductions	121372 sq.m
17. Net Plot area	5815.92 sq.mt
18 (a). Proposed Built-up Area (FSI & Non-FSI)	FSI area (sq. m.): FSI Area: 20010.11 Sq.m + Eligible FSI: 5187.55 sq.m = Total FSI Area: 25197.66 sq.m Non FSI area (sq. m.): 26560.48 sq.mt. Total BUA area (sq. m.): 51758.14
18 (b). Approved Built up area as per DCR	Approved FSI area (sq. m.): FSI Area: 20010.11 Sq.m + Eligible FSI: 5187.55 sq.m = Total FSI Area: 25197.66 sq.m Approved Non FSI area (sq. m.): 26560.48 sq.mt. Date of Approval: 05-02-2016
19. Total ground coverage (m ²)	2713.85 sq.mt.
20. Ground-coverage Percentage (%) (Note: Percentage of plot not open to sky)	39.81%
21. Estimated cost of the project	1500000000

Government of Maharashtra

22. Production Details

Serial Number	Product	Existing (MT/M)	Proposed (MT/M)	Total (MT/M)
1	Not applicable	Not applicable	Not applicable	Not applicable

23. Total Water Requirement

Dry season:	Source of water	MCGM/STP
	Fresh water (CMD):	Rehab: 193.5 & Source: (193.5 for domestic use from M.C.G.M.) Sale: 78.25 & Source: (74.25 for domestic use from M.C.G.M. & 4 for Swimming Pool from Tanker)
	Recycled water - Flushing (CMD):	Rehab: 98.00 Sale: 40.00
	Recycled water - Gardening (CMD):	-
	Swimming pool make up (Cum):	4.00
	Total Water Requirement (CMD):	Rehab: 291.50 Sale: 125.25
	Fire fighting - Underground water tank (CMD):	For Rehab Building - 200 CUM. For Sale Building - 300 CUM
	Fire fighting - Overhead water tank (CMD):	For Rehab Building - 25 CUM per Wing (Total 50 Cum) For Sale Building - 25 CUM Per Wing (Total 75 CUM)
Excess treated water	Rehab: 12.00 Sale: 42.00	
Wet season:	Source of water	MCGM/STP/RWE
	Fresh water (CMD):	Rehab: 193.5 & Source: (193.5 for domestic use from M.C.G.M.) Sale: 78.25 & Source: (74.25 for domestic use from M.C.G.M. & 4 for Swimming Pool from Tanker)
	Recycled water Flushing (CMD):	Rehab: 98.00 Sale: 40.00
	Recycled water - Gardening (CMD):	-
	Swimming pool make up (Cum):	0
	Total Water Requirement (CMD):	Rehab: 291.50 Sale: 125.25
	Fire fighting - Underground water tank (CMD):	For Rehab Building - 200 CUM. For Sale Building - 300 CUM
	Fire fighting - Overhead water tank (CMD):	For Rehab Building - 25 CUM per Wing (Total 50 Cum) For Sale Building - 25 CUM Per Wing (Total 75 CUM)
Excess treated water	Rehab: 164.00 Sale: 47.00	
Details of Swimming pool (If any)	1 No.	

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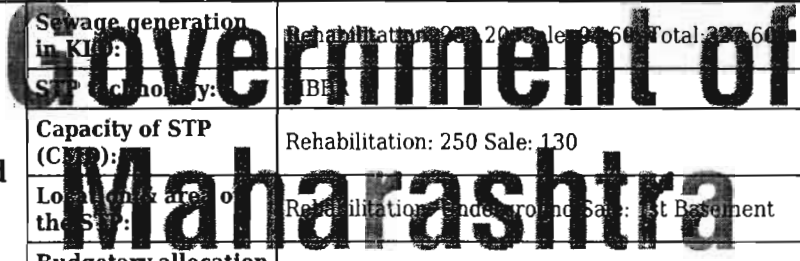
24.Details of Total water consumed

Particulars	Consumption (CMD)			Loss (CMD)			Effluent (CMD)		
	Existing	Proposed	Total	Existing	Proposed	Total	Existing	Proposed	Total
Domestic	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

25.Rain Water Harvesting (RWH)	Level of the Ground water table:	1.2-2.1 m below ground level
	Size and no of RWH tank(s) and Quantity:	Rehabilitation: Rehab.1: 1 No. (20.00 KL) Rehab.2: 1 No. (40.00 KL) Sale: 1 No. (40.00 KL)
	Location of the RWH tank(s):	Rehabilitation: Underground, Sale: Underground
	Quantity of recharge pits:	Nil
	Size of recharge pits :	.
	Budgetary allocation (Capital cost) :	18.00 Lacs
	Budgetary allocation (O & M cost):	1.25 Lacs/annum
	Details of UG tanks if any :	adequate capacity tanks will be provided

26.Storm water drainage	Natural water drainage pattern:	The arrangement for disposal of SW through and from the plot as per the norms of S.D department, M.C.S.M
	Quantity of storm water:	0.15m ³ /sec
	Size of SWD:	300 mm wide with 1:300 slope

27.Sewage and Waste water	Sewage generation in KLD:	Rehabilitation: 225, 20, Sale: 97.60, Total: 342.60
	STP Technology:	MBR
	Capacity of STP (CMD):	Rehabilitation: 250 Sale: 130
	Location & area of the STP:	Rehabilitation: Underground, Sale: 1st Basement
	Budgetary allocation (Capital cost):	55.00 Lacs
Budgetary allocation (O & M cost):	14.00 Lacs	



28.Solid waste Management

Waste generation in the Pre Construction and Construction phase:	Waste generation:	Debris & excavated material generated shall be disposed by covered trucks to the authorized sites with permission from M.C.G.M
	Disposal of the construction waste debris:	If found suitable it shall be stock piled and shall be reused for gardening
Waste generation in the operation Phase:	Dry waste:	Rehabilitation: Dry waste (Kg/day): 287.00 Sale: Dry waste (Kg/day): 139.00; Total: 426.00 (Kg/day)
	Wet waste:	Rehabilitation: Wet waste (Kg/day): 688.00 Sale: Dry waste (Kg/day): 299.00; Total: 987.00 (Kg/day)
	Hazardous waste:	cannot be quantified at this stage as this is a residential project
	Biomedical waste (If applicable):	NA
	STP Sludge (Dry sludge):	53.00
	Others if any:	
Mode of Disposal of waste:	Dry waste:	Handed over to M.C.G.M
	Wet waste:	Composting through OWC & used at site/as manure
	Hazardous waste:	Shall be handed over to authorized common hazardous waste disposal site
	Biomedical waste (If applicable):	
	STP Sludge (Dry sludge):	Used as manure within the premises for plants. Excess shall be sold /handover to outside parties or gardens.
	Others if any:	
Area requirement:	Location:	Rehabilitation: Ground Level Sale: Ground Level
	Area for the storage of waste & other material:	attached
	Area for machinery:	attached
Budgetary allocation (Capital cost and O&M cost):	Capital cost:	18.00 Lacs (Cost for treatment of biodegradable garbage in Organic Waste Converter)
	O&M cost:	5.00 Lacs/annum (Cost for treatment of biodegradable garbage in Organic Waste Converter)

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29. Effluent Characteristics					
Serial Number	Parameters	Unit	Inlet Effluent Characteristics	Outlet Effluent Characteristics	Effluent discharge standards (MPCB)
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
Amount of effluent generation (CMD):		Not applicable			
Capacity of the ETP:		Not applicable			
Amount of treated effluent recycled :		Not applicable			
Amount of water send to the CETP:		Not applicable			
Membership of CETP (if require):		Not applicable			
Note on ETP technology to be used		Not applicable			
Disposal of the ETP sludge		Not applicable			



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30. Hazardous Waste Details

Serial Number	Description	Cat	UOM	Existing	Proposed	Total	Method of Disposal
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

31. Stacks emission Details

Serial Number	Section & units	Fuel Used with Quantity	Stack No.	Height from ground level (m)	Internal diameter (m)	Temp. of Exhaust Gases
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

32. Details of Fuel to be used

Serial Number	Type of Fuel	Existing	Proposed	Total
1	Not applicable	Not applicable	Not applicable	Not applicable

33. Source of Fuel

Not applicable

34. Mode of Transportation of fuel to site

Not applicable

Power requirement:	Source of power supply	BEST
	During Construction Phase (Demand Load)	50 KW
	DG set as Power back-up during construction phase	
	During Operation phase (Connected load):	Rehab1: 101.00 kw Rehab2: 2300 kw Sale: 1611.69 kw
	During Operation phase (Demand load):	Rehab 1: 215.00 kw Rehab2: 978.00 kw Sale: 768.27kw
	Transformer	Sale: 2 nos 30 KV Rehab 1 & 2: Nos 6 nos 11 KV
	DG set as Power back-up during operation phase:	Sale: 1 D.G of 500 KVA capacity Rehab 1: 1 D.G of 50 KVA Capacity Rehab 2: 1 D.G of 315 KV Capacity
Fuel used	HSD	
Details of high tension line passing through the plot if any:	-	

Energy saving by non-conventional method:

Energy saving measures

- ? Light fixtures will be used with energy saving CFL & T5 fluorescent tube with electronic chocks.
- ? Use of Solar energy for street & landscape lightings & water heating purpose.
- ? Small capacity transformers having low no load and load losses.
- ? Selection of Energy efficient equipments (BEE STAR RATED)

36. Detail calculations & % of saving:

Serial Number	Energy Conservation Measures	Saving %
1	Energy saving measures ? Light fixtures will be used with energy saving CFL & T5 fluorescent tube with electronic chocks. ? Use of Solar energy for street & landscape lightings& water heating purpose. ? Small capacity transformers having low no load and load losses. ? Selection of Energy efficient equipments (BEE STAR RATED)	Sale Bldg.: 16.89% Rehab.1. 19.43% Rehab.2: 16.70%

37.Details of pollution control Systems

Source	Existing pollution control system	Proposed to be installed
Not applicable	Not applicable	Not applicable
Budgetary allocation (Capital cost and O&M cost):	Capital cost:	28.50 Lacs (Solar lighting & Water heating)
	O & M cost:	1.50 Lacs/annum

38.Environmental Management plan Budgetary Allocation

a) Construction phase (with Break-up):

Serial Number	Attributes	Parameter	Total Cost per annum (Rs. In Lacs)
1	Dust Pollution	Water Sprinkling	2.00
2	EHS	Site Sanitation, Disinfection & Health Check Up	35.60
3	Environmental Monitoring		1.50

b) Operation Phase (with Break-up)

Serial Number	Component	Description	Capital cost Rs. in Lacs	Operational and Maintenance cost (Rs. in Lacs/yr)
1	STP	1 Nos.	Rehab: 85.90 ;Sale: 20.00	Rehab: 4.00 ;Sale: 3.00
2	RWH	3 Nos.	Rehab: 10.00; Sale: 8.00	Rehab: 1.00; Sale: 1.00
3	Landscaping		5.00	0.84
4	Sewerage	1 Nos.	Rehab: 9.00 ;Sale: 9.00	Rehab: 2.50 ;Sale: 2.50
5	Energy Saving		Rehab: 90.00 ;Sale: 80.00	Rehab: 6.00 ;Sale: 5.00
6	DMP		9.00	3.00

39.Storage of chemicals (inflammable/explosive/hazardous/toxic substances)

Description	Status	Location	Storage Capacity in MT	Maximum Quantity of Storage at any point of time in MT	Consumption / Month in MT	Source of Supply	Means of transportation
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

40.Any Other Information

No Information Available



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CRZ/ RRZ clearance obtain, if any:	AAs per MCZMA MoM of 117th Meeting land bearing C. S.No. 344 (pt), 343 (pt) and 335 (pt) of Dharavi Division, G/N ward at V. K. Wadi, Dharavi Main Road, Dharavi, Mumbai i.e. 2.172 sq.m. falls in CRZ II area and rest of the plot is outside CRZ area
Distance from Protected Areas / Critically Polluted areas / Eco-sensitive areas/ inter-State boundaries	Sanjay Gandhi National Park: Approx.10.50km Maharashtra Nature Park: Approx. 1.00 km Mithi River: Approx. 0.80 km Arabian Sea: Approx. 1.53 km Vihar Lake: 11.70 km Tulsi Lake:Approx.16.00 km Powai Lake: Approx. 10.00 Km Chandivali Lake: Approx. 9.50 Km
Category as per schedule of EIA Notification sheet	8a
Court cases pending if any	NA
Other Relevant Informations	The application was submitted through ec-mpcb portal on 7th June,2017 against which EIA has been accorded to the project on 12th March,2018
Have you previously submitted Application online on MOEF Website.	Yes
Date of online submission	01-01-1990

3. The proposal has been considered by SEIAA in its 142nd meeting & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions:

Specific Conditions:

General Conditions:

I	E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
II	The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
III	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
IV	Applicant has to comply the conditions stipulated in EIA/CES/EIA.
V	The height, construction/build up area of proposed construction shall be in accordance with the existing zoning regulations of the area. All construction shall be in accordance with the same zoning number before approving layout plan & before according commencement certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
VI	If applicant consent for Establishment shall be obtained from Maharashtra Pollution Control Board under Air and Water Act, 1986, a copy shall be submitted to the Environment Department before start of any construction work at the site.
VII	All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.
VIII	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
IX	The solid waste generated should be properly collected and segregated. dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material.
X	Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
XI	Arrangement shall be made that waste water and storm water do not get mixed.

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XII	All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
XIII	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
XIV	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
XV	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
XVI	Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.
XVII	Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
XVIII	The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environment (Protection) Rules prescribed for air and noise emission standards.
XIX	The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.
XX	Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
XXI	Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
XXII	Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended on 28th August 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).
XXIII	Ready mixed concrete must be used in all building construction.
XXIV	Storm water control and its re-use as per EWB and BIS standards for various applications.
XXV	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
XXVI	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
XXVII	The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MRCR and Environment department before the project is commissioned for operation. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/reused to the maximum extent possible. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP.
XXVIII	Permission to dig work from the water and sewerage department shall be obtained from the competent authority prior to commencement of the project.
XXIX	Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.
XXX	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based centers.
XXXI	Use of glass may be reduced up to 50% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.
XXXII	Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.
XXXIII	Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.

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XXXIV	Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
XXXV	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.
XXXVI	Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
XXXVII	Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspiration for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement.
XXXVIII	The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.
XXXIX	Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.
XI	Under the provisions of Environment Protection Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
XLI	Six monthly monitoring reports should be submitted to the Regional office MoEF, Bhopal with copy to this department and MPCB.
XLII	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, BA to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line. No physical occupation or allotment will be given unless all the environmental infrastructure is installed and made functional including water requirements. Approval from appropriate authority shall be obtained.
XLIII	Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And no wet garbage will be disposed outside the premises. Local authority should ensure this.
XLIV	Local body should ensure that no occupation certificate is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
XLV	A complete set of all the documents submitted to Department should be forwarded to the Local authority and MPCB.
XLVI	In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
XLVII	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
XLVIII	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environmental protection measures shall not be diverted for other purposes and year wise expenditure should be reported to the PCB. This amount
XLIX	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://pcb.maharashtra.gov.in
L	Project management should submit annual yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions to the PCB & this department, on 1st June & 1st December of each calendar year.
L I	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
L II	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO ₂ , NO _x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
L III	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.

LIV	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
LV	This EC is granted for FSI area: 25197.66m2, Non FSI area: 26560.48m2 and Total BUA : 51758.14m2.



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4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.

5. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.

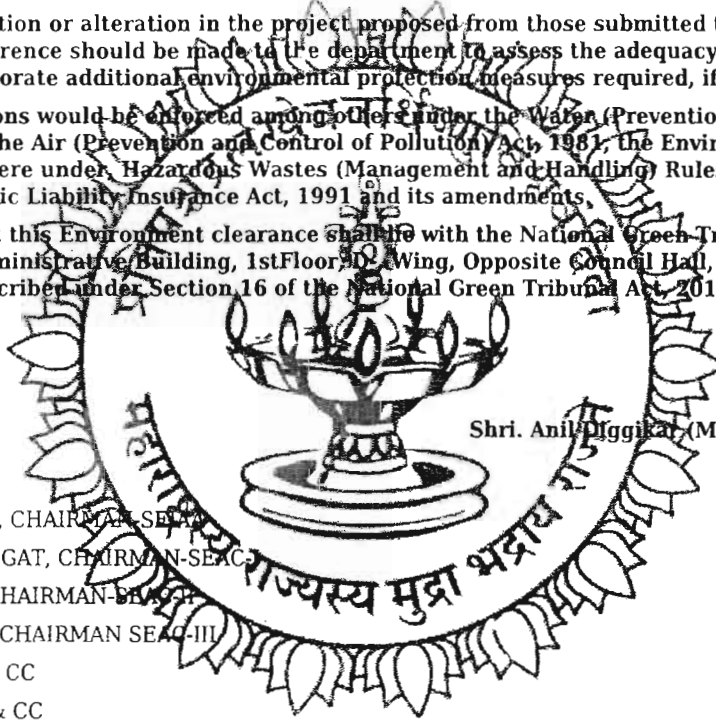
6. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.

7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, and amendments by MoEF&CC Notification dated 29th April, 2015.

8. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.

9. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

10. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.



Shri. Anil Diggikar (Member Secretary SEIAA)

Copy to:

1. SHRI JOHNY JOSEPH, CHAIRMAN SEIAA
2. SHRI UMAKANT DANGAT, CHAIRMAN-SEIAA
3. SHRI M.M.ADTANI, CHAIRMAN-SEIAA
4. SHRI ANIL .D. KALE. CHAIRMAN SEIAA-III
5. SECRETARY MOEF & CC
6. IA- DIVISION MOEF & CC
7. MEMBER SECRETARY MAHARASHTRA POLLUTION CONTROL BOARD MUMBAI
8. REGIONAL OFFICE MOEF & CC MUMBAI
9. MUNICIPAL COMMISSIONER MUMBAI
10. MUNICIPAL COMMISSIONER NAVI MUMBAI
11. REGIONAL OFFICE MPCB MUMBAI
12. REGIONAL OFFICE MPCA NAVI MUMBAI
13. REGIONAL OFFICE MIDC ANSHER
14. REGIONAL OFFICE MIDC KOPER KHAIRANE NAVI MUMBAI
15. MAHARASHTRA STATE ELECTRICITY DISTRIBUTION CO. LTD
16. COLLECTOR OFFICE MUMBAI
17. COLLECTOR OFFICE MUMBAI SUB-URBAN

**Government of
Maharashtra**

SEIAA Meeting No: 142 Meeting Date: October 10, 2018 (SEIAA-STATEMENT-0000001468)
SEIAA-MINUTES-0000000705
SEIAA-EC-0000000497

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14

Shri. Anil Diggikar (Member Secretary
SEIAA)



DEVELOPER COPY

Sr. No. 120

SLUM REHABILITATION AUTHORITY

Administrative Building, Anant Kanekar Marg, Bandra (east), Mumbai - 400051

MAHARASHTRA REGIONAL AND TOWN PLANNING ACT, 1966 (FORM "A")

NO GN/STGOVT/0005/20000503

Sale Bldg. No_3

COMMENCEMENT CERTIFICATE

To, M/s. Kay Bee Developers PVT. LTD
Hotel Bawa international
Near Domeshtic Arpot Vile Parle (E),
Mumbai + 99

09 JUN 2020

Sir,

With reference to your application No. 3236 dated 23/5/2015 for Development Permission and grant of Commencement Certificate under section 44 & 69 of the Maharashtra Regional Town Planning Act, 1966 to carry out development and building permission under section 45 of Maharashtra Regional and Town Planning Act, 1966 to erect a building on plot No. 4

C.T.S. No. 343(pt), 344(pt)

of vilage Dharavi Division T.P.No. _____
 ward G/N Situated at Dharavi Mumbai - 400017

The Commencement Certificate/Building Permit is granted subject to compliance of mentioned in LOI
 U/RNo. SRA/ENG/494/GN/GL/LOI dt. 11/03/2008
 IDA/U/RNo. SRA/ENG/X33241/GN/GL/AP dt. 05/02/2016
 and on following conditions.

1. The land vacated in consequence of endorsement of the setback line/road widening line shall form part of the Public Street.
2. That no new building or part thereof shall be occupied or allowed to be occupied or used or permitted to be used by any reason until occupancy permission has been granted.
3. The Commencement Certificate/Development permission shall remain valid for one year from the date of its issue. However the construction work should be commenced within three months from the date of its issue.
4. This permission does not entitle you to develop land which does not vest in you or in contravention of the provision of coastal Zone Management Plan.
5. If construction is not commenced this Commencement Certified is renewable every year but such extended period shall be in no case exceed three years provided further that such lapse shall not bar any subsequent application for fresh permission under section 44 of the Maharashtra Regional and Town Planning Act, 1966.
6. This Certificate is liable to be revoked by the C.E.O. (SRA) if:-
 - (a) The development work in respect of which permission is granted under this certificate is not carried out or the use thereof is not in accordance with the sanctioned plans.
 - (b) Any of the condition subject to which the same is granted or any of the restrictions imposed by the C.E.O. (SRA) is contravened or not complied with.
 - (c) The C.E.O. (SRA) is satisfied that the same is obtained by the applicant through fraud or misrepresentation and the applicant and every person deriving title through or under him in such an event shall be deemed to have carried out the development work in contravention of section 43 and 45 of the Maharashtra Regional and Town Planning Act 1966.
7. The conditions of this certificate shall be binding not only on the applicant but on his heirs, executors, assignees, administrators and successors and every person deriving title through or under him.

The C.E.O. (SRA) has appointed Shri Y. S. Dalvi
 Executive Engineer to exercise his powers and functions of the Planning Authority under section 45 of the said Act.

This C,C is granted for work up to Plinth Level

For and on behalf of Local Authority
 The Slum Rehabilitation Authority

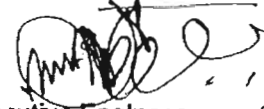
Executive Engineer (SRA)

FOR
 CHIEF EXECUTIVE OFFICER
 (SLUM REHABILITATION AUTHORITY)

SRA/ENG/3241/GN/GL/AP

03 JAN 2022

This C.C. is further extended upto 20th floor i.e. full height including LMR & OHWT of wing 'A' & 'B' and only R.C.C. frame structure upto full height i.e. 21st(pt) floor including LMR & OHWT with finishing work upto 16th upper floor of wing 'C' & 'D' as per amended plan dated 03/12/2021.



Executive Engineer
Slum Rehabilitation Authority

03/01



17. Remarks

VIDE CS NO. 182737 OF 1975 B.M.V.

--- (REED NO. 5691) ASSIGNMENT DT. 17-10-61 OF BEDEEC DT. 15-10-1961
(IN SBT NO. 1592 OF 1961) FROM L. N. IN COL. 17 CALLED THE ASSIGNEE
TO MURALI VARMA & LOBITI MITHA SURVIVING PARTNERS OF M/S ANANDJI
SANKI & CO. CALLED THE ASSIGNEES FOR RS. 500/- BE. SON OF RS. 70110/-
DUE TO THE ASSIGNEES UNDER THE BEDEEC AND MORTGAGE DT. 20-4-1953 &
ALL THE BENEFIT UNDER THE SAID MORTGAGE

MORTGAGE DT. 15-10-1961
NO. 173737/2/317
507-72-40.

- #
- * FARMHOUS SANKI & CO. (BROTHERS)
- * (SHRINIVAS TRAJEKRETT) AND
- * (MANSURUJI LALJI)
- * (MANSURUJI B. JAPRETI)
- * (MANSURUJI B. JAPRETI)
- * (MANSURUJI B. JAPRETI)

--- (REED NO. 1811) IN OF MORTGAGE DT. 24-12-58 FROM P. IN COL. 4 IN RESPC
-DT OF THE MORT DT. 12-8-55 TO Q. R. IN COL. 4 FOR RS. 20,000/-
507-15-537, 539-18-635.

NOTE:-
-S-100 C.S. NO. 17343 PL. SEE PAGE 37 701, 745

Name of applicant: MANSURUJI TRAJEKRETT
Date of application: 17/1/2022
For reference: M/S ANANDJI
Reference of Serial: 182737/2/317
Date of issue:

20 JAN 2022



THIS CHAPTER OF THE REGISTER IS
UNDER THE CONTROL OF THE REGISTRAR
AND NO. 100
20/01/2022
M/S ANANDJI TRAJEKRETT
MYSURU SURVEY CHARGES

--- (REED NO. 1811) IN OF MORTGAGE DT. 24-12-58 FROM P. IN COL. 4 IN RESPC
-DT OF THE MORT DT. 12-8-55 TO Q. R. IN COL. 4 FOR RS. 20,000/-
507-15-537, 539-18-635.



SEKHRI KANODIA & ASSOCIATES

Chartered Accountants

E-311, Crystal Plaza, New Link Road, Opp. Infinity Mall, Andheri(W), Mumbai 400053.

Tel: 022 4601 5373 E-mail – sekhri@skaindia.in || website - <http://www.skaindia.in>

ANNUAL REPORT OF STATEMENT OF ACCOUNTS (FORM 5)

To,
Kaybee Developers Private Limited
301/302, United Mansion No. 1,
3rd Floor, Parsiwada, Sahar road,
Vile Parle East, Mumbai – 400099

Subject – Report on Statement of Accounts on project fund deposit, utilization and withdrawal by KayBee developers Private Limited (herein referred to as “Promoter”) for the period from 01.04.2022 – 31.03.2023 to with respect to MahaRERA Regn Number P51900033922 (PHASE II).

1. This certificate is issued in accordance with the provisions of the Real Estate (Regulation and Development) Act, 2016 read along with the Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017.
2. We have obtained all necessary information and explanation from the Promoter, during our audit which in our opinion are necessary for the purpose of this certificate.
3. We hereby confirm that we have examined the prescribed registers, books and documents, and the relevant records of Promoter for the period ended 31.03.2023 and hereby certify that:

A. Deposits

Sr No.	Particulars	For the Fiscal Year	Total for this Project till date
1	Total amount collected from allottees	11,62,41,692	16,87,31,736
2	% of amount to be deposited as per act.	70%	70%
3	Amount to be deposited as per act (1*2)	8,13,69,184	11,81,12,215
4	Total amount deposited in the Designated Bank Account	7,94,98,981*	16,87,67,430
5	% of Amount deposited in the designated bank account (4/1*100)	142%	143%
6	Shortfall/Excess Deposit (3-4)	3,39,32,008	5,06,55,215

B. Withdrawals

Sr No	Particulars	For the Fiscal Year	Total for this Project till date
1	Opening Balance of Designated Bank Account	2,05,00,000	
2	Total Deposits	7,94,98,981	16,87,67,430
3	Total amount withdrawn	9,99,48,981	16,45,17,430



SEKHRI KANODIA & ASSOCIATES

Chartered Accountants

E-311, Crystal Plaza, New Link Road, Opp. Infinity Mall, Andheri(W), Mumbai 400053.
Tel: 022 4601 5373 E-mail – sekhri@skaindia.in || website - http://www.skaindia.in

4	Closing Balance	42,50,000	42,50,000
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C. Utilisation

We certify that, the promoter has utilized the amounts withdrawn from designated bank account towards project cost only as specified in the act.

D. Observation/Qualification

Sr No.	Observation/Qualification
1	Advance received from Unit holders of Rs 16,86,71,732 as mentioned in the Table C includes Rs 7,42,91,768 is advance received for Units transferred from from Phase I (Wing A & B) to phase II (wing C & D) and the same is deposited in the Designated Account of Project Aashiyaan -Phase I .
2	GST Amount of Rs 20,17,493 is reduced from the Gross amount received in Designated Bank Account and net amount is added to the amount withdrawn.
3	Amount received from Unitholders of Phase I (in the Bank Account of Phase I) who have transferred their booking from Phase I (Wing A & B) to Phase II (wing C & D) are totalling to Rs 3,32,61,892. The said amount is added to the amount withdrawn.
4	Rs 21,90,476 was wrongly deposited in the Bank Account of Phase I. The said amount is added to the amount withdrawn.

Thanking You

Yours Faithfully,

Sekhri Kanodia and Associates

Chartered Accountants

F. Reg No. 109839W

CA Yash
Kaushik
Shah

Digitally signed
by CA Yash
Kaushik Shah
Date: 2024.02.14
18:41:57 +05'30'

Partner

CA Yash Kaushik Shah

M. No. 187373

Date – 14.02.2024

Place – Mumbai

UDIN No. – 24187373BKAKVC2814

For KAYBEE DEVELOPERS PVT. LTD.

CIN : U45201MH2001PTC133642

Agreed and Accepted by

DIRECTOR

Kaybee Developers Private Limited

Date – 14.02.2024

Pinnacle \$ Summit



Maharashtra Real Estate Regulatory Authority

REGISTRATION CERTIFICATE OF PROJECT

FORM 'C'

[See rule 6(a)]

This registration is granted under section 5 of the Act to the following project under project registration number :
P5190000444

Project: Joyville Virar Phase 1, Plot Bearing / CTS / Survey / Final Plot No.: **390B at Vasai-Virar City (M Corp), Vasai, Palghar, 401303;**

1. **Joyville Shapoorji Housing Private Limited** having its registered office / principal place of business at **Tehsil: Mumbai City, District: Mumbai City, Pin: 400005.**

2. This registration is granted subject to the following conditions, namely:-

- The promoter shall enter into an agreement for sale with the allottees;
- The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
- The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub-clause (D) of clause (I) of sub-section (2) of section 4 read with Rule 5;

OR

That entire of the amounts to be realised hereinafter by promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated receivable of the project is less than the estimated cost of completion of the project.

- The Registration shall be valid for a period commencing from **17/07/2017** and ending with **30/06/2022** unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 5 of the Act read with rule 6.
- The promoter shall comply with the provisions of the Act and the rules and regulations made there under;
- That the promoter shall take all the pending approvals from the competent authorities

3. If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.

Signature valid
Digitally Signed by
Dr. Vasant Pramanand Prabhu
(Secretary, MahaRERA)
Date:09-09-2021 17:14:47

Dated: 09/09/2021
Place: Mumbai

Signature and seal of the Authorized Officer
Maharashtra Real Estate Regulatory Authority



Crest

Maharashtra Real Estate Regulatory Authority

REGISTRATION CERTIFICATE OF PROJECT

FORM 'C'

[See rule 6(a)]

This registration is granted under section 5 of the Act to the following project under project registration number : P99000013612

Project: Joyville Virar Phase 2 , Plot Bearing / CTS / Survey / Final Plot No.:390B at Vasai-Virar City (M Corp), Vasai, Palghar, 401303;

1. Joyville Shapoorji Housing Private Limited having its registered office / principal place of business at Tehsil: **Mumbai City, District: Mumbai City, Pin: 400005.**
2. This registration is granted subject to the following conditions, namely:-
 - The promoter shall enter into an agreement for sale with the allottees;
 - The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
 - The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub- clause (D) of clause (I) of sub-section (2) of section 4 read with Rule 5;
OR
That entire of the amounts to be realised hereinafter by promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated receivable of the project is less than the estimated cost of completion of the project.
 - The Registration shall be valid for a period commencing from 16/10/2017 and ending with 30/09/2022 unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 5 of the Act read with rule 6.
 - The promoter shall comply with the provisions of the Act and the rules and regulations made there under;
 - That the promoter shall take all the pending approvals from the competent authorities
3. If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.

Signature valid
Digitally Signed by
Dr. Vasant Pramanand Prabhu
(Secretary, MahaRERA)
Date:09-09-2021 13:28:32

Dated: 09/09/2021
Place: Mumbai

Signature and seal of the Authorized Officer
Maharashtra Real Estate Regulatory Authority



Palm Grove

Maharashtra Real Estate Regulatory Authority

REGISTRATION CERTIFICATE OF PROJECT

FORM 'C'

[See rule 6(a)]

This registration is granted under section 5 of the Act to the following project under project registration number :
P99000018521

Project: Joyville Virar Phase 3, Plot Bearing / CTS / Survey / Final Plot No.:390B at Vasai-Virar City (M Corp), Vasai, Palghar, 401303;

1. **Joyville Shapoorji Housing Private Limited** having its registered office / principal place of business at *Tehsil: Mumbai City, District: Mumbai City, Pin: 400005.*
2. This registration is granted subject to the following conditions, namely:-
 - The promoter shall enter into an agreement for sale with the allottees;
 - The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
 - The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub- clause (D) of clause (1) of sub-section (2) of section 4 read with Rule 5;
OR
That entire of the amounts to be realised hereinafter by promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated receivable of the project is less than the estimated cost of completion of the project.
 - The Registration shall be valid for a period commencing from **12/11/2018** and ending with **31/12/2022** unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 5 of the Act read with rule 6.
 - The promoter shall comply with the provisions of the Act and the rules and regulations made there under;
 - That the promoter shall take all the pending approvals from the competent authorities
3. If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.

Signature valid
Digitally Signed by
Dr. Vasant Pramanand Prabhu
(Secretary, MahaRERA)
Date:11/12/2018 12:09:50 PM

Dated: 12/11/2018
Place: Mumbai

Signature and seal of the Authorized Officer
Maharashtra Real Estate Regulatory Authority



Maharashtra Real Estate Regulatory Authority

CERTIFICATE FOR EXTENSION OF REGISTRATION OF PROJECT

FORM 'F'

[See rule 7(2)]

This extension of registration is granted under section 6/7 of the Act, to the following project: *Project: Joyville Virar Phase 3, Plot Bearing / CTS / Survey / Final Plot No.: 390B at Vasai-Virar City (M Corp), Vasai, Palghar, 401303* registered with the regulatory authority vide project registration certificate bearing No P99000018521 of

1. **Joyville Shapoorji Housing Private Limited** having its registered office / principal place of business at *Tehsil: Mumbai City, District: Mumbai City, Pin: 400005.*

2. This renewal of registration is granted subject to the following conditions, namely:-

- The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 (2) of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
- The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub-clause (D) of clause (l) of sub-section (2) of section 4 read with Rule 5;

OR

That entire of the amounts to be realised hereinafter by me/promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated receivable of the project is less than the estimated cost of completion of the project.

- The registration shall be valid up to **30/12/2024** unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 6/7 of the Act read with rule 7 the Act.
- The promoter shall comply with the provisions of the Act and the rules and regulations made there under;
- That the promoter shall take all the pending approvals from the competent authorities
- If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.

Dated: 09/09/2021

Place: Mumbai

Signature valid
Digitally Signed by
Dr. Vasant Premchand Prabhu
Secretary, Maharashtra
Date: 09/09/2021 21:49:15
Maharashtra Real Estate Regulatory Authority



Maharashtra Real Estate Regulatory Authority

REGISTRATION CERTIFICATE OF PROJECT

FORM 'C'

[See rule 6(a)]

palm meadow-2

This registration is granted under section 5 of the Act to the following project under project registration number :
P99000019538

Project: **Joyville Virar Phase 4** , Plot Bearing / CTS / Survey / Final Plot No.: 390 B at **Vasai-Virar City (M Corp), Vasai, Palghar, 401303;**

1. **Joyville Shapoorji Housing Private Limited** having its registered office / principal place of business at **Tehsil: Mumbai City, District: Mumbai City, Pin: 400005.**

2. This registration is granted subject to the following conditions, namely:-

- The promoter shall enter into an agreement for sale with the allottees;
- The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
- The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub- clause (D) of clause (I) of sub-section (2) of section 4 read with Rule 5;

OR

That entire of the amounts to be realised hereinafter by promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated receivable of the project is less than the estimated cost of completion of the project.

- The Registration shall be valid for a period commencing from **08/02/2019** and ending with **30/01/2024** unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 5 of the Act read with rule 6.
- The promoter shall comply with the provisions of the Act and the rules and regulations made there under;
- That the promoter shall take all the pending approvals from the competent authorities

3. If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.

Signature valid
Digitally Signed by
Dr. Vasant Pramanand Prabhu
(Secretary, MahaRERA)
Date:09-09-2021 13:53:47

Dated: **09/09/2021**
Place: **Mumbai**

Signature and Seal of the Authorized Officer
Maharashtra Real Estate Regulatory Authority



palm meadows-1

Maharashtra Real Estate Regulatory Authority

REGISTRATION CERTIFICATE OF PROJECT

FORM 'C'

[See rule 6(a)]

This registration is granted under section 5 of the Act to the following project under project registration number : P99000019531

Project: Joyville Virar Phase 5, Plot Bearing / CTS / Survey / Final Plot No.: 390 B at Vasai-Virar City (M Corp), Vasai, Palghar, 401303;

1. Joyville Shapoorji Housing Private Limited having its registered office / principal place of business at Tehsil: Mumbai City, District: Mumbai City, Pin: 400005.
2. This registration is granted subject to the following conditions, namely:-
 - The promoter shall enter into an agreement for sale with the allottees;
 - The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
 - The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub- clause (D) of clause (I) of sub-section (2) of section 4 read with Rule 5;
OR
That entire of the amounts to be realised hereinafter by promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated receivable of the project is less than the estimated cost of completion of the project.
 - The Registration shall be valid for a period commencing from 08/02/2019 and ending with 28/08/2023 unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 5 of the Act read with rule 6.
 - The promoter shall comply with the provisions of the Act and the rules and regulations made there under;
 - That the promoter shall take all the pending approvals from the competent authorities
3. If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.

Signature valid
Digitally Signed by
Dr. Vasant Premchand Prabhu
(Secretary, MahaRERA)
Date:09-09-2021 13:54:19

Dated: 09/09/2021
Place: Mumbai

Signature and seal of the Authorized Officer
Maharashtra Real Estate Regulatory Authority



palm spring

Maharashtra Real Estate Regulatory Authority

REGISTRATION CERTIFICATE OF PROJECT

FORM 'C'

[See rule 6(a)]

This registration is granted under section 5 of the Act to the following project under project registration number :
P99000031256

Project: Joyville Virar Phase 6, Plot Bearing / CTS / Survey / Final Plot No.: Part and Parcel of 297/2, 298/6, 390B at Vasai-Virar City (M Corp), Vasai, Palghar, 401303;

1. Joyville Shapoorji Housing Private Limited having its registered office / principal place of business at **Tehsil: Mumbai City, District: Mumbai City, Pin: 400005.**

2. This registration is granted subject to the following conditions, namely:-

- The promoter shall enter into an agreement for sale with the allottees;
 - The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
 - The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub- clause (D) of clause (l) of sub-section (2) of section 4 read with Rule 5;
- OR

That entire of the amounts to be realised hereinafter by promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated receivable of the project is less than the estimated cost of completion of the project.

- The Registration shall be valid for a period commencing from **15/10/2021** and ending with **31/03/2025** unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 5 of the Act read with rule 6.
 - The promoter shall comply with the provisions of the Act and the rules and regulations made there under;
 - That the promoter shall take all the pending approvals from the competent authorities
3. If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.



Signature valid
Digitally Signed by
Dr. Vasant Pramanand Prabhu
(Secretary, MahaRERA)
Date: 31-07-2023 15:52:37

Dated: 31/07/2023

Place: Mumbai

Signature and seal of the Authorized Officer
Maharashtra Real Estate Regulatory Authority