

390/2430

पावती

Original/Duplicate

Monday, February 05, 2024

नोंदणी क्र.: 39म

6:30 PM

Regn.: 39M

पावती क्र.: 2616

दिनांक: 05/02/2024

गावाचे नाव: चेंबूर

दस्तऐवजाचा अनुक्रमांक: करल3-2430-2024

दस्तऐवजाचा प्रकार: करारनामा

मादर करणाऱ्याचे नाव: छाया प्रकाश आंबुलकर -

नोंदणी फी

रु. 30000.00

दस्त हाताळणी फी

रु. 2680.00

पृष्ठांची संख्या: 134

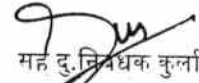
**DELIVERED**

एकूण:

रु. 32680.00

आपणाम मूळ दस्त, थंबनेल प्रिंट, मूची-२ अंदाजे

6:49 PM ह्या वेळेस मिळेल.

  
मह. दु. निबंधक कुर्ला - ३

वाजार मुल्य: रु. 5304195.325 /-

मोबदला रु. 6800000/-

भरलेले मुद्रांक शुल्क : रु. 408000/-

**सह. दुय्यम निबंधक  
कुर्ला-३ (वर्ग-२)**

1) देयकाचा प्रकार: DHC रकम: रु. 680/-

डीडी/धनादेश/पे ऑर्डर क्रमांक: 0224054614917 दिनांक: 05/02/2024

बँकेचे नाव व पत्ता:

2) देयकाचा प्रकार: DHC रकम: रु. 2000/-

डीडी/धनादेश/पे ऑर्डर क्रमांक: 0224054213593 दिनांक: 05/02/2024

बँकेचे नाव व पत्ता:

3) देयकाचा प्रकार: eSBTR/SimpleReceipt रकम: रु. 30000/-

डीडी/धनादेश/पे ऑर्डर क्रमांक: MH014999320202324S दिनांक: 05/02/2024

बँकेचे नाव व पत्ता: IDBI



**DELIVERED**

मूल्यांकन पत्रक ( शहरी क्षेत्र - बांधीव )					
Valuation ID	202402059482			05 February 2024,05:48:49 PM	
मूल्यांकनाचे वर्ष	2023				
जिल्हा	मुंबई(उपनगर)				
मूल्य विभाग	98-चेंबूर - कुर्ला				
उप मूल्य विभाग	भुभाग: उत्तरेस द्रुतगती मार्ग, पुर्वेस वॉर्ड सीमा व गाव सीमा, दक्षिणेस रेल्वे व पश्चिमेस रामकृष्ण चेंबूरकर मार्गाचा अमर महाल जवळील जंक्शन.				
सर्व्हे नंबर /न. भू. क्रमांक :	सि.टी.एस. नंबर#708				
वार्षिक मूल्य दर तक्त्यानुसार मूल्यदर रु.					
खुली जमीन	निवासी	कार्यालय	दुकाने	औद्योगिक	मोजमापनाचे एकक
65410	147250	169330	184060	147250	चौरस मीटर
बांधीव क्षेत्राची माहिती					
बांधकाम क्षेत्र(Built Up)-	32.747चौरस मीटर	मिळकतीचा वापर-	निवासी सदनिका	मिळकतीचा प्रकार-	बांधीव
बांधकामाचे वर्गीकरण-	1-आर सी सी	मिळकतीचे वय-	0 TO 2वर्षे	बांधकामाचा दर -	Rs.30250/-
उद्दवाहन सुविधा-	आहे	मजला -	11th floor To 20th floor		
रस्ता सन्मुख -					
Sale Type - First Sale					
Sale/Resale of built up Property constructed after circular dt.02/01/2018					
मजला निहाय घट/वाढ	= 110% apply to rate= Rs.161975/-				
घसा-यानुसार मिळकतीचा प्रति चौ. मीटर मूल्यदर	=(((वार्षिक मूल्यदर - खुल्या जमिनीचा दर) * घसा-यानुसार टक्केवारी)+ खुल्या जमिनीचा दर)				
	= (((161975-65410) * (100 / 100)))+65410)				
	= Rs.161975/-				
A) मुख्य मिळकतीचे मूल्य	= वरील प्रमाणे मूल्य दर * मिळकतीचे क्षेत्र				
	= 161975 * 32.747				
	= Rs.5304195.325/-				
Applicable Rules	= ,10,4				
एकत्रित अंतिम मूल्य	= मुख्य मिळकतीचे मूल्य +तळघराचे मूल्य + मेईनार्डन मजला क्षेत्र मूल्य + लगतच्या गच्चीचे मूल्य + वरील गच्चीचे मूल्य + बंदिस्त वाहन तळाचे मूल्य + खुल्या जमिनीवरील वाहन तळाचे मूल्य + इमारती भोवतीच्या खुल्या जागेचे मूल्य + बंदिस्त बाल्कनी + भूकेंद्रीकल वाहनतळ				
	= A + B + C + D + E + F + G + H + I + J				
	= 5304195.325 + 0 + 0 + 0 + 0 + 0 + 0 + 0 + 0 + 0				
	=Rs.5304195.325/-				

Home

Print

सह. मुख्य निबंधक  
कुर्ला-३ (वर्ग-२)

करल - ३

2024 19 03  
2028



महाराष्ट्र शासन  
GOVERNMENT OF MAHARASHTRA  
ई-सुरक्षित बँक व कोषागार पावती  
e-SECURED BANK & TREASURY RECEIPT (e-SBTR)

19530556244963

Bank/Branch: IBKL - 6910504/MUMBAI - FORT  
Pmt Txn id : 737647261  
Pmt DtTime : 03-FEB-2024@13:36:58  
ChallanIdNo: 69103332024020350353  
District : 7101-MUMBAI  
Stationery No: 19530556244963  
Print DtTime : 03-FEB-2024 16:23:35  
GRAS GRN : MH014999320202324S  
Office Name : IGR199-KRL3 JT SUB REGI  
GRN Date : 03-Feb-2024@13:36:59

StDuty Schm: 0030045501-75/STAMP DUTY  
StDuty Amt : R 4,08,000/- (Rs Four, Zero Eight, Zero Zero Zero only)

RgnFee Schm: 0030063301-70/Registration Fees  
RgnFee Amt : R 30,000/- (Rs Three Zero, Zero Zero Zero only)

Article : B25--Agreement to sell/Transfer/Assignment  
Prop Mvblty: Immovable Consideration: R 68,00,000/-  
Prop Descr : FLAT NO 1104, A WING 11TH FLR, VARDHAN HEIGHTS, CTS NO 710 711, P L LOK  
HANDE RD, CHEMBUR, MUMBAI, Maharashtra, 400089  
Duty Payer: PAN-AAHFV2226L, VARDHAN HOUSING

Other Party: PAN-AWGPA9028E, CHHAYA PRAKASH AMBULKAR

Bank official1 Name & Signature



Bank official2 Name & Signature

--- Space for customer/office use --- Please write below this line ---

Chhaya  
5/2/24

Dr  
5/2/24



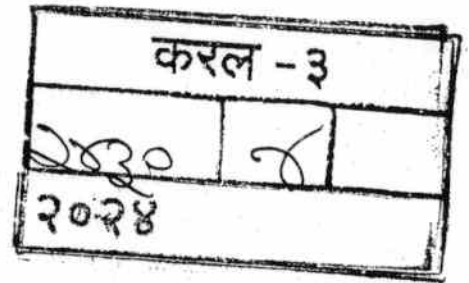
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Department of Stamp & Registration, Maharashtra	
Receipt of Document Handling Charges	
PRN 0224054213593	Date 05/02/2024
Received from CHHAYA PRAKASH AMBULKAR, Mobile number 9833759297, an amount of Rs.2000/-, towards Document Handling Charges for the Document to be registered(iSARITA) in the Sub Registrar office Joint S.R. Kurla 3 of the District Mumbai Sub-urban District.	
Payment Details	
Bank Name SBIN	Date 05/02/2024
Bank CIN 10004152024020512945	REF No. 403627055838
This is computer generated receipt, hence no signature is required.	

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Department of Stamp & Registration, Maharashtra			
Receipt of Document Handling Charges			
PRN	0224054614917	Date	05/02/2024
Received from CHHAYA PRAKASH AMBULKAR, Mobile number 9833759297, an amount of Rs.680/-, towards Document Handling Charges for the Document to be registered(iSARITA) in the Sub Registrar office Joint S.R. Kurla 3 of the District Mumbai Sub-urban District.			
Payment Details			
Bank Name	SBIN	Date	05/02/2024
Bank CIN	10004152024020514262	REF No.	403628463848
This is computer generated receipt, hence no signature is required.			



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AGREEMENT FOR SALE

**THIS ARTICLES OF AGREEMENT** made and entered into at Mumbai this 05<sup>th</sup> day of February in the Christian year Two Thousand Twenty-Four.

**AMONGST/BETWEEN**

**M/S. VARDHAN HOUSING** (PAN No. AAHFV2226L) a Partnership Firm duly registered under the provisions of the Partnership Act, 1932 through its authorized partner Mr. Ashok B. Vardhan, having its registered office at Shop No.7, Ground Floor, Surya Mahal, 5 B B Marg, off N M Road, Fort, Mumbai 400 001 and hereinafter referred to as **"THE DEVELOPER/PROMOTER"** (which expression unless it be repugnant to the context of the meaning thereof shall be deemed to mean and include all persons

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AND

Mrs. Chhaya Prakash Ambulkar (PAN No. AWGPA9028E) And Mr. Prakash Sadashiv Ambulkar (PAN No. ALKPA6956C) And Mr. Gauresh Prakash Ambulkar (CEDPA9795M) having address at Vasantrao Naik Marg, Near Netaji Nagar, CEN- 626, Old Ramabai Sahakar Nagar, Sadguru Chal, Ghatkopar East, Mumbai - 400077., here in after referred to as **"PURCHASER'S** (which expression shall unless repugnant to the context or meaning thereof, be deemed to mean and include his/her/their heirs,



Administrators and permitted assigns) of the **SECOND**

piece and parcel of land admeasuring 4704.975 sq. mtrs. bearing C.T.S. No.708 (Pt), 709, 709/1 to 11, 710, 710/1 to 23, 711, 711/1 to 14, 712, 712/1 to 7, 715/1 to 36, 715/37, 716 and land under Nila-Mutha line of Village Chembur, Tal. Kurla at P.L. Lokhande Marg, Mumbai 400 089 was declared as a Slum Area and censused under section 4(1) of the Maharashtra Slum Areas (Improvement, Clearance and Redevelopment Act) 1971 as amended upto date vide Notification No. SLM/1075/5280/G dt. 11/9/1975 under Govt. Gazette Notification dated 18<sup>th</sup> September, 1975 (hereinafter referred to as **"the said property"**);

B) The said property was in use, occupation and in possession of inhabitants/occupants of Shantis/Zhopadas constructed thereon and as the said inhabitants/occupants were living in hutments and the inhabitants/occupants decided to form a proposed Society in the name and style of Dr. Babasaheb Ambedkar (S.R.A.) CHS Ltd. (Proposed) ( which society has now

registered with Registration No. MUM / SRA/

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H.S.G./T.C./12631/ dt. 20.8.15) and decided to redevelop the said land under D.C.R. 33(10) by appointing suitable Developer;

C) Thereafter, the said Dr. Babasaheb Ambedkar (S.R.A.) CHS Ltd. called for its General Body Meeting on 15<sup>th</sup> December, 2013 and by overwhelming majority resolved to appoint M/s. Vardaan Housing as Developers to implement the Slum Rehabilitation Scheme under D.C.R. 33(10) amended upto date on the said property and thereafter executed the Development Agreement and Irrevocable Power of Attorney both dated 15<sup>th</sup> January, 2014 and also executed Common Irrevocable Consent for redevelopment in favour of the Developer/Promoter herein.



D) Meanwhile the process of Land Acquisition of the said property in use and occupation of the members of Dr. Babasaheb Ambedkar (S.R.A.) CHS Ltd. was initiated u/s.14 of Maharashtra Slum Areas (Improvement, Clearance and Redevelopment Act) 1971 as amended upto date at the cost of Developer/Promoter herein who have paid monetary compensation in the sum of Rs.8,17,200/- (Rupees Eight Lakhs Seventeen Thousand Two Hundred Only) to the Collector/State Government for said Land Acquisition and the Property Card in respect of the said property has been duly mutated in the name of Slum Rehabilitation Authority (SRA);

E) In the premise, the Developer/Promoter herein is absolutely entitled to develop and implement Slum Rehabilitation Scheme under D.C.R. 33(10) on



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715/37, 716 and 717 under Nila-Mutha line of Village Chembur, Tal. Kurla at P.L. Lokhande Marg, Mumbai 400 089 which is more particularly described in the First Schedule hereunder written;

F) A certificate of title dated 16th October, 2017 issued by Mr. Sharad Wakchoure, Advocate in respect of the said property is hereto annexed and marked as **Annexure "A"**;

G) The Developer/Promoter is in possession of the said property and propose to construct 2 building/s on the said property in the manner as per the plans approved or to be approved by the concerned authority with such amendments and alternations as may be permitted by the authorities concerned. The Developer at

present is constructing 2 buildings. The first building named and styled as **VARDHAN HEIGHTS** is Sale Building with proposed Basement, Ground and 22 upper Floors and 2<sup>nd</sup> Building named and styled as Dr. Babasaheb Ambedkar (SRA) CHS Ltd. is Ground and 17 upper Floors Building. In the said building 16 floors are for the rehabilitation of existing tenaments. The 17<sup>th</sup> Floor of the said building is for free sale. The Developer has informed the Allottee that at present the Developer has received No Objection certificate (NOC) from Civil Aviation Authority for carrying out construction upto 56.90 mtrs. from sea level which enables the developer to construct at present Basement, Ground and 17 upper floors. The Developers intend to apply to Civil Aviation Authority for NOC to construct additional 15 mtrs. of construction which would enable the developer to construct additional 5 floors, thus making the building Basement, Ground floor and 22 upper floors. The Developer has further informed that in case of non grant of additional height from Civil Aviation Authority, the Developer will

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construct Basement, Ground and 17 upper floors only and apply for Occupation Certificate (OC).

H) The Developer/Promoter by itself or through or with the nominees or associate or group sister concern/s are entitled to have acquired and/or propose to acquire and/or develop nearby lands/properties which are contiguous, adjacent and adjoining the said property and enter into such arrangement agreement as they may deem fit with the holders thereof and amalgamate such lands and properties with the said property and/or sub divide the same and/or include the same in the presently sanctioned scheme in the manner as they may deem fit. Accordingly, whenever necessary, the sanctioned layout has been amended from time to time and will be further amended. The Purchaser(s) has been explained the proposed Common Layout Plans and the Purchaser(s) has given his free and informed consent for the changes as may be necessary in the Buildings Plans and in the Common Layout Plan.



I) In view of the aforesaid, reference to the entire project in this Agreement, shall be deemed to mean and include the development of the entire slum area either nearby contiguous, adjacent and adjoining or at a distance being the properties acquired/may be acquired in future and construction thereon wherever the context so permits or requires as part of the said entire Project;

J) The Developer/Promoter has entered into a standard

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Council of Architects and such Agreement is as per the Agreement prescribed by the Council of Architects.

K) The Developer/Promoter has also appointed **M/s. Paras Consultant**, as Structural Engineer for preparation of structural designs and drawings of the said Buildings (as defined hereinafter);

L) The Purchaser has accepted the professional supervision of the licensed surveyor and the above referred Structural Engineers and or a other architect or structural engineer, who appointed by the Developer/Promoter till the completion of development on the said property and for the purpose of construction and completion of the said Buildings;

M) The Developer/Promoter had submitted plans to the Slum Rehabilitation Authority for the development of the said property and have received the following approvals;

(i) Letter of Intent (LOI) bearing No.SRA/ ENG/ 2323/ ME/STGL/LOI dated 27<sup>th</sup> October, 2021 in respect of the said property. A copy of the said Letter of Intent dated 27<sup>th</sup> October, 2021 is hereto annexed as **Annexure "B"**;

(ii) Intimation of Approval ("IOA") bearing No. SRA/ENG/3266/MW/STGL/AP dated 27<sup>th</sup> November, 2015 in respect of rehab building namely **Dr Babasaheb Ambedkar (SRA) CHS LTD**. A copy of the said Intimation of Approval dated 27<sup>th</sup> November, 2015 is hereto annexed as **Annexure "C"**;

(iii) Intimation of Approval ("IOA") bearing No. SRA/ ENG/ME/STGOVT/0051/20100222/AP/S dated 11<sup>th</sup> August, 2022 in respect of sale building namely **Vardhan Heights**. A copy

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of the said Intimation of Approval dated 11th August, 2022 is hereto annexed as **Annexure "D"**;

(iv) Commencement Certificate ("CC") bearing No. SRA/ENG/3266/MW/STGL/AP dated 22.05.2017 in respect of the rehab building namely "**Dr. Babasaheb Ambdekar (SRA) CHS LTD**". A copy of the said Commencement Certificate dated 27th May, 2017 is hereto annexed as **Annexure "E"**;



(v) Commencement Certificate ("CC") bearing No. ME/STGOVT/0051/2010 0222/AP/S dated 04.08.2018 in respect of the Sale building namely "**Vardhan Heights**". A copy of the said Commencement Certificate dated 04th August, 2018 is hereto annexed as **Annexure "F"**;

N) Accordingly, the Promoter has, inter-alia, proposed the construction of a multi-storeyed building/s being Basement, Ground and having 22 upper Floors namely "**Vardhan Heights**" and 17th Floor of Rehab Building namely "**Dr. Babasaheb Ambdekar (SRA) CHS LTD**". The Ground floor of "**Vardhan Heights**" is proposed to be used for commercial as well as residential purposes while the upper floors are for residential purpose. The said building shall be known as "**VARDHAN HEIGHTS**". The Developer/Promoter shall obtain the remaining approvals from various authorities from time to time, so as to obtain Building Completion Certificate or Occupancy Certificate of the said building;

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...in comprises of Basement, Ground and 17 upper floors  
 (hereinafter referred to as "the said Wings");

P) The said building is being constructed on a part/portion of the said property as shown on the plan hereto annexed and marked as Annexure "G" as surrounded by red coloured boundary lines;

The Developer/Promoter intends that an Apex/Federal Association/ Association of all such separate Organizations will be formed (hereinafter referred to as "Apex/Federal Organization") which will look after, manage and maintain the common areas, common roads, common service lines including drainage, gas, electric water pipe lines, cable and other service lines, common amenities, common garden in the said entire Project. The Purchaser/s along with other buyers of apartments in the said Wing/s/building/s shall, join in formation and registration of a Co-operative Society or a Limited Company or an Association of Apartment Owners or other body corporate as the case may be (herein referred to as "the said Organization"). The Developer/Promoter intends to convey and transfer the said property together with the said Wing/s the said building in accordance with the applicable law, either by way of assignment / lease or otherwise, as may be permissible under applicable laws, of a proportionate interest in the said property whether in whole or in part to one or more organization as may be thought fit at the relevant point of time in the circumstances of the case;



*Handwritten signature and scribbles at the bottom of the page.*

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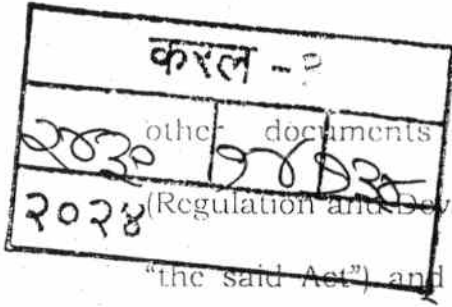
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R) It is clarified that though a Lease conveyance of the proportionate interest in the said property will be executed in favour of the Organization after the entire said property is fully developed, however for the purpose of amendment to the sanctioned layout on account of amalgamation of certain additional slum area into the sanctioned scheme the said property shall continue to be part of layout for the purpose of calculation of the Floor Space Index (FSI) thereof including any increase thereunder under any scheme or project of Central/ State Government, or of the Slum Rehabilitation Authority or Municipal Corporation for Greater Mumbai or any other authorities, whether in force or proposed or otherwise and the benefit of FSI/TDR that is transferred and permitted to be consumed (whether on the date hereof or at any time hereafter) in relation to the said entire Project is consumed fully;



S) The Developer/Promoter has sole and exclusive right to sell the Apartments in the said Building/s to be constructed by the Developer/Promoter on the said property and to enter into Agreement/s with the Purchaser(s)/Allottee(s) of the Apartments and to receive and appropriate the sale consideration in respect thereof;

T) The Purchaser(s)/Allottee(s) has/have taken full, free and complete inspection of all the documents of title relating to the said property, sanctions, permissions, approvals, including the sanctioned plans and the proposed common layout plan with adjoining lands/plots and also the designs, specifications of the



other documents as are specified under the Real Estate (Regulation and Development) Act, 2016 (hereinafter referred to as "the said Act") and the Rules and Regulations made thereunder including all the documents mentioned in this Agreement and the Purchaser/s has/have fully satisfied himself/ herself/ themselves/itself about the same;

U) The Purchaser is desirous of purchasing a residential Apartment bearing No. 1104 admeasuring 29.77 square meters equivalent to 320.44 square feet carpet area on the 1<sup>st</sup> floor of the 'A' Wing of the "Vardhan Heights" building (the said Apartment") on the terms and conditions and the consideration specified hereinafter; The carpet area of the said Apartment mentioned above is as per the provisions of said RERA Act;



V) The Parties relying on the confirmation, representations and assurances of each other to faithfully abide by all the terms, conditions and stipulations contained in this Agreement and all applicable laws and the Purchaser(s), having perused all the necessary documents, deeds, and writings related to title of the Developer/Promoter to the said property and the said building along with all other documents as specified in the said Act and under this Agreement, and after being fully informed and satisfied about the same, as also about the status, approvals, sanctions and the plans in respect of the said Wing and the said building, is/are desirous of purchasing from the Developer/Promoter the said Apartment on the terms and conditions and the consideration specified hereinafter.

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W) Prior to the execution of these presents the Purchaser has paid to the Developer/Promoter a sum of Rs. **15,32,000/- (Rupees Fifteen Lakhs Thirty Two Thousand Only)** being booking amount for the Apartment agreed to be sold by the Developer/ Promoter to the Purchaser (the payment and receipt whereof the Developer/Promoter doth hereby admit and acknowledge) and the Purchaser has agreed to pay to the Developer/Promoter the balance of the sale consideration in the manner hereinafter appearing;



X) The Developer/Promoter has registered the Project under the provisions of the Act with the Real Estate Regulatory Authority bearing Registration No. **P51800014198**;

Y) Under section 13 of the said Act, the Developer/Promoter is required to execute a written Agreement for Sale of the said Apartment with the Purchaser(s), being in fact these presents and also to register said Agreement under the Registration Act, 1908;

Z) In accordance with the terms and conditions set out in this Agreement and as mutually agreed upon by and between the Parties, the Developer/Promoter hereby agrees to sell and the Purchaser hereby agrees to purchase the said Apartment.

**NOW THIS AGREEMENT WITNESSETH AND IT IS HEREBY AGREED, DECLARED, AND CONFIRMED BY AND BETWEEN THE PARTIES HERETO AS FOLLOWS:**

1. The Promoter shall construct the said building



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by the concerned local authority from time to time. Provided that the Promoter shall have to obtain prior consent in writing of the Allottee in respect of variations or modifications which may adversely affect the Apartment of the Allottee except any alteration or addition required by any Government authorities or due to change in law.

1(a)

(i) The Allottee hereby agrees to purchase from the Promoter and



Promoter hereby agrees to sell to the Allottee Apartment No. type ONE BHK of carpet area admeasuring 29.77 sq.

fters on 11th Floor in the building "VARDHAN HEIGHTS" "A"

hereinafter referred to as "the Apartment") as shown in the

floor plan thereof hereto annexed and marked "Annexures - I" for

the consideration of Rs. 68,00,000/- (Rupees Sixty Eight Lakhs

Only) , the nature, extent and description of the common areas

and facilities which are more particularly described in the Second

Schedule annexed herewith.

(ii) The Allottee hereby has opted not to purchase from the Promoter any parking Space (being constructed in the layout).

1(b) The total aggregate consideration amount for the apartment Rs. 68, 00,000/-

1(c) The Allottee has paid on or before execution of this agreement a sum of Rs. 15,32,000/- (Rupees Fifteen Lakhs Thirty Two Thousand Only) as advance payment or application fee and hereby agrees to pay to that Promoter the balance amount of Rs. 52,68,000/- (Rupees Fifty Two Lakhs Sixty Eight Thousand Only) in the following manner: -

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**SCHEDULE OF PAYMENT**

Sr. No.	Stage of Payment	%	Amount (Rs)
1	Before Execution of this Agreement	10%	6,80,000.00
2	On Completion of Bottom Slab of Basement	15%	10,20,000.00
3	On Completion of the plinth of the building in which the said apartment is located	20%	13,60,000.00
4	On completion of the 1 <sup>st</sup> slab	2.5%	1,70,000.00
5	On completion of the 3 <sup>rd</sup> slab	2.5%	1,70,000.00
6	On completion of the 5 <sup>th</sup> slab	2.5%	1,70,000.00
7	On completion of the 7 <sup>th</sup> slab	2.5%	1,70,000.00
8	On completion of the 11 <sup>th</sup> slab	2.5%	1,70,000.00
9	On completion of the 11 <sup>th</sup> slab	2.5%	1,70,000.00
10	On completion of the 14 <sup>th</sup> slab	2.5%	1,70,000.00
11	On completion of the 16 <sup>th</sup> slab	2.5%	1,70,000.00
12	On completion of the 17 <sup>th</sup> slab	2.5%	1,70,000.00
13	On completion of the 18 <sup>th</sup> slab	2.5%	1,70,000.00
14	On Completion of the walls of the said Apartment	5%	3,40,000.00
15	On Completion of the staircases, lift wells up to the floor level of the said apartment	5%	3,40,000.00
16	on completion of the external plaster up to the floor in which the said Apartment is located.	5%	3,40,000.00
17	on completion of the lifts	10%	6,80,000.00
18	At the time of handing over of the possession of the Apartment to the Allottee on or after receipt of occupancy certificate	5%	3,40,000.00
	<b>TOTAL</b>	<b>100%</b>	<b>68,00,000.00</b>

**1(d)** The Total Price above excludes Taxes (consisting of tax paid or payable by the Promoter by way of Value Added Tax, Service Tax, GST and Cess or any other similar taxes which may be levied, in connection with the construction of and carrying out the Project payable by the Promoter) up to the date of handing over the possession of the Apartment.

**1(e)** The Total Price is escalation-free, save and except escalations/increases, due to increase on account of development

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The Promoter undertakes and agrees that while raising a demand on the Allottee for increase in development charges, cost, or levies imposed by the competent authorities etc., the Promoter shall enclose the said notification/order/rule/regulation published/issued in that behalf to that effect along with the demand letter being issued to the Allottee, which shall only be applicable on subsequent payments.



The Promoter may allow, in its sole discretion, a rebate for early payments of equal instalments payable by the Allottee by discounting such early payments @ 10.50 % per annum for the period when the respective instalment has been preponed. The promoter for allowing rebate and such rate of rebate shall not be subject to any revision/withdrawal, once granted to an Allottee by the Promoter.

1(g) The Promoter shall confirm the final carpet area that has been allotted to the Allottee after the construction of the Building is complete and the occupancy certificate is granted by the competent authority, by furnishing details of the changes, if any, in the carpet area, subject to a variation cap of three percent.

The total price payable for the carpet area shall be recalculated upon confirmation by the Promoter. If there is any reduction in the carpet area within the defined limit then Promoter shall refund the excess money paid by Allottee within forty-five days with annual interest at the rate specified in the Rules, from the date when such an excess amount was paid by the Allottee. If there is any increase in the carpet area allotted to Allottee, the Promoter shall demand additional amount from the Allottee as per the next milestone of the Payment Plan. All these monetary adjustments shall be made

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at the same rate per square meter as agreed in Clause 1(a) of this Agreement.

1(h) The Allottee authorizes the Promoter to adjust/appropriate all payments made by him/her under any head(s) of dues or lawful outstanding, if any, in his/her name as the Promoter in its sole discretion deem fit and the Allottee undertakes to object/demand/direct the Promoter to adjust his payments in manner.



2.1 The Promoter hereby agrees to observe, perform and comply with all the terms, conditions, stipulations and restrictions if any, which may have been imposed by the concerned local authority at the time of sanctioning the said plans or thereafter and shall, before handing over possession of the Apartment to the Allottee, obtain from the concerned local authority occupancy and/or completion certificates in respect of the Apartment.

2.2 Time is essence for the Promoter as well as the Allottee. The Promoter shall abide by the time schedule for completing the project and handing over the [Apartment/Plot] to the Allottee and the common areas to the association of the allottees after receiving the occupancy certificate or the completion certificate or both, as the case may be. Similarly, the Allottee shall make timely payments of the instalment and other dues payable by him/her and meeting the other obligations under the Agreement subject to the simultaneous completion of construction by the Promoter as provided in clause 1(c) herein above. ("Payment Plan").

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Index of 4 and an additional 35% by way of Fungible F.S.I. by availing of TDR or FSI available on payment of premiums or FSI available as incentive FSI by implementing various schemes as mentioned in the Development Control Regulation or based on expectation of increased FSI which may be available in future on modification to Development Control Regulations, which are applicable to the said Project. The Promoter has disclosed the Floor Space Index of 4 and an additional 35% by way of Fungible F.S.I. as proposed to be utilized by him on the project land in the said Project and



Allottee has agreed to purchase the said Apartment based on proposed construction and sale of apartments to be carried out by the Promoter by utilizing the proposed FSI and on the understanding that the declared proposed FSI shall belong to Promoter only.

4.1 If the Promoter fails to abide by the time schedule for completing the project and handing over the [Apartment/Plot] to the Allottee, the Promoter agrees to pay to the Allottee, who does not intend to withdraw from the project, interest as specified in the Rule, on all the amounts paid by the Allottee, for every month of delay, till the handing over of the possession. The Allottee agrees to pay to the Promoter, interest as specified in the Rule, on all the delayed payment which become due and payable by the Allottee to the Promoter under the terms of this Agreement from the date the said amount is payable by the allottee(s) to the Promoter.

4.2 Without prejudice to the right of promoter to charge interest in terms of sub clause 4.1 above, on the Allottee committing default in payment on due date of any amount due and payable by the Allottee to the Promoter under this Agreement (including his/her

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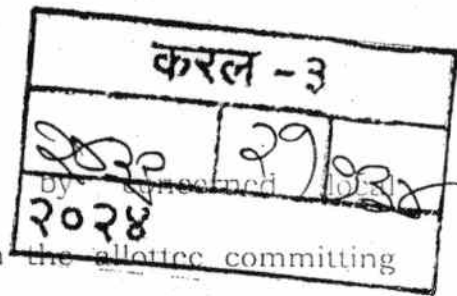
proportionate share of taxes levied  
authority and other outgoings) and on the allottee committing  
three defaults of payment of instalments, the Promoter shall at his  
own option, may terminate this Agreement:

Provided that, Promoter shall give notice of fifteen days in writing  
to the Allottee, by Registered Post AD at the address provided by  
the allottee and mail at the e-mail address provided by the allottee  
of his intention to terminate this Agreement and of the specific  
breach or breaches of terms and conditions in respect of which it  
is intended to terminate the Agreement. If the Allottee fails to  
rectify the breach or breaches mentioned by the Promoter within  
the period of notice then at the end of such notice period, promoter  
shall be entitled to terminate this Agreement

Provided further that upon termination of this Agreement as  
aforesaid, the Promoter shall refund to the Allottee (subject to  
adjustment and recovery of any agreed liquidated damages or any  
other amount which may be payable to Promoter) within a period  
of thirty days of the termination, the installments of sale  
consideration of the Apartment which may till then have been paid  
by the Allottee to the Promoter.

5. The fixtures and fittings with regard to the flooring and  
sanitary fittings and amenities like one or more lifts with  
particular brand, or price range (if unbranded) to be provided by  
the Promoter in the said building and the Apartment as are set out  
in **Annexure 'H'**, annexed hereto.

6. The Promoter shall give possession of the Apartment to the  
Allottee on or before **30th day of JUNE 2024**. If the Promoter fails  
or neglects to give possession of the Apartment to the Allottee



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refund to the Allottee the amounts already received by him in respect of the Apartment with interest at the same rate as may be mentioned in the clause 4.1 herein above from the date the Promoter received the sum till the date the amounts and interest thereon is repaid.

Provided that the Promoter shall be entitled to reasonable extension of time for giving delivery of Apartment on the aforesaid date if the completion of building in which the Apartment is to be



delayed on account of -

war, natural calamity or act of God ;

or any notice, order, rule, notification of the Government and/or any public or competent authority/court.

7.1 Procedure for taking possession - The Promoter, upon obtaining the occupancy certificate from the competent authority and the payment made by the Allottee as per the agreement shall offer in writing the possession of the Apartment, to the Allottee in terms of this Agreement to be taken within 3 (three months from the date of issue of such notice and the Promoter shall give possession of the [Apartment/Plot] to the Allottee. The Promoter agrees and undertakes to indemnify the Allottee in case of failure of fulfilment of any of the provisions, formalities, documentation on part of the Promoter. The Allottee agree(s) to pay the maintenance charges as determined by the Promoter or association of allottees, as the case may be. The Promoter on its behalf shall offer the possession to the Allottee in writing within 7 days of receiving the occupancy certificate of the Project.

7.2 The Allottee shall take possession of the Apartment within 15 days of the written notice from the promotor to the Allottee intimating that the said Apartments are ready for use and occupancy:

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7.3 Failure of Allottee to take Possession of [Apartment/Plot]:

Upon receiving a written intimation from the Promoter as per clause 7.1, the Allottee shall take possession of the [Apartment/Plot] from the Promoter by executing necessary indemnities, undertakings and such other documentation prescribed in this Agreement, and the Promoter shall give possession of the [Apartment / Plot] to the allottee. In case the Allottee fails to take possession within the time provided in clause

7.1 such Allottee shall continue to be liable to pay maintenance charges as applicable.

7.4 If within a period of five years from the date of handing over the Apartment to the Allottee, the Allottee brings to the notice of the Promoter any structural defect in the Apartment or the building in which the Apartment are situated or any defects on account of workmanship, quality or provision of service, then, wherever possible such defects shall be rectified by the Promoter at his own cost and in case it is not possible to rectify such defects, then the Allottee shall be entitled to receive from the Promoter, compensation for such defect in the manner as provided under the Act.

8. The Allottee shall use the Apartment or any part thereof or permit the same to be used only for purpose of \*residence/office/show-room/shop/godown for carrying on any industry or business. (\*strike of which is not applicable) He shall use the garage or parking space only for purpose of keeping or parking vehicle.

9. The Allottee along with other allottee(s) of Apartments in the





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and execute the application for registration and/or membership and the other papers and documents necessary for the formation and registration of the Society or Association or Limited Company and for becoming a member,

including the bylaws of the proposed Society and duly fill in, sign and return to the Promoter within seven days of the same being forwarded by the Promoter to the Allottee, so as to enable the Promoter to register the common organisation of Allottee. No objection shall be taken by the Allottee if any, changes or modifications are made in the draft by-laws, or the Memorandum and/or Articles of Association, as may be required by the Registrar of Societies or the Registrar of Companies, as the case may be, or any other Competent Authority.



9.1 The Promoter shall, within three months of registration of the Society or Association or Limited Company, as aforesaid, cause to be transferred to the society or Limited Company all the right, title and the interest of the Vender/Lessor/Original Owner/Promoter and/or the owners in the said structure of the Building or wing in which the said Apartment is situated.

9.2 The Promoter shall, within three months of registration of the Federation/apex body of the Societies or Limited Company, as aforesaid, cause to be transferred to the Federation/Apex body all the right, title and the interest of the Vendor / Lessor /Original Owner/Promoter and/or the owners in the project land on which the building with multiple wings or buildings are constructed.

9.3 Within 15 days after notice in writing is given by the Promoter to the Allottee that the Apartment is ready for use and occupancy, the Allottee shall be liable to bear and pay the proportionate share (i.e. in proportion to the carpet area of the Apartment) of outgoings in respect of the project land and Building/s namely

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local taxes, betterment charges or such other levies by the concerned local authority and/or Government water charges,

insurance, common lights, repairs and salaries of clerks bill collectors, chowkidars, sweepers and all other expenses necessary

and incidental to the management and maintenance of project land and building/s. Until the Society or

Company is formed and the said structure of the building wings is transferred to it, the Allottee shall pay to the Promoter

such proportionate share of outgoings as may be determined. The Allottee further agrees that till the Allottee's share is so determined

the Allottee shall pay to the Promoter provisional monthly contribution of **Rs. 4,166/-** per month towards the outgoings. The

amounts so paid by the Allottee to the Promoter shall not carry any interest and remain with the Promoter until a

conveyance/assignment of lease of the structure of the building or wing is executed in favour of the society or a limited company as

aforesaid. On such conveyance/assignment of lease being executed for the structure of the building or wing the aforesaid

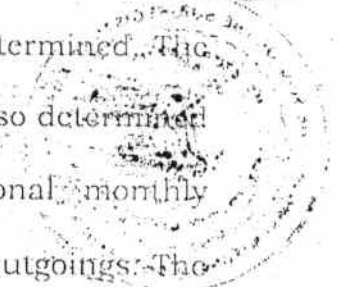
deposits (less deduction provided for in this Agreement) shall be paid over by the Promoter to the Society or the Limited Company,

as the case may be.

**10.** The Allottee shall on or before delivery of possession of the said premises keep deposited with the Promoter, the following amounts:-

(i) **Rs. 600/-** for share money, application entrance fee of the Society or Limited Company/Federation/ Apex body.

(ii) **Rs.10000/-** for formation and registration of the Society or



(iii) **Rs. 8/- Per sq ft per month on carpet area** for 12 Months

proportionate share of taxes in respect of the Society or Limited Company/Federation/Apex body.

(iv) **Rs. 5/- Per sq ft per month on carpet area** for 12 Months for proportionate share of Maintenance and other charges in respect of the Society or Limited Company/Federation/Apex body.

(v) **Rs. 35000/-** For Deposit towards Water and Electric metre in respect of the Society or Limited Company/Federation/Apex body.

(vi) **Rs. 150/- Per sq ft on carpet area** for Infrastructure and

Registration Cost of the Society or Limited Company/Federation/Apex body.

**Rs. 5000/-** for Legal charges of the Advocate.

**Rs. 6891/-** GST on above.



11. At the time of registration of conveyance or Lease of the structure of the building or wing of the building, the Allottee shall pay to the Promoter, the Allottees' share of stamp duty and registration charges payable, by the said Society or Limited Company on such conveyance or lease or any document or instrument of transfer in respect of the structure of the said Building /wing of the building. At the time of registration of conveyance or Lease of the project land, the Allottee shall pay to the Promoter, the Allottees' share of stamp duty and registration charges payable, by the said Apex Body or Federation on such conveyance or lease or any document or instrument of transfer in respect of the structure of the said land to be executed in favour of the Apex Body or Federation.

## 12. REPRESENTATIONS AND WARRANTIES OF THE PROMOTER

The Promoter hereby represents and warrants to the Allottee as follows:

*Sharma*

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- (i) The Promoter has clear and marketable title with respect to the project land; as declared in the title report annexed to this agreement and has the requisite rights to carry out development upon the project land and also has actual, physical and legal possession of the project land for the implementation of the Project;
- (ii) The Promoter has lawful rights and requisite approvals from the competent Authorities to carry out development of the Project and shall obtain requisite approvals from time to time to complete the development of the project;
- (iii) There are no encumbrances upon the project land or the Project except those disclosed in the title report;
- (iv) There are no litigations pending before any Court of law with respect to the project land or Project except those disclosed in the title report;
- (v) All approvals, licenses and permits issued by the competent authorities with respect to the Project, project land and said building/wing are valid and subsisting and have been obtained by following due process of law. Further, all approvals, licenses and permits to be issued by the competent authorities with respect to the Project, project land and said building/wing shall be obtained by following due process of law and the Promoter has been and shall, at all times, remain to be in compliance with all applicable laws in relation to the Project, project land, Building/wing and common areas;
- (vi) The Promoter has the right to enter into this Agreement and has not committed or omitted to perform any act or thing, whereby the right, title and interest of the Allottee created herein may



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(vii) The Promoter has not entered into any agreement for sale and/or development agreement or any other agreement / arrangement with any person or party with respect to the project land, including the Project and the said [Apartment/Plot] which will, in any manner, affect the rights of Allottee under this Agreement;

(viii) The Promoter confirms that the Promoter is not restricted in any manner whatsoever from selling the said [Apartment/Plot] to the Allottee in the manner contemplated in this Agreement;



(ix) At the time of execution of the conveyance deed of the said [Apartment/Plot] to the association of allottees the Promoter shall hand over the said [Apartment/Plot] in lawful, vacant, peaceful, physical possession of the said [Apartment/Plot] to the Association of the Allottees;

(x) The Promoter has duly paid and shall continue to pay and discharge undisputed governmental dues, rates, charges and taxes and other monies, levies, impositions, premiums, damages and/or penalties and other outgoings, whatsoever, payable with respect to the said project to the competent Authorities;

(xi) No notice from the Government or any other local body or authority or any legislative enactment, government ordinance, order, notification (including any notice for acquisition or requisition of the said property) has been received or served upon the Promoter in respect of the project land and/or the Project except those disclosed in the title report.

13. The Allottee/s or himself/themselves with intention to bring all persons into whosoever hands the Apartment may come, hereby covenants with the Promoter as follows :-

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(i) To maintain the Apartment at the Allottee's own cost in good and tenantable repair and condition from the date

that of possession of the Apartment is taken and shall not do or suffer to be done anything in or to the building in which the Apartment is situated which may be against the rules, regulations or bye-laws or change/alter or make addition in or to the building in which the Apartment is situated and the Apartment itself or any part thereof without the consent of the local authority as required.



(ii) Not to store in the Apartment any goods which are of hazardous, combustible or dangerous nature or are so heavy as to damage the construction or structure of the building in which the Apartment is situated or storing of which goods is objected to by the concerned local or other authority and shall take care while carrying heavy packages which may damage or likely to damage the staircases, common passages or any other structure of the building in which the Apartment is situated, including entrances of the building in which the Apartment is situated and in case any damage is caused to the building in which the Apartment is situated or the Apartment on account of negligence or default of the Allottee in this behalf, the Allottee shall be liable for the consequences of the breach.

(iii) To carry out at his own cost all internal repairs to the said Apartment and maintain the Apartment in the same condition, state and order in which it was delivered by the Promoter to the Allottee and shall not do or suffer to be done anything in or to the building in which the Apartment is situated or the Apartment which may be contrary to the rules and regulations and bye laws

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provision, the Allottee shall be responsible and liable for the consequences thereof to the concerned local authority and/or other public authority.

(iv) Not to demolish or cause to be demolished the Apartment or any part thereof, nor at any time make or cause to be made any addition or alteration of whatever nature in or to the Apartment or any part thereof, nor any alteration in the elevation and outside



scheme of the building in which the Apartment is situated and shall keep the portion, sewers, drains and pipes in the Apartment and the appurtenances thereto in good tenable and condition, and in particular, so as to support shelter and protect the other parts of the building in which the Apartment is situated and shall not chisel or in any other manner cause damage to columns, beams, walls, slabs or RCC, Partis or other structural members in the Apartment without the prior written permission of the Promoter and/or the Society or the Limited Company.

(v) Not to do or permit to be done any act or thing which may render void or voidable any insurance of the project land and the building in which the Apartment is situated or any part thereof or whereby any increased premium shall become payable in respect of the insurance.

(vi) Not to throw dirt, rubbish, rags, garbage or other refuse or permit the same to be thrown from the said Apartment in the compound or any portion of the project land and the building in which the Apartment is situated.

(vii) Pay to the Promoter within fifteen days of demand by the Promoter, his share of security deposit demanded by the concerned local authority or Government or giving water,

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electricity or any other service connection to the building in which the Apartment is situated.

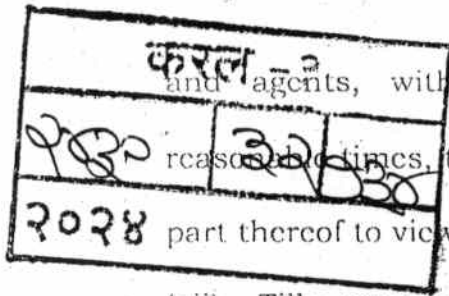
(viii) To bear and pay increase in local taxes, water charges, insurance and such other levies, if any, which are imposed by the concerned local authority and/or Government and/or other public authority, on account of change of user of the Apartment by the Allottee for any purposes other than for purpose for which the Apartment was sold.



(ix) The Allottee shall not let, sub-let, transfer, assign or part with interest or benefit factor of this Agreement or part with the possession of the Apartment until all the dues payable by the Allottee to the Promoter under this Agreement are fully paid up.

(x) The Allottee shall observe and perform all the rules and regulations which the Society or the Limited Company or Apex Body or Federation may adopt at its inception and the additions, alterations or amendments thereof that may be made from time to time for protection and maintenance of the said building and the Apartments therein and for the observance and performance of the Building Rules, Regulations and Bye-laws for the time being of the concerned local authority and of Government and other public bodies. The Allottee shall also observe and perform all the stipulations and conditions laid down by the Society / Limited Company / Apex Body / Federation regarding the occupancy and use of the Apartment in the Building and shall pay and contribute regularly and punctually towards the taxes, expenses or other out-goings in accordance with the terms of this Agreement.





and agents, with or without workmen and others, at all reasonable times, to enter into and upon the said buildings or any part thereof to view and examine the state and condition thereof.

(xii) Till a conveyance of the project land on which the building in which Apartment is situated is executed in favour of Apex Body or Federation, the Allottee shall permit the Promoter and their surveyors and agents, with or without workmen and others, at all reasonable times, to enter into and upon the project land or any part thereof to view and examine the state and condition thereof.



14. The Promoter shall maintain a separate account in respect of the sums received by the Promoter from the Allottee as advance or sums received on account of the share capital for the promotion of the Co-operative Society or association or Company or towards the out goings, legal charges and shall utilize the amounts only for the purposes for which they have been received.

15. Nothing contained in this Agreement is intended to be nor shall be construed as a grant, demise or assignment in law, of the said Apartments or of the said Plot and Building or any part thereof. The Allottee shall have no claim save and except in respect of the Apartment hereby agreed to be sold to him and all open spaces, parking spaces, lobbies, staircases, terraces recreation spaces, will remain the property of the Promoter until the said structure of the building is transferred to the Society/Limited Company or other body and until the project land is transferred to the Apex Body /Federation as hereinbefore mentioned.

That the Purchase/Allottee shall not raise any objection if the portion of basement falling in rehab plot is required to rehab society for repair/re-development of rehab building in future.

*[Handwritten mark]*

*[Handwritten signature]*

*[Handwritten signature]*

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**16. PROMOTER SHALL NOT MORTGAGE OR CREATE A CHARGE**

After the Promoter executes this Agreement he shall not mortgage or create a charge on the \*[Apartment/] and if any such mortgage or charge is made or created then notwithstanding anything contained in any other law for the time being in force, such mortgage or charge shall not affect the right and interest of the Allottee who has taken or agreed to take such [Apartment/plot].



**17. BINDING EFFECT**

Forwarding this Agreement to the Allottee by the Promoter does not create a binding obligation on the part of the Promoter or the Allottee until, firstly, the Allottee signs and delivers this Agreement with all the schedules along with the payments due as stipulated in the Payment Plan within 30 (thirty) days from the date of receipt by the Allottee and secondly, appears for registration of the same before the concerned Sub-Registrar as and when intimated by the Promoter. If the Allottee(s) fails to execute and deliver to the Promoter this Agreement within 30 (thirty) days from the date of its receipt by the Allottee and/or appear before the Sub-Registrar for its registration as and when intimated by the Promoter, then the Promoter shall serve a notice to the Allottee for rectifying the default, which if not rectified within 15 (fifteen) days from the date of its receipt by the Allottee, application of the Allottee shall be treated as cancelled and all sums deposited by the Allottee in connection therewith including the booking amount shall be returned to the Allottee without any interest or compensation whatsoever.

F

This Agreement, along with its schedules and annexures, constitutes the entire Agreement between the Parties with respect to the subject matter hereof and supersedes any and all understandings, any other agreements, allotment letter, correspondences, arrangements whether written or oral, if any, between the Parties in regard to the said apartment/plot/building, as the case may be.

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**19. RIGHT TO AMEND**

This Agreement may only be amended through written consent of the Parties



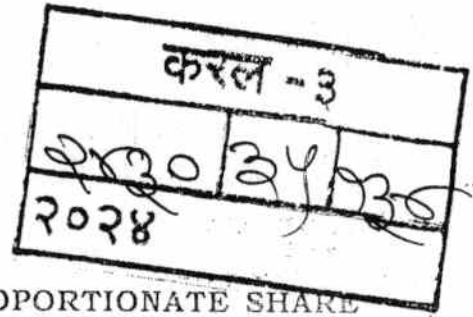
**PROVISIONS OF THIS AGREEMENT APPLICABLE TO SUBSEQUENT ALLOTTEES**

It is clearly understood and so agreed by and between the Parties hereto that all the provisions contained herein and the obligations arising hereunder in respect of the Project shall equally be applicable to and enforceable against any subsequent Allottees of the [Apartment/Plot], in case of a transfer, as the said obligations go along with the [Apartment/Plot] for all intents and purposes.

**21. SEVERABILITY**

If any provision of this Agreement shall be determined to be void or unenforceable under the Act or the Rules and Regulations made there under or under other applicable laws, such provisions of the Agreement shall be deemed amended or deleted in so far as reasonably inconsistent with the purpose of this Agreement and to the extent necessary to conform to Act or the Rules and Regulations made thereunder or the applicable law, as the case may be, and the remaining provisions of this Agreement shall remain valid and enforceable as applicable at the time of execution of this Agreement.

*Chhaya*



**22. METHOD OF CALCULATION OF PROPORTIONATE SHARE  
WHEREVER REFERRED TO IN THE AGREEMENT**

Wherever in this Agreement it is stipulated that the Allottee has to make any payment, in common with other Allottee(s) in respect of the same shall be in proportion to the carpet area of the [Apartment/Plot] to the total carpet area of all [Apartments/Plots] in the Project.



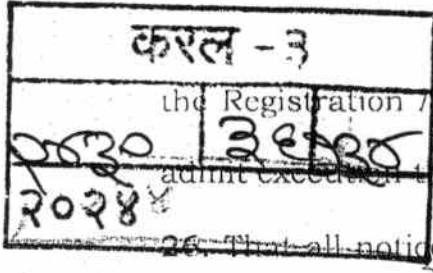
**23. FURTHER ASSURANCES**

Both Parties agree that they shall execute, acknowledge and deliver to the other such instruments and take such other actions, in additions to the instruments and actions specifically provided for herein, as may be reasonably required in order to effectuate the provisions of this Agreement or of any transaction contemplated herein or to confirm or perfect any right to be created or transferred hereunder or pursuant to any such transaction.

**24. PLACE OF EXECUTION**

The execution of this Agreement shall be complete only upon its execution by the Promoter through its authorized signatory at the Promoter's Office, or at some other place, which may be mutually agreed between the Promoter and the Allottee, in Mumbai after the Agreement is duly executed by the Allottee and the Promoter or simultaneously with the execution the said Agreement shall be registered at the office of the Sub-Registrar. Hence this Agreement shall be deemed to have been executed at Mumbai.

25. The Allottee and/or Promoter shall execute the



the Registration Act and the Promoter will attend such office and admit execution thereof.

That all notices to be served on the Allottee and the Promoter as contemplated by this Agreement shall be deemed to have been duly served if sent to the Allottee or the Promoter by Registered Post A.D and notified Email ID/Under Certificate of Posting at their respective addresses specified below:

**Name of Allottee**

**Mrs. Chhaya Prakash Ambulkar And Mr. Prakash Sadashiv Ambulkar And Gauresh Prakash Ambulkar.**  
 Vasantrao Naik Marg, Near Netaji Nagar, CEN- 626, Old Ramabai Sahakar Nagar, Sadguru Chal, Ghatkopar East, Mumbai - 400077.  
 Email : cpa.ambulkar@gmail.com

**Promoters Address**

M/s Vardhan Housing,

7, Suryamahar, 5 B B Marg, Off N M Road, Fort, Mumbai



Notified Email ID: [sales@vardhangroup.com](mailto:sales@vardhangroup.com)

It shall be the duty of the Allottee and the promoter to inform each other of any change in address subsequent to the execution of this Agreement in the above address by Registered Post failing which all communications and letters posted at the above address shall be deemed to have been received by the promoter or the Allottee, as the case may be.

**27. JOINT ALLOTTEES**

That in case there are Joint Allottees all communications shall be sent by the Promoter to the Allottee whose name appears first and at the address given by him/her which shall for all intents and purposes to consider as properly served on all the Allottees.

करल - 3	
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**28. Stamp Duty and Registration:** - The charges towards stamp duty and Registration of this Agreement shall be borne by the developer.

**29. Dispute Resolution:** - Any dispute between parties shall be settled amicably. In case of failure to settle the dispute amicably, which shall be referred to the MAHA RERA Authority and the provisions of the Real Estate (Regulation and Development) Act, 2016, Rules and Regulations, thereunder.



### 30. GOVERNING LAW

That the rights and obligations of the parties under or arising out of this Agreement shall be construed and enforced in accordance with the laws of India for the time being in force and the Mumbai courts will have the jurisdiction for this Agreement.

31. Vide a Debenture Trust Deed dated 24<sup>th</sup> June, 2021 and other security documents, the Promoter, inter alia, has raised funds for financing the development of the Project and has issued debentures in favour of IDBI Trusteeship Services Limited (therein and hereinafter referred to as the "Debenture Trustee") acting on behalf of the Debenture Holders, created a mortgage by way of a first and exclusive charge in favour of the Debenture Holders over the rights/title/interest of the Promoter in respect of the Project together with the development rights in terms of the LOI dated 11<sup>th</sup> October, 2019 along with all Existing Unsold Units, on the terms and conditions mentioned therein. The aforesaid Debenture Trust Deed dated 24<sup>th</sup> June, 2021 is registered with the Sub Registrar of Assurances bearing Serial No. 11526/2021. The Purchaser/s shall make all payments of the Sale Price due and/or payable to the Promoter through an account payee cheque / demand draft / pay order / wire transfer / any other instrument drawn in favour of "VH Vardhan Heights Master Escrow Account" bearing Account No. 50200057001510.

करल - ३	
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financial institution to, and shall ensure that such financial institution does disburse/pay all such amounts towards Sale Price due and payable to the Promoter through an account payee cheque/ demand draft / wire transfer / any other instrument drawn in favour of "VH Vardhan Heights Master Escrow Account". The Developer has to obtain No Objection Certificate (NOC) from the Debenture Trustee for sale of every flat offered under security.

**THE FIRST SCHEDULE ABOVE REFERRED TO:**

**(Description of the said Property)**

All that piece and parcel of land admeasuring 4704.975 sq. mtrs. bearing C.T.S. No.708 (Pt), 709, 709/1 to 11, 710, 710/1 to 23, 711, 711/1 to 14, 712, 712/1 to 7, 715/1 to 36, 715/37, 716 and 717 under Nila-Mutha line of Village Chembur, Tal. Kurla at P.L. No. 10, Laxmi Marg, Mumbai 400 089 within the limit of Mumbai Municipal Corporation.



**THE SECOND SCHEDULE ABOVE REFERRED TO:**

**(Description of the Common/Limited common areas and facilities)**

1. Automatic Passenger elevator - 2 No's in A wing, 2 No's in B Wing, 2 No's C Wing.
2. One Society Office.
3. Fire Fighting System
4. Earthquake resistant RCC Design.
5. Rainwater Harvesting
6. Land scaping
7. Sewage Treatment Plant (STP)
8. Common areas like entrance lobby lifts, staircase, common passage leading to Apartment, top terrace, water tanks, 8% amenity in layout, peripheral open space etc.

करल - ३		
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SIGNED AND DELIVERED )

By the within named "THE DEVELOPER/ )  
PROMOTER" )

M/S. VARDHAN HOUSING )

through its Partner Ashok B. Vardhan )

in the presence of.... )

1. P. T. Sutar )
2. राजाराम वसंत दाके (Address) )

SIGNED AND DELIVERED )

By the within named "PURCHASER" )

For Vardhan Housing  
*Ashok B. Vardhan*  
Partner



Mrs. Chhaya Prakash Ambulkar )

*Chhaya*



Mr. Prakash Sadashiv Ambulkar )



*Prakash*

Mr. Gauresh Prakash Ambulkar )

*Gauresh*





2030	2030	RECEIPT
2023		

RECEIVED of and from the within named Purchaser **Mrs. Chhaya Prakash Ambulkar And Mr. Prakash Sadashiv Ambulkar And Mr. Gauresh Prakash Ambulkar** a Cheque Number 204933 dated 08/12/2023 drawn on State Bank Of India of Rs. **1,00,000/-** (Rupees One Lakh Only) And Cheque Number 204937 dated 20/01/2024 drawn on State Bank Of India of Rs. **6,00,000/-** (Rupees Six Lakhs Only) And Cheque Number 204938 dated 23/01/2024 drawn on State Bank Of India of Rs. **8,32,000/-** (Rupees Eight Lakhs Thirty Two Thousand Only)

as detailed below:

A	Towards part of the Sale Consideration/Purchase Price	<b>Rs. 15,32,000/-</b>
B	Less - TDS @ 1% on above A	_____
	<b>TOTAL SUM RECEIVED (A-B)</b>	<b>Rs. 15,32,000/-</b>

(Rupees Fifteen Lakhs And Thirty Two Thousand Only)

WE SAY RECEIVED,

Authorized Signatory

For M/S. VARDHAN HOUSING

Partner



करल - ३

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**SHARAD WAKCHOURE**

Advocate, High Court, Mumbai

Res.: Flat No.1403, 14<sup>th</sup> Floor, D-Wing,  
Shri Laxminarayan Building,  
Imamwada Road, Imamwada,  
Mumbai 400 009

Office: C/o. M/s. Kishore Thakordas & Co.  
29/41, Tamarind Lane, 1<sup>st</sup> Floor,  
Rajabhadur Compound,  
Fort, Mumbai 400 023.

Fax No. 022-22641825  
Mob. No. 8080101388

(Correspondence only with the Office Address)

**TITLE CERTIFICATE**

To,  
M/s. Vardhan Housing,  
422, Commerce House,  
140, N.M. Road, Fort,  
Mumbai 400 023.



Respected Sir,

Re: All that pieces and parcel of Land admeasuring 4704.975 sq. mtrs. bearing C.T.S. No.708 (Pt), 709, 709/1 to 11, 710, 710/1 to 23, 711, 711/1 to 14, 712, 712/1 to 7, 715, 715/1 to 36, 715/37, 716 and land under Nila-Muthia line of village Chembur, Tal. Kurla at P.L. Lokhande Marg, Mumbai 400 089 for Dr. Babasaheb Ambedkar CHS Ltd.

M/s. Vardhan Housing

.. Developer

1. Pursuant to the instruction of the abovenamed Developers M/s. Vardhan Housing, I have investigated the right, title and interest of the said M/s. Vardhan Housing in respect of the above referred property more particularly described in the Schedule hereunder written.
2. The Inhabitants/occupants of Shanti/Zopadas were in use, occupation and possession of their respective structures on the piece and parcel of land admeasuring 4704.975 sq. mtrs. bearing C.T.S. No.708 (Pt), 709, 709/1 to 11, 710, 710/1 to 23, 711, 711/1 to 14, 712, 712/1 to 7, 715, 715/1 to 36, 715/37, 716 and land under Nila-Muthia line of Village Chembur, Tal. Kurla at P.L. Lokhande Marg, Mumbai 400 089 (Hereinafter referred to as "The said Land").
3. As the said Inhabitants/occupants were living in inhuman and unhygienic conditions, the said land has been duly declared as Slum Area

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and used under section 4(1) of the Maharashtra Slum Areas (Improvement, Clearance and Redevelopment Act) 1971 as amended upto date vide Notification No. SLM/1075/5280/G dt. 11/9/1975 under Govt. Gazette Notification dated 18<sup>th</sup> September, 1975.

4. To facilitate the redevelopment of the said land under the relevant provisions of Development Control Regulations for Greater Mumbai, 1991 amended from time to time, the inhabitants/occupants of the said land decided to form a Proposed Society in the name and style of "Dr. Babasaheb Ambedkar S.R.A. Society (Proposed)", which society has now been duly registered with Registration No. MUM/ SRA/ H.S.G./ T.C./ 12631/ dt. 20.8.15.

5. Thereafter, the said Dr. Babasaheb Ambedkar S.R.A. Society called for its General Body Meeting on 15<sup>th</sup> December, 2013 and by overwhelming majority resolved to appoint M/s. Vardhan Housing to implement the Slum Rehabilitation Scheme under D.C.R. 33(10) amended upto date on the said land and thereafter executed the Development Agreement and Irrevocable Power of Attorney both dated 15<sup>th</sup> January, 2014 and also executed fresh Common Irrevocable Consent for redevelopment in favour of M/s. Vardhan Housing.

6. Meanwhile the process of Land Acquisition of the said land in use and occupation of the members of Dr. Babasaheb Ambedkar S.R.A. Society was initiated u/s.14 of Maharashtra Slum Areas (Improvement, Clearance and Redevelopment Act) 1971 as amended upto date at the cost of M/s. Vardhan Housing have paid a monetary compensation in the sum of Rs.8,17,200/- (Rupees Eight Lakhs Seventeen Thousand Two Hundred Only) to the Collector/State Government for said Land Acquisition and the Property Card in respect of the said land has been duly mutated in the name of Slum Rehabilitation Authority. SA

करल - ३

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SHARAD WAKHURE

Advocate, High Court, Mumbai

Resi: Flat No.1403, 14<sup>th</sup> Floor, D-Wing,  
Shri Laxminarayan Building,  
Imamwada Road, Imamwada,  
Mumbai 400 009

Office: C/o. M/s. Kishore Thakordas & Co.  
29/41, Tamarind Lane, 1<sup>st</sup> Floor,  
Rajabhadur Compound,  
Fort, Mumbai 400 023.

Fax No. 022-22641825

Mob. No. 8080101388

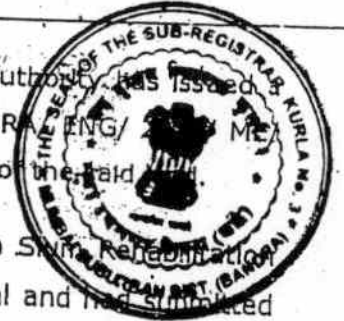
(Correspondence only with the Office Address)

7. Pursuant to the same, the Slum Rehabilitation Authority has issued Letter of Intent (LOI) on 27<sup>th</sup> May, 2015 bearing No. SRA/ENG/ME/STGL/ LOI in favour of M/s. Vardhan Housing in respect of the said

8. Thereafter, M/s. Vardhan Housing had applied to Slum Rehabilitation Authority (S.R.A.) for issuance of Intimation of Approval and had submitted the plans of sale building proposed to be constructed on the said property and accordingly Slum Rehabilitation Authority (S.R.A.) issued IOA on 13<sup>th</sup> October, 2017 bearing No. SRA/ENG/ME/STGOVT/0051/20100222/AP/S in respect of the sale building and sanctioned the building plans.

9. In the premises, as the said M/s. Vardhan Housing have been duly appointed by Dr. Babasaheb Ambedkar S.R.A. Society as Developers to develop and implement Slum Rehabilitation Scheme under D.C.R. 33(10) on piece and parcel of land admeasuring 4704.975 sq. mtrs. bearing C.T.S. No.708 (Pt), 709, 709/1 to 11, 710, 710/1 to 23, 711, 711/1 to 14, 712, 712/1 to 7, 715, 715/1 to 36, 715/37, 716 and land under Nila-Mutha line of Village Chembur, Tal. Kurla at P.L. Lokhande Marg, Mumbai 400 089 and as M/s. Vardhan Housing has obtained all the requisite permissions and approvals including L.O.I., I.O.A. and Commencement Certificate, M/s. Vardhan Housing are fully entitled to develop the said land and are also entitled to enter into various agreements i.e. Agreement for Sale, Lease Agreements etc. and/or also entitled to create third party rights in respect of building/s to be constructed on the said land.

10. I have perused the Title Deeds pertaining to the above referred land, the Property Register Card, Revenue Records, Development Agreement and Irrevocable Power of Attorney both dated 15<sup>th</sup> December, 2013, L.O.I. dated 27<sup>th</sup> May, 2015, I.O.A. dated 13<sup>th</sup> October, 2017, Search Report taken with the office of Sub-Registrar of Assurances at Mumbai in respect of the said land and on the basis thereof I am of the opinion and do hereby certify that



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करल - ३		
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M/s. Vardhan Housing are entitled to develop the said land and are also entitled to enter into various agreements i.e. Agreement for Sale, Lease Agreements etc. and/or also entitled to create third party rights in respect of building/s to be constructed on the said land.

**THE SCHEDULE HEREINABOVE REFERRED TO:**

All that pieces and parcel of Land admeasuring 4704.975 sq. mtrs. bearing C.T.S. No.708 (Pt), 709, 709/1 to 11, 710, 710/1 to 23, 711, 711/1 to 14, 712, 712/1 to 7, 715, 715/1 to 36, 715/37, 716 and land under Nilla-Mutha line of Village Chembur, Tal. Kurla at P.L. Lokhande Marg, Mumbai 400 089.

Dated this 16<sup>th</sup> day of October, 2017.



Yours faithfully,

*Sharad B. Wakchoure*

Sharad B. Wakchoure  
Advocate, High Court, Bombay

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ANNEXURE " B "		



SLUM REHABILITATION AUTHORITY

No. SRA/ENG/2323/RE/STC/LOI

Date:

27 OCT 2021



To,

1) Architect

: Shri. Mukesh Bahadur,  
of M/s. Consultants Combined,  
B-101, Manek Kunj (Meghwadi),  
Dr. S. S. Rao Road, Lalbaug,  
Parel, Mumbai - 400 012.

✓ 2) Developer

: M/s. Vardhan Housing  
422, Commerce house, 140,  
N. M. road, Fort, Mumbai 400043.

3) Society

"Dr. Babasaheb Ambedkar SRA CHS Ltd."  
At P. L. Lokhande Marg, Chembur,  
Mumbai-400089.

**Sub.:** Issue Revised LOI - Proposed S. R. Scheme on the plot bearing C.T.S. No. 708 (pt), 709, 709/1 to 11, 710, 710/1 to 23, 711, 711/1 to 14, 712, 712/1 to 7, 715, 715/1 to 36, 715/37, 716 and land under Nila-Mutha line of village Chembur, Tal.-Kurla, Mumbai- 400089, for - "Dr. Babasaheb Ambedkar SRA CHS. Ltd."

Gentleman,

With reference to the above mentioned Slum Rehabilitation Scheme and on the basis of documents submitted by applicant, this office is pleased to issue in principle approval to the S. R. scheme in the form of this **Revised Letter of Intent (LOI)** subject to the following conditions, as per the provisions of DCPR 2034.

This LOI is issued in continuation with earlier LOI issued under even number dtd. 27/05/2015 & revised LOI dtd. 11.10.2019 & stands modified and newly added conditions with respect to the conditions approved earlier.

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SRA/ENG/2323/ME/STGL/LOI

2038

2038

3. The salient features of the S. R. scheme are as under:

Sr. No	Description	Proposed area in sq.mtr.	
1	Total area of plot	4704.975	
2	Deduct: (a) Road set back (b) Area under Nila Mutha line Land	705.375	
3	Net Area of Plot (1-2)	3999.60	
4	Deduction for 15% RG (If Applicable)	Nil	
5	Net plot area	3999.60	
6	Addition for FSI Purpose : (2b)	--	
7	Total Plot area for FSI purpose	3999.60	
8	Max FSI permissible on plot	3.00 or permissible area whichever is max.	
9	Max BUA permissible (7 x 8)	--	
10	Rehab built-up area	9,111.52	
11	Message & Amenity BUA	2,438.23	
12	Rehab Component (10 +11)	11,548.58	
13	Sale Component Incentive Ratio (Rehab to Sale) (LR/RC) $62800/27500 = 2.28 = 1: 1.05$	12,126.00	
14	Total BUA sanctioned for project (10 + 13)	21,236.35	
15	Total FSI sanctioned for Project (14/7)	5.309	
16	Sale BUA permissible in situ	8126.00	
17	TDR generated in the scheme	4000.00	
18	A) Nos. of slum dwellers to be re-accommodated		
	Rehab Residential	190 no.	
	Rehab Comm.	01 no.	
	Rehab R/C	--	
	B) Amenities to be provided		
	Balwadi	01 no.	
	Anganwadi /Am- 2	01 no.	
	Welfare Centre	01 no.	
	Health Centre /out post / Balwadi Am- 2	01 no.	
Community hall	02 Nos.		
Society Office	02 no.		
19	Nos. of Generated PAP in the scheme	--	
	Nos. of provisional tenements for slum dwellers who may become eligible at later stage.	Resi.	84 Nos.
		Comm.	07 Nos.
		R/C	01 Nos



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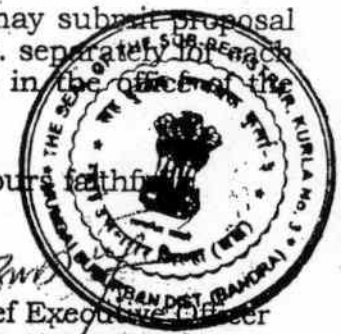
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SRA/ENG/2323/ME/STGL/

20	A) BUA of buildable reservation	
	B) Area of non-buildable reservation	
	a) Nila Mutha line land	705.375

If you are agreeable to all these, above conditions, you may submit proposal for approval of amended plans, consuming full sanctioned F.S.I. separately for building, in conformity with the D.C. Regulation No. 33 (10), in the office of the undersigned.

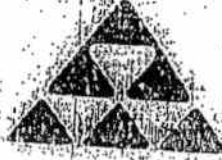
Your faithf



*for* Chief Executive Officer  
 Slum Rehabilitation Authority

(Hon'ble CEO/SRA approved the Revised LOI)





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 2020-2023  
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 ANNEXURE "C"

**SLUM REHABILITATION AUTHORITY**

Administrative Building, Fr. Anant Kanekar Marg, Bandra (East), Mumbai - 400 051.

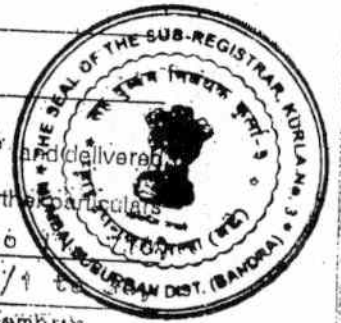
Intimation of Approval under Sub regulation 2.3 of Appendix - IV  
 of D.C.R. No. 33 (10) Dt. 15.10.97 for Brihanmumbai.

No. SRA/ENG/3266/MV/STGL/AP

127 NOV 2015

REHAB BLDG.

To,  
 M/s. Vardhan Housing,  
 Commerce House,  
 140, N.M. Road, Fort,  
 Mumbai - 400 023.



With reference to your Notice, letter No. 3280 dated 31/07/2015 and delivery in \_\_\_\_\_ 20 and the plans, Sections, Specifications and Description and further details of your building at CTS No. 708 (pt.), 709, 709/1 to 710/1 to 29, 711, 711/1 to 14, 712, 712/1 to 7, 715, 715/1 to 715/37, 716 and land under Nila-Mutha line of village Chembur, Tal. Kurla, Mumbai-400 (89 For Dr. Babasaheb Ambedkar CHS Ltd. furnished to me under your letter, dated \_\_\_\_\_ 20. I have to inform you that the proposal of construction of the building or work proposed to be erected or executed is hereby approved under section 45 of the Maharashtra Regional & Town-Planning Act, 1966 as amended up-to-date, subject to the following conditions :

1. THAT THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH BEFORE COMMENCEMENT OF THE WORK UP TO PLINTH LEVEL
- A.1) That the Commencement Certificate u/s. 44/69 (1) of the MR & TP Act, Shall be obtained before starting the proposed work.
  - A.2) That the compound shall be constructed after getting the plot demarcated from the concerned authority, on all sides of the plot clear of the road side drain without obstructing the flow of rain water from the adjoining holding, to prove possession of holding before starting the work as per D.C. Regulation No. 38 (27)
  - A.3) That the structural Engineer shall be appointed, and the Supervision memo as per Appendix XI D.C. Regulation 5(3) (ix) shall be submitted by him.
  - A.4) That the structural design and calculations for the proposed work accounting for system analysis as per relevant I.S. code along with plan shall be submitted before C.C.

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Subject to your so modifying your intention as to comply the aforesaid mentioned condillons and meet by requirements. You will be at liberty to proceed with the said building or work at anytime before the \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_ but not so as to contravene any of the provisions of the said Act as amended as aforesaid or any rule, regulations of bye-law made under that Act at the time



Your attention is drawn to the special instructions and Notes accompanying this Intimation of Approval

*M. B. B. B.*  
27-11-2015  
Executive Engineer, (S.R.A.)

### SPECIAL INSTRUCTIONS

- (1) IN CASE OF PRIVATE PLOTS THIS INTIMATION OF APPROVAL GIVES NO RIGHT TO BUILD UPON LAND WHICH IS NOT YOUR PROPERTY.
- (2) Under Section 151 & 152 of M.F. & T.P. Act 1966, as amended the Chief Executive Officer, Slum Rehabilitation Authority has empowered the Chief Engineer (S.R.A.)/ Executive Engineer (S.R.A.) to exercise, perform and discharge the powers, duties and functions conferred and imposed upon and vested in the C.E.O. (S.R.A.) by section of the said Act.
- (3) Proposed date of commencement of work should be communicated to this office.
- (4) One more copy of the block plan should be submitted to the Collector, Mumbai / Mumbai Suburbs District as the case may be.
- (5) Necessary permission for Non-agricultural use of the land shall be obtained from the Collector, Mumbai / Mumbai Suburban District before the work is started. The Non-agricultural assessment shall be paid at the rate that may be fixed by the Collector, under the Land Revenue Code and Rules thereunder.

Attention is drawn to the notes Accompanying this Intimation of Approval.

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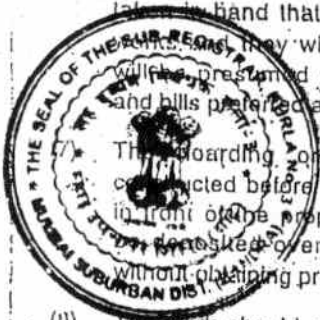
- (18) The compound wall or fencing should be constructed clear of the road widening foundation below level of the bottom of road side drain without obstructing flow from adjoining holding before starting the work to prove the owner's holding.
- (19) No work should be started unless the existing structures or proposed to be demolished are demolished.
- (20) If it is proposed to demolish the existing structures by negotiations with the tenants, under the circumstances, the work as per approved plans should not be taken up in hand unless the Chief Engineer [SRA] is satisfied with the following :
- (i) Specific plans in respect of evicting or rehousing the existing tenants on your plot stating their number and the area in occupation of each.
  - (ii) Specifically signed agreement between you and the existing tenants that they are willing to avail for the alternative accommodation in the proposed structure.
  - (iii) Plans showing the phase programme of construction has to be duly approved by this office before starting the work so as not to contravene at any stage of construction, the Development Control Rules regarding open spaces, light and ventilation of existing structure.
- (21) In case of additional floor no work should be started during monsoon which will give rise to water leakage and consequent nuisance to the tenants staying on the floor below.
- (22) The bottom of the over head storage work above the finished level of the terrace shall not be more than 1 metre.
- (23) The work should not be started above first floor level unless the No Objection Certificate from the Civil Aviation Authorities, where necessary, is obtained.
- (24) It is to be understood that the foundations must be excavated down to hard soil.
- (25) The positions of the nahanis and other appurtenances in the building should be so arranged as not to necessitate the laying of drains inside the building.
- (26) No new well, tank, pond, cistern or fountain shall be dug or constructed without the previous permission in writing from the Chief Executive Officer of Slum Rehabilitation Authority.
- (27) All gully traps and open channel shall be provided with right fitting mosquito proof covers as per relevant I. S. specifications.
- (28) No broken bottle should be fixed over boundary walls. The prohibition refers only to broken bottles & not to the use of plain glass for coping over compound wall.
- (29) If the proposed addition is intended to be carried out on old foundations and structures, you will do so at your own risk.

*M.P. Dholakia*  
27-11-2018  
Executive Engineers, (S.F.A.) E.P.

## NOTES

करल - 3	
2020	49
2028	338

- (1) The work should not be started unless objections \_\_\_\_\_ are complied with.
- (2) A certified set of latest approved plans shall be displayed on site at the time of commencement of the work and during the progress of the construction work.
- (3) Temporary permission on payment of deposit should be obtained for any shed to house and store for constructional purposes; Residence of workmen shall not be allowed on site. The temporary structures for storing constructional materials shall be demolished before submission of building completion certificate and a certificate signed by Architect submitted alongwith the building completion certificate.
- (4) Temporary sanitary accommodation on full flushing system with necessary drainage arrangement should be provided on site for workers before starting the work.
- (5) Water connection for constructional purposes will not be given until the hoarding is constructed and application is made to the Ward Officer of M.C.G.M. with the required deposit for the construction of carriage entrance over the road side drain.
- (6) The owners shall intimate the Hydraulic Engineer of M.C.G.M. or his representative in wards of M.C.G.M. atleast 15 days prior to the date of which the proposed construction work is to be started and that the water existing in the compound will be utilised for their construction. They will not use any Municipal Water for construction purposes. Failing this, it will be presumed that Municipal tap water has been consumed on the construction works and bills preferred against them accordingly.
- (7) The hoarding or screen wall for supporting the depots of building materials shall be constructed before starting any work even though no materials may be expected to be stabled in front of the property. The scaffoldings, bricks, metal, sand, preps, debris etc. should not be kept over footpaths or public street by the owner/architect/their contractors, etc. without obtaining prior permission from the Ward Officer of the area.
- (8) The work should not be started unless the compliance of abovesaid conditions is approved by this department.
- (9) No work should be started unless the structural design is submitted from LSE.
- (10) The work above plinth should not be started before the same is shown to this office Sub-Engineer (SRA) concerned and acknowledgement obtained from him regarding correctness of the open spaces dimension.
- (11) The application for sewer street connections, if necessary, should be made simultaneously with commencement of the work as the Municipal Corporation of Greater Mumbai will require time to consider alternative site to avoid the excavation of the road and footpath.
- (12) All the terms and conditions of the approved layout/sub-division/Amalgamation under No. \_\_\_\_\_ should be adhered to and complied with.
- (13) No building/Drainage Completion Certificate will be accepted and water connection granted (except for the construction purposes) unless road is constructed to the satisfaction of the concerned Ex. Engineer of M.C.G.M. and as per the terms and conditions for sanction to the layout.
- (14) Recreation ground or amenity open space should be developed before submission of building Completion Certificate.
- (15) The access road to the full width shall be constructed in water bound macadam before commencing work and should be complete to the satisfaction of concerned Ex-Engineer of M.C.G.M. including asphaltting, lighting and drainage before submission of the building Completion Certificate.
- (16) Flow of water through adjoining holding or culvert, if any should be maintained unobstructed.
- (17) The surrounding open spaces around the building should be consolidated in concrete having broken glass pieces at the rate of 0.125 cubic metres per 10 Sq.Mtrs below pavement.



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SRA/ENG/3256/MW/3TGL/AP

- 17) That you shall submit the NOC's as applicable from the following concerned authority in the office of Slum Rehabilitation Authority at the stage at which it is insisted upon by the concerned Executive Engineer (SRA).



Sr. No.	NOC's	Stage of Compliance
1	A.A. & C. 'M/W'-Ward	Before Plinth CC of bldg.
2	H.E. from MCGM	Before Plinth CC.
3	Tree Authority	Before Plinth CC.
4	Dy. Ch. Eng. (SWD) E.S./W.S./City i) Regarding Internal SWD ii) Regarding Training of Nalla.	Before Further CC. Before Plinth CC.
5	Dy. Ch. Eng. (S.P.) (P&D)	Before Plinth CC.
6	Dy. Ch. Eng. (Roads) W.S.	Before Plinth CC.
7	P.C.O.	Before Plinth CC.
8	BEST / TATA / Reliance Energy / MSEB / Electric Co.	Before Further CC.
9	Civil Aviation Authority	Before Plinth CC.
10	E.E. (M&E) of MCGM for basement	Before CC of Bldg.
11	E.E. (T&C) of MCGM for Parking Layout	Before Plinth CC.
12	CFO	Before Plinth CC.

- 18) That you shall submit the Registered Undertaking from developer for executing Tripartite agreement between Developer, Society & service providers for electro mechanical maintenance of lifts, pumps, fire fighting devices etc. & at the cost of Developer for period of 10 years.
- 19) That the design and construction of the proposed building will be done under supervision of Registered Structural Engineer as per all relevant I.S. Codes including seismic loads, fire engine loads, precautions for submerged structural members as well as under the supervision of Architect and Licensed Site Supervisor.
- 20) The remarks from E.E. (D.P.) regarding acquisition will be insisted before plinth C.C.
- 21) That you shall submit fresh D.P. Remarks & Survey Remarks before asking plinth C.C.
- 22) That you shall take proper precautions for safety like barricading, safety nets etc. as directed by Safety Engineer/Structural Engineer, Geotech Consultant towards workers, occupants, adjoining structures etc. & you & your concerned team shall be responsible for safety.
- 23) That you shall pay Rs. 100/- per eligible slum dwellers towards issue of Identity Cards as per circular No. 137 dtd. 01.08.2012 before O.C.C to Rehab Building / Composite Building.
- 24) That you shall pay Rs. 10/- (Rupees Ten Only) per sq. feet of rehab constructed area inclusive of rehab component & staircase, lift,

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SRA/ENG/3266/MW/STGL/AP

5) That the minimum plinth height shall be 30 cm. above the surrounding ground level or in areas subject to flooding the height of plinth shall be at least 60 cm. above the high flood level.

6) That the low lying plot shall be filled up to a reduced level of atleast 92 T.H.D. or 15 cm. above adjoining road level whichever is higher with murum, earth, boulders etc. and shall be leveled, rolled, consolidated and sloped towards road.

That the internal drainage layout shall be submitted & got approved from concerned Asst. Engineer (SRA) and the drainage work shall be executed in accordance with the approved drainage layout.

That the existing structure proposed to be demolished shall be demolished with necessary phase program by executing agreement with eligible slum dwellers.

That the Registered site supervisor through Architects/Structural Engineer shall be appointed before applying for C.C. & quarterly report from the site supervisor shall be submitted through the Architect/Structural Engineer certifying the quality of the construction work carried out at various stages of the work.

10) That no construction work shall be allowed to start on the site unless labour insurance is taken out for the concerned labours and the same shall be revalidated time to time. And the compliance of same shall be intimated to this office.

11) That the Registered Undertaking from the Developer and Society shall be submitted for the following

- i) Not misusing part/pocket terrace/free of FSI area.
- ii) Not misusing stiff.
- iii) Not misusing Refuge Area.
- iv) To Demolish the excess area if constructed beyond permissible F.S.I.
- v) Handing over setback land free of compensation alongwith the plan.
- vi) To demolish the Transit camp constructed outside on site within 1 month of Rehab OC & may be directed by SRA.

12) The Structural designs and the quality of materials and workmanship shall be strictly as per conditions laid down in Regulation 45 of DCR 1991 amended up to date.

13) That you shall submit remarks from Asst. Commissioner of 'M/W' ward for closing/covering of well in the S.R. Scheme.

14) That the individual consent agreements of eligible slum dwellers shall be submitted.

15) That the Registration of Society shall be submitted.

16) That the C.C. shall be released as per the co-relation Rehab BUA & P.R.C. in words policy as may be decided by SRA.



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SRA/ENG/3266/MW/STGL/AP

- 7) That the requirements from the M.T.N.L./ Reliance Energy /conce electric Supply Co. shall be complied and complied with before asking occupation permission.
- 8) That the Architect shall submit the debris removal certificate before requesting for occupation permission.
- 9) That 10'-0" wide paved pathway up to staircase shall be provided.
- 10) That the surrounding open spaces, parking spaces and terrace shall be kept open and unbuilt upon and shall be levelled and developed before requesting to grant permission to occupy the building or submitted the B.C.C. whichever is earlier.
- 11) That the name plate/board showing Plot No., Name of the Bldg. etc. shall be displayed at a prominent place.
- 12) That the N.O.C. from Inspector of Lifts, P.W.D. Maharashtra, shall be obtained and submitted to this office.
- 13) That the drainage completion Certificate from E.E. (S.P.) (P & D) for provision of septic tank/soak pit/STP shall be submitted.
- 14) That stability Certificate from Structural Engineer in prescribed Performa 'D' along with the final plan mounted on canvas shall be submitted.
- 15) That the single P.R. cards for the amalgamated plot shall be submitted.
- 16) That layout R.G. shall be developed as approved by SRA.
- 17) That the N.O.C. from the A.A. & C. 'M/W' Ward shall be obtained and the requisitions, if any shall be complied with before O.C.C.
- 18) That the list of slum dweller to be accommodated in the building shall be submitted in duplicate before submitting BCC.
- 19) That completion certificate from C.F.O. shall be submitted.
- 20) That you shall submit P.R. Card and CTS plan thereby clearly earmarking the rehab plot and sale plot and built up area as per the approved layout.
- 21) That the completion certificate from E.E. (M&E) of MCGM for Ventilation/Stack parking/Mechanical Parking System shall be submitted.
- 22) That the completion certificate from Tree Authority of MCGM shall be submitted.
- 23) That you shall submit the receipt for handing over of buildable / non-buildable reservations before requesting full OCC of sale bldg.
- 24) That the Rain Water Harvesting system should be installed/provided as

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SRA/ENG/3266/MW/STGL/AP

message, stilt area etc. for the Structural Audit as per circular No. 138 before issue of Occupation Certificate of rehab building.

- 25) That you shall submit self declaration certificate for every 3 months stating that the progress of the work is as per approved plans.
- 26) That you shall install C.C.T.V. cameras on site with its real time relay/display on real time basis at SRA office in co-ordination with I.T. Officer (SRA).--

**B. THAT THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH BEFORE FURTHER C.C. OF SUPER STRUCTURE:-**

- 1) That a plan showing the dimensions of the plinth and the available open spaces certified by the Architect shall be submitted and the same shall be got checked & certified by the concerned Sub Engineer (SRA).
- 2) That the stability certificate for work carried out upto plinth level/stilt level shall be submitted from the Lic. Structural Engineer.
- 3) That the quality of construction work of bldg. shall be strictly monitored by concerned Architect, Site supervisor, Structural Engineer, Third Party Quality Auditor and Project Management Consultant. The periodical report as regards to the quality of work shall be submitted by Architect along with test result.

- 4) That the C.C. of last 10% sale area shall not be released till the outside transit camp is demolished.

**THAT THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH BEFORE GRANTING O.C. TO ANY PART OF THE PROPOSED BUILDING.**

- 1) The Building Completion Certificate in prescribed Performa certifying work carried out as per specification shall be submitted.
- 2) That some of the drains shall be laid internally with C.I. pipes.
- 3) That you shall develop the layout access/D.P. Road/setback land including providing streetlights as per the remarks/specifications MCGM. And submit the completion certificate from E.E. (Road Construction) as per the remarks.
- 4) That the dustbin shall be provided as per requirement.
- 5) That carriage entrance over existing SWD shall be provided and charges if any for the same shall be paid to MCGM before requesting occupation.
- 6) That the surface drainage arrangement shall be provided in consultation with E.E. (SWD) as per the remarks and a completion certificate shall be obtained and submitted before requesting for occupation certificate/B.C.C.





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D. THAT THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH BEFORE B.C.C.

- 1) That certificate under Section 270A of B.M.C. Act. shall be obtained from H.E.'s department regarding adequacy of water supply.
- 2) That you shall have to maintain the rehab building for a period of 10 years from the date of granting occupation to the rehab bldg.
- 3) That you shall have to maintain the electro mechanical systems such as water pumps, lifts, etc. for a period of ten years from the date of issue of Occupation Certificate to the Rehabilitation / Composite building.
- 4) That the Amenity Tenements i.e. 01 nos. of Balwadi, 01 nos. of Welfare Centre, 01 nos. of Society Office shall be handed over to within 30 days from the date of issue of OCC of Rehab/Composite bldg.
- 5) The Developer shall submit various NOCs including that from MOEF as applicable from the concerned authorities in the office of Slum Rehabilitation Authority from time to time during the execution of the S.R. Scheme.



**NOTES:**

1. That C.C. for sale building shall be controlled in a phasewise manner as decided by CEO (SRA) in proportion with the actual work of rehabilitation component as per Circular No. 98 & 104.
2. That no occupation permission of any of the sale wing/sale building/sale area shall be considered until Occupation Certificate for equivalent Rehabilitation area is granted.
3. That CEO (SRA) reserves right to add or amend or delete some of the above or all the above mentioned conditions if required, during execution of Slum Rehabilitation Scheme.

-sd-

Executive Engineer (E.S.)  
Slum Rehabilitation Authority

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ANNEXURE 'D'



SLUM REHABILITATION AUTHORITY

No: ME/STGOVT/0051/2010 0222/AP/S

Dt: 11 AUG 2022

To,  
Architect  
Shri. Mukesh Bahadur of  
M/s. Consultants Combined,  
B-101, Manek Kunj (Meghwadi),  
Dr. S.S.Rao Raod, Lalbaug,  
Parel, Mumbai-400 012.



Sub: Amended plans approval for Sale building in S. R. Scheme of bearing C.T.S. No. 708 (pt), 709, 709/1 to 11, 710, 710/1 to 23, 711, 711/1 to 14, 712, 712/1 to 7, 715, 715/1 to 36, 715/37, 716 and land under Nila-Mutha line of village Chembur, Tal.-Kurla, Mumbai-400089, in M/W ward of MCGM.

Ref: Your letter dtd. - 27.06.2022

Gentleman,

With reference to above, the amended plans submitted by you for the Sale building are hereby approved by this office subject to following conditions.

1. That all the conditions mentioned in LOI under No. SRA/ENG/2323/ME/STGL/LOI Dated 27.05.2015 and Revised LOI on 11.10.2019 shall be complied with.
2. That all the conditions mentioned in IOA under No. ME/STGOVT/0051/2010 0222/AP/S Dated 13.10.2017 and Amended on 07.06.2018 & 25.10.2019 & 01.09.2021 shall be complied with.
3. That the CC shall be got re-endorsed.

One set of amended plans is returned herewith as token of approval.

Your's faithfully

- sd -  
Executive Engineer-M-W  
Slum Rehabilitation Authority

Copy to :

1. Developer :- M/s. Vardhan Housing
2. Designated officer -M Ward of MCGM
3. A.E. (W.W.) M/W of MCGM

Your's faithfully

Executive Engineer- M-W  
Slum Rehabilitation Authority

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**SLUM REHABILITATION AUTHORITY**

Administrative Building, Pr. Anant Kanekar Marg, Bandra (East), Mumbai - 400 051

Intimation of Approval under Sub regulation 2.3 of Appendix - IV  
of D.C.R. No. 33 (10) Dt. 15.10.97 of Brihanmumbai.

No. SRA / ENG / ME / STGOVT / 0051 / 20.10.2022 / AP / S (S)

11 OCT 2017



To,  
M/s. Vardhan Housing  
422, Commerce House, 140,  
N.M. Road, Fort,  
Mumbai 400 043

With reference to your Notice, letter No. 914 dated 14/07/2017 and delivered on 20 and the plans, Sections, Specifications and Description and further particulars and details of your building at C.T. S. No. 708(pt), 709, 709/1 to 11, 710, 710/1 to 23, 711, 711/1 to 14, 712, 712/1 to 7, 715, 715/1 to 36, 715/37, 716 & Land under Nila Mutha line, of village Chembur, Tal Kurla Mumbai 400089, For "Dr Babasaheb Ambedkar CHS LTD" furnished to me under your letter, dated 20

I have to inform you that the proposal of construction of the building or work proposed to be erected or executed is hereby approved under section 45 of the Maharashtra Regional & Town Planning Act, 1966 as amended up-to-date, subject to the following conditions :


- A. THAT THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH BEFORE COMMENCEMENT OF THE WORK UPTO PLINTH LEVEL**
- A.1) That the Commencement Certificate us/ 44/69 (1) of the MR & TP Act, Shall be obtained before starting the proposed work.
  - A.2) That the compound shall be constructed, after getting the plot demarcated from the concerned authority, on all sides of the plot clear of the road side drain without obstructing the flow of rain water from the adjoining holding, to prove possession of holding before starting the work as per D.C. Regulation No. 38 (27)
  - A.3) That the structural Engineer shall be appointed, and the Supervision memo as per Appendix XI D.C. Regulation 5(3) (ix) shall be submitted by him.
  - A.4) That the Structural design and calculations for the proposed work accounting for system analysis as per relevant I.S. code along with plan shall be submitted before C.C.

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Subject to your so modifying your intention as to comply the aforesaid mentioned conditions and meet by requirements. You will be at liberty to proceed with the said building or work at anytime before the \_\_\_\_\_ day of \_\_\_\_\_ 20 but not so as to contravene any of the provisions of the said Act as amended as aforesaid or any rule, regulations or bye-law made under that Act at the time in force.

Your attention is drawn to the special Instructions and Notes accompanying this Intimation of Approval

  
Executive Engineer, (S.R.A.)

### SPECIAL INSTRUCTIONS



IN CASE OF PRIVATE PLOTS THIS INTIMATION OF APPROVAL GIVES NO RIGHT TO BUILD UPON LAND WHICH IS NOT YOUR PROPERTY.

Under Section 151 & 152 of M.R & T.P. Act 1966, as amended the Chief Executive Officer, Slum Rehabilitation Authority has empowered the Chief Engineer (S.R.A.)/ Executive Engineer (S.R.A.) to exercise, perform and discharge the powers, duties and functions and imposed upon and vested in the C.E.O. (S.R.A.) by section of the said Act.

- (3) Proposed date of commencement of work should be communicated to this office.
- (4) One more copy of the block plan should be submitted to the Collector, Mumbai / Mumbai Suburbs District as the case may be.
- (5) Necessary permission for Non-agricultural use of the land shall be obtained from the Collector, Mumbai / Mumbai Suburban District before the work is started. The Non-agricultural assessment shall be paid at the rate that may be fixed by the Collector, under the Land Revenue Code and Rules thereunder.

Attention is drawn to the notes accompanying this Intimation of Approval.

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SRA/ENG/ME/STGOVT/0051/2010 0222/AP/S

5	Dy. Ch. Eng.(S.P.) (P & D)	Before Plinth CC.
6	P.C.O.	Before Plinth CC.
7	BEST / TATA / Reliance Energy / MSEB / Electric Co.	Before Further CC.
8	NOC's from MTNL-Mumbai regarding required area & location for installation of telephone concentrators room.	Before OCC of Sale
9	Civil Aviation Authority	Before Plinth CC.
10	E.E. (M&E) of MCGM	Before Further C.C. OCC of Bldg.
11	E.E. (T&C) of MCGM for Parking Layout	Before Plinth CC.
12	CFO	Before Plinth CC.

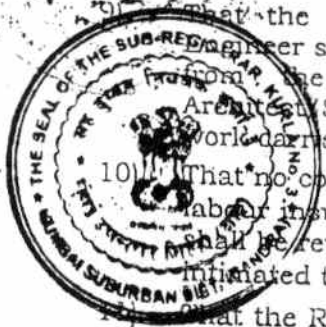


- 15) That you shall submit the Registered Undertaking from developer for executing Tripartite agreement between Developer, Society & service providers for electro mechanical maintenance of lifts, pumps, fire fighting devices etc. & at the cost of Developer for period of 10 years.
- 16) That the design and construction of the proposed building will be done under supervision of Registered Structural Engineer as per all relevant I.S. Codes including seismic loads, fire engine loads, precautions for submerged structural members as well as under the supervision of Architect and Licensed Site Supervisor.
- 17) That you shall take proper precautions for safety like barricading, safety nets etc. as directed by Safety Engineer/Structural Engineer, Geotech Consultant towards workers, occupants, adjoining structures etc. & you & your concerned team shall be responsible for safety.
- 13) That you shall registered in MAHA RERA.
- B. THAT THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH BEFORE FURTHER C.C. OF SUPER STRUCTURE: -**
- 1) That a plan showing the dimensions of the plinth and the available open spaces certified by the Architect shall be submitted and the same shall be got checked & certified by the concerned Sub Engineer (SRA).
  - 2) That the stability certificate for work carried out upto plinth level/stilt level shall be submitted from the Lic. Structural Engineer.
  - 3) That the quality of construction work of bldg. shall be strictly monitored by concerned Architect, Site supervisor, Structural Engineer, Third Party Quality Auditor and Project Management Consultant. The periodical report as regards to the quality of work shall be submitted by Architect along with test result.
  - 4) That you shall submit Environmental Clearance from Environmental Cell/SRA constituted as per GoM notification u/no. TPS-1816/CR-443/16/DP/ Pune & Konkan/UD-13 dt. 28/06/2017 as per Office Order u/no.SRA/DDTP/EC/2017/180 dtd. 30/08/2017, before asking for C.C beyond 5000 sq.mt. construction area.

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SRA/ENG/ME/STGOVT/0051/2010 0222/AP/S

- 5) That the minimum plinth height shall be 30 cm. above the surrounding ground level or in areas subject to flooding the height of plinth shall be at least 60 cm. above the high flood level.
- 6) That the low lying plot shall be filled up to a reduced level of atleast 92 T.H.D. or 15 cm. above adjoining road level whichever is higher with murum, earth, boulders etc. and shall be leveled, rolled, consolidated and sloped towards road.
- 7) That the internal drainage layout shall be submitted & got approved from concerned Asst. Engineer (SRA) and the drainage work shall be executed in accordance with the approved drainage layout.
- That the existing structure proposed to be demolished shall be demolished with necessary phase program by executing agreement with eligible slum dwellers.
- That the Registered site supervisor through Architects/Structural Engineer shall be appointed before applying for C.C. & quarterly report from the site supervisor shall be submitted through the Architects/Structural Engineer certifying the quality of the construction work carried out at various stages of the work.
- 10) That no construction work shall be allowed to start on the site unless labour insurance is taken out for the concerned labours and the same shall be revalidated time to time. And the compliance of same shall be intimated to this office.
- That the Registered Undertaking from the Developer and Society shall be submitted for the following
- Not misusing part/pocket terrace/free of FSI areas.
  - Not misusing stilt.
  - Not misusing Refuge Area.
  - To Demolish the excess area if constructed beyond permissible F.S.I.
- 12) The Structural designs and the quality of materials and workmanship shall be strictly as per conditions laid down in Regulation 45 of DCR 1991 amended up to date.
- 13) That the C.C. shall be released as per the co-relation Rehab BUA & P.R.C in words policy as may be decided by SRA.
- 14) That you shall submit the NOC's as applicable from the following concerned authority in the office of Slum Rehabilitation Authority at a stage at which it is insisted upon by the concerned Executive Engineer (SRA).



Sr. No.	NOC's	Stage of Compliance
1	A.A. & C. 'M/W'-Ward	Before Plinth CC of Sale bldg.
2	H.E. from MCGM	Before Plinth CC.
3	Tree Authority	Before Plinth CC.
4	Dy. Ch. Eng.(SWD) W.S. i) Regarding Internal SWD ii) Regarding Training of Nalla.	Before Further CC. Before Plinth CC.

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SRA/ENG/ME/STGOVT/0051/2010 0222/AP/S

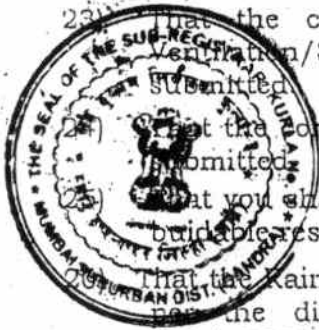
- C. THAT THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH BEFORE GRANTING O.C. TO ANY PART OF THE PROPOSED BUILDING.
- 1) All the conditions of Letter of intent shall be complied with before asking for occupation certificate of sale/composite building.
  - 2) The Building Completion Certificate in prescribed Performa containing work carried out as per specification shall be submitted.
  - 3) That some of the drains shall be laid internally with C.I. pipe.
  - 4) That you shall develop the layout access/D.P. Road/setback plan including providing streetlights as per the remarks/specifications MCGM. And submit the completion certificate from E.E. (Road Construction) as per the remarks.
  - 5) That the dustbin shall be provided as per requirement.
  - 6) That carriage entrance over existing SWD shall be provided and charges if any for the same shall be paid to MCGM before requesting occupation.
  - 7) That the surface drainage arrangement shall be provided in consultation with E.E. (SWD) as per the remarks and a completion certificate shall be obtained and submitted before requesting for occupation certificate/B.C.C.
  - 8) That the requirements from the M.T.N.L./ Reliance Energy /concerned electric Supply Co. shall be complied and complied with before asking occupation permission.
  - 9) That the Architect shall submit the debris removal certificate before requesting for occupation permission.
  - 10) That 10'-0" wide paved pathway up to staircase shall be provided.
  - 11) That the surrounding open spaces, parking spaces and terrace shall be kept open and unbuilt upon and shall be levelled and developed before requesting to grant permission to occupy the building or submitted the B.C.C. whichever is earlier.
  - 12) That the name plate/board showing Plot No., Name of the Bldg. etc. shall be displayed at a prominent place.
  - 13) That the N.O.C. from Inspector of Lifts, P.W.D. Maharashtra, shall be obtained and submitted to this office.
  - 14) That the drainage completion Certificate from E.E. (S.P.) (P & D) for provision of septic tank/soak pit/STP shall be submitted.
  - 15) That stability Certificate from Structural Engineer in prescribed Performa 'D' along with the final plan mounted on canvas shall be submitted.
  - 16) That the single P.R. cards for the amalgamated plot shall be submitted.
  - 17) That layout R.G. shall be developed as approved by SRA.
  - 18) That the N.O.C. from the A.A. & C. M/W Ward shall be obtained and the requisitions, if any shall be complied with before O.C.C.



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- 19) That the allotment list of slum dweller to be accommodated in the building as per lottery conducted by A.R.S. shall be submitted in duplicate before submitting OCC.
- 20) That completion certificate from C.F.O. shall be submitted.
- 21) That you shall submit P.R. Card and CTS plan thereby clearly earmarking the rehab plot and sale plot and built up area as per the approved layout.
- 22) That the completion certificate from E.E. (T&C) of MCGM for parking shall be submitted.



- 23) That the completion certificate from E.E. (M&E) of MCGM for Ventilation/Stack parking/Mechanical Parking System shall be submitted.
- 24) That the completion certificate from Tree Authority of MCGM shall be submitted.
- 25) That you shall submit the receipt for handing over of buildable / non-buildable reservations before requesting full OCC of sale bldg.
- 26) That the Rain Water Harvesting system should be installed/provided as per the direction of U.D.D., Govt. of Maharashtra under No. TPB/432001/2133/CR-230/01/UD-11 dtd.10/03/2005 and the same shall be maintained in good working conditions all the time, failing which penalty of Rs.1000/- per annum for every 100 sq.mt. of built-up area shall be levied.

**D. THAT THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH BEFORE B.C.C.**

That certificate under Section 270A of B.M.C. Act. shall be obtained from H.E.'s department regarding adequacy of water supply.

**NOTES:**

1. That C C. for sale building shall be controlled in a phasewise manner as decided by CEO (SRA) in proportion with the actual work of rehabilitation component as per Circular No. 98 & 104.
2. That no occupation permission of any of the sale wing/sale building/sale area shall be considered until Occupation Certificate for equivalent Rehabilitation area is granted.
3. That CEO (SRA) reserves right to add or amend or delete some of the above or all the above mentioned conditions if required, during execution of Slum Rehabilitation Scheme.

*seah*  
13.10.17

Executive Engineer - III  
Slum Rehabilitation Authority



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२०३९	E/S
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### NOTES

- (1) The work should not be started unless objections \_\_\_\_\_ are complied with.
- (2) A certified set of latest approved plans shall be displayed on site at the time of commencement of the work and during the progress of the construction work.
- (3) Temporary permission on payment of deposit should be obtained for any shed to house and store for constructional purposes; Residence of workmen shall not be allowed on site; temporary structures for storing constructional materials shall be demolished before submission of building completion certificate and a certificate signed by Architect submitted along with the building completion certificate.
- (4) Temporary sanitary accommodation on full flushing system with necessary drainage arrangements should be provided on site for workers, before starting the work.
- (5) Water connection for constructional purposes will not be given until the work is completed and application is made to the Ward Officer of M.C.G.M. with the required deposit for the construction of carriage entrance, over the road side drain.
- (6) The owners shall intimate the Hydraulic Engineer of M.C.G.M. or his representative in wards of M.C.G.M. atleast 15 days prior to the date of which the proposed construction work is taken in hand that the water existing in the compound will be utilised for their construction works and they will not use any Municipal Water for construction purposes. Failing this, it will be presumed that Municipal tap water has been consumed on the construction works and bills preferred against them accordingly.
- (7) The hoarding or screen wall for supporting the depots of building materials shall be constructed before starting any work even though no materials may be expected to be stabled in front of the property. The scaffoldings, bricks, metal, sand, preps, debris etc. should not be deposited over footpaths or public street by the owner/architect/their contractors, etc. without obtaining prior permission from the Ward Officer of the area.
- (8) The work should not be started unless the compliance of abovesaid conditions is approved by this department.
- (9) No work should be started unless the structural design is submitted from LSE.
- (10) The work above plinth should not be started before the same is shown to this office Sub-Engineer (SRA) concerned and acknowledgement obtained from him regarding correctness of the open spaces dimension.
- (11) The application for sewer street connections, if necessary, should be made simultaneously with commencement of the work as the Municipal Corporation of Greater Mumbai will require time to consider alternative site to avoid the excavation of the road and footpath.
- (12) All the terms and conditions of the approved layout/sub-division/Amalgamation under No. \_\_\_\_\_ should be adhered to and complied with.
- (13) No building/Drainage Completion Certificate will be accepted and water connection granted (except for the construction purposes) unless road is constructed to the satisfaction of the concerned Ex. Engineer of M.C.G.M. and as per the terms and conditions for sanction to the layout.
- (14) Recreation ground or amenity open space should be developed before submission of building Completion Certificate.
- (15) The access road to the full width shall be constructed in water bound macadam before commencing work and should be complete to the satisfaction of concerned. Ex-Engineer of M.C.G.M. including asphaltting, lighting and drainage before submission of the building Completion Certificate.
- (16) Flow of water through adjoining holding or culvert, if any should be maintained.

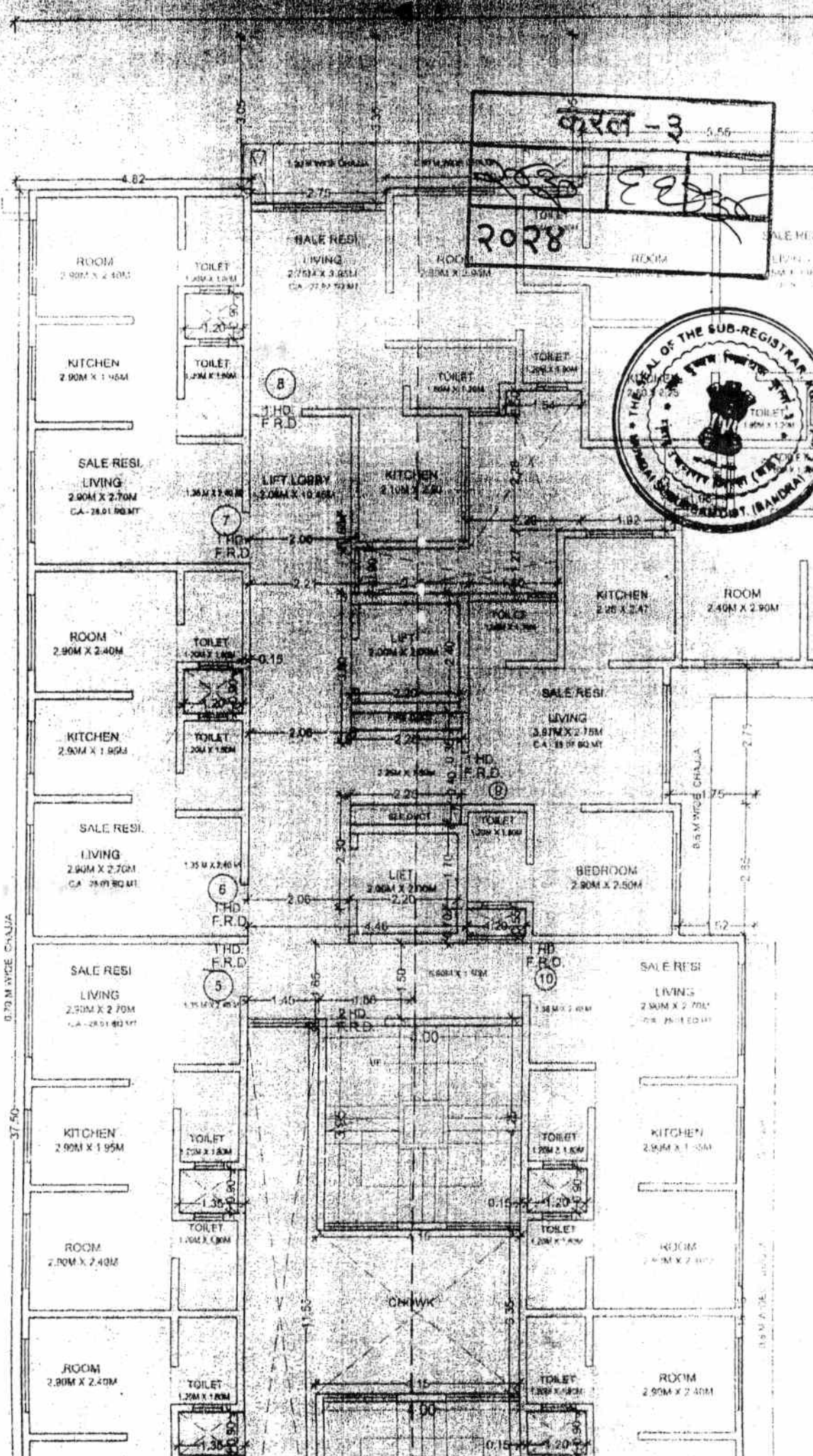


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- (18) The compound wall or fencing should be constructed clear of the road widening line with foundation below level of the bottom of road side drain without obstructing flow of rain water from adjoining holding before starting the work to prove the owner's holding.
- (19) No work should be started unless the existing structures or proposed to be demolished are demolished.
- (20) If it is proposed to demolish the existing structures by negotiations with the tenants, under the circumstances, the work as per approved plans should not be taken up in hand unless the Chief Engineer [SRA] is satisfied with the following :
- Specific plans in respect of evicting or rehousing the existing tenants on your plot stating their number and the area in occupation of each.
  - Specifically signed agreement between you and the existing tenants that they are willing to avail the alternative accommodation in the proposed structure.
- (21) Plans showing the phase programme of construction has to be duly approved by this office starting the work so as not to contravene at any stage of construction, the Development Control Rules regarding open spaces, light and ventilation of existing structure.
- (22) In case of additional floor no work should be started during monsoon which will give rise to water seepage and consequent nuisance to the tenants staying on the floor below.
- (23) The bottom of the over head storage work above the finished level of the terrace shall not be more than 1 metre.
- (24) The work should not be started above first floor level unless the No Objection Certificate from the Civil Aviation Authorities, where necessary, is obtained.
- (25) It is to be understood that the foundations must be excavated down to hard soil.
- (26) The positions of the tenants and other appurtenances in the building should be so arranged as not to necessitate the laying of drains inside the building.
- (27) No new well, tank, pond, cistern or fountain shall be dug or constructed without the previous permission in writing from the Chief Executive Officer of Slum Rehabilitation Authority.
- (28) All gully traps and open channel shall be provided with right fitting mosquito proof covers as per relevant I. S. specifications.
- (29) No broken bottle should be fixed over boundary walls. The prohibition refers only to broken bottles & not to the use of plain glass for coping over compound wall.
- (30) If the proposed addition is intended to be carried out on old foundations and structures, you will do so at your own risk.



*Alah*  
13/10/17  
Executive Engineers, (S.R.A.)



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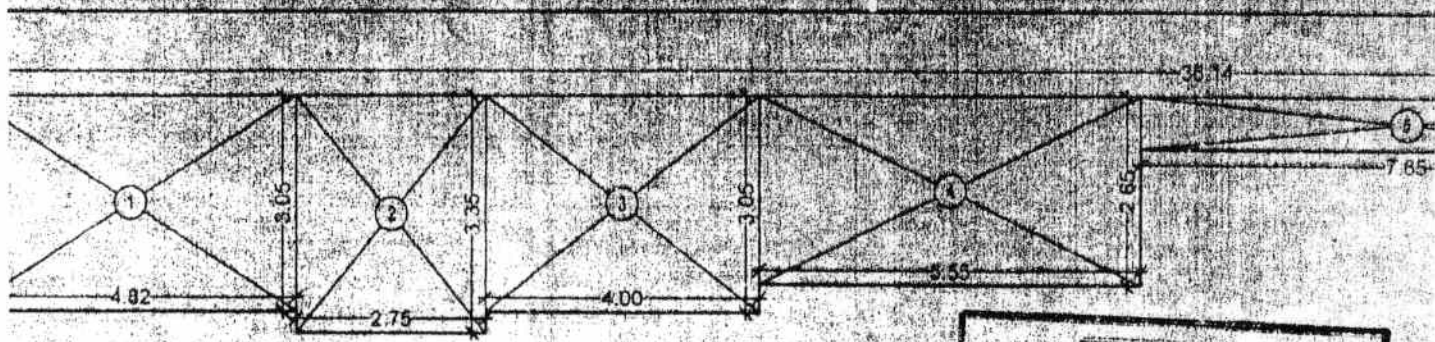


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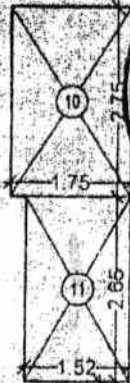
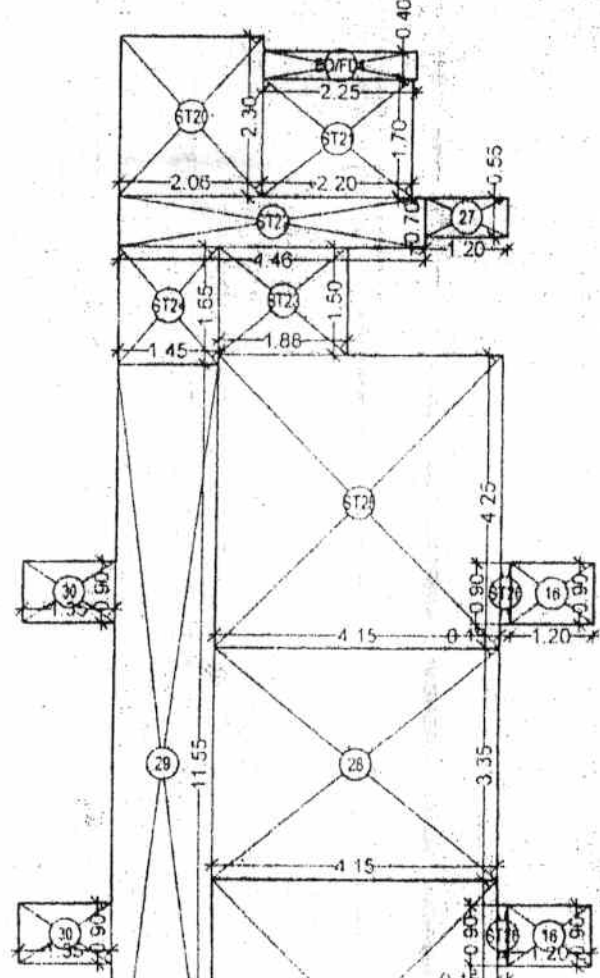
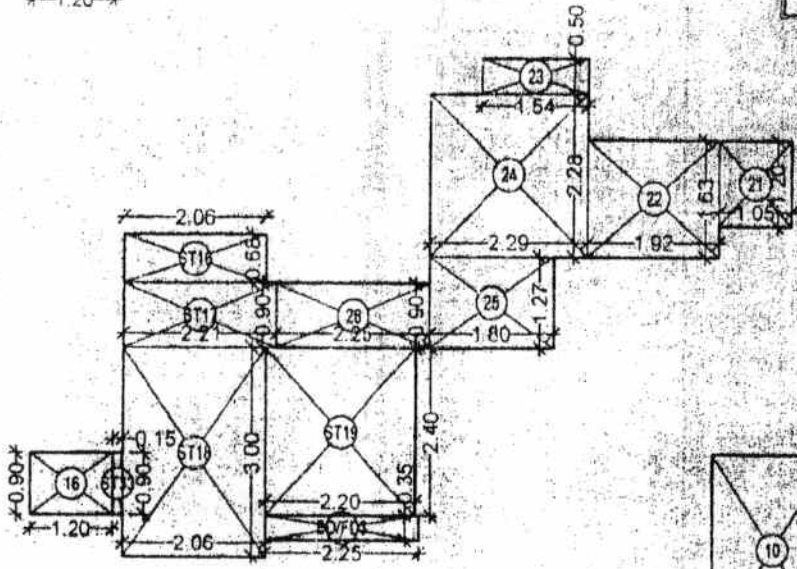
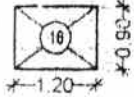
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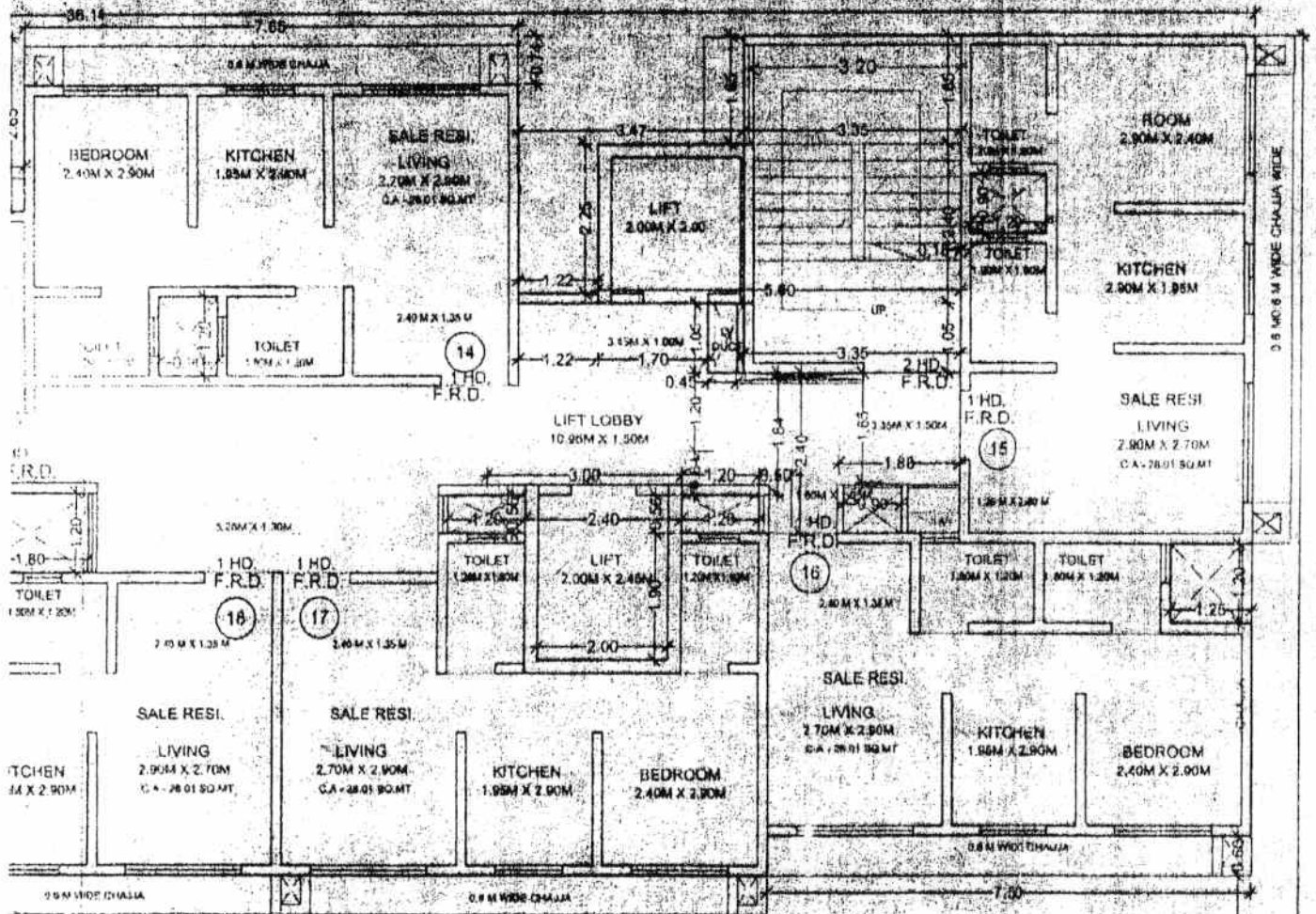
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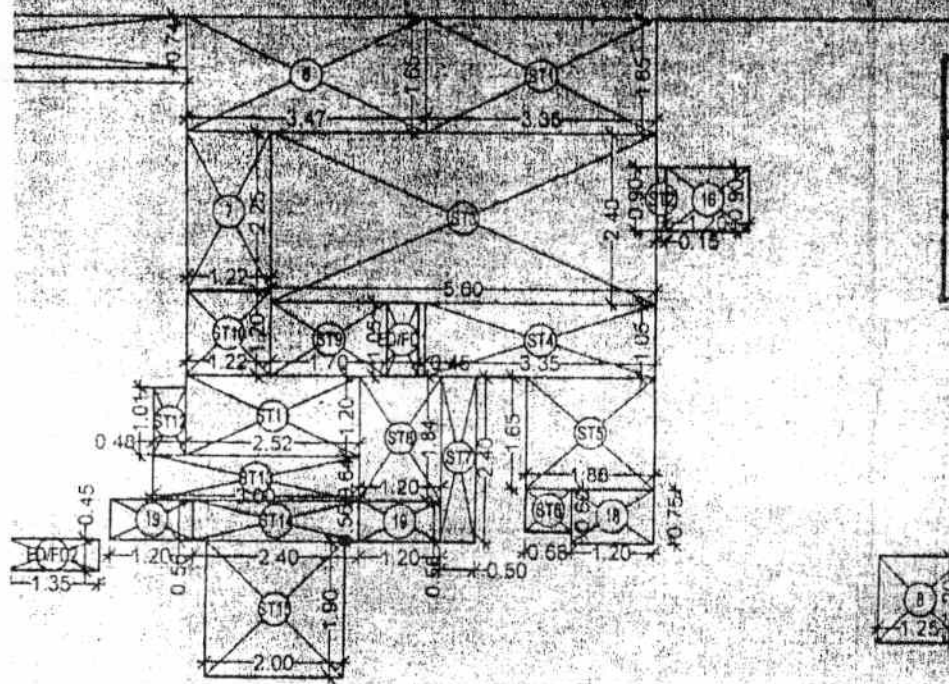
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करल - 3  
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BUILDUP AREA CALCULATION

TYPICAL FLOOR PLAN 17/17/78 & 80/10/140, 150 & 17

1	20.99	X	32.45	X	1 NC
TOTAL AC					
DEDUCTIONS					
2	4.00	X	3.05	X	1 NC
3	5.53	X	2.65	X	1 NC

4	7.65	X	0.74	X	1 NC
5	3.47	X	1.65	X	1 NC
6	1.22	X	2.25	X	1 NC
7	1.25	X	1.20	X	1 NC
8	7.50	X	0.60	X	1 NC
9	1.75	X	2.75	X	1 NC
10	1.52	X	2.65	X	1 NC
11	0.18	X	15.15	X	1 NC
12	1.47	X	7.35	X	1 NC
13	20.99	X	32.45	X	1 NC
14	0.27	X	37.50	X	1 NC
15	1.20	X	0.90	X	7 NC
16	0.00	X	1.20	X	3 NC
17			0.75	X	1 NC
18				X	2 NC
19				X	1 NC
20				X	1 NC
21				X	1 NC
22				X	1 NC
23				X	1 NC
24				X	1 NC
25				X	1 NC
26				X	1 NC
27				X	1 NC
28				X	1 NC
29				X	1 NC
30				X	2 NC
ED/FD1	0.45	X	1.05	X	1 NC
ED/FD2	1.35	X	0.45	X	1 NC
ED/FD3	2.25	X	0.35	X	1 NC
ED/FD4	2.25	X	0.40	X	1 NC
ED/FD5	2.28	X	0.45	X	1 NC
ED/FD6	2.25	X	0.45	X	1 NC
TOTAL DED					
CONSTRUCTION AREA (X - Y1)					

STAIRCASE AREA CALCULATION

ST1	3.35	X	1.65	X	1 NC
ST2	0.15	X	0.90	X	1 NC
ST3	5.60	X	2.40	X	1 NC
ST4	3.35	X	1.05	X	1 NC
ST5	1.98	X	1.65	X	1 NC
ST6	0.60	X	0.60	X	1 NC
ST7	0.50	X	2.40	X	1 NC
ST8	1.20	X	1.84	X	1 NC
ST9	1.70	X	1.05	X	1 NC
ST10	1.22	X	1.20	X	1 NC
ST:1	2.52	X	1.20	X	1 NC
ST12	0.48	X	1.01	X	1 NC
ST13	3.00	X	0.64	X	1 NC



45.10

* 14.70 SQ.MT.
* 321 SQ.MT.
* 12.00 SQ.MT.
* 14.71 SQ.MT.
* 5.68 SQ.MT.
* 5.73 SQ.MT.
* 2.75 SQ.MT.
* 1.50 SQ.MT.
* 4.00 SQ.MT.
* 4.81 SQ.MT.
* 4.01 SQ.MT.
* 2.73 SQ.MT.
* 10.80 SQ.MT.
* 887.13 SQ.MT.
* 10.13 SQ.MT.
* 7.58 SQ.MT.
* 3.24 SQ.MT.
* 0.90 SQ.MT.
* 1.34 SQ.MT.
* 2.78 SQ.MT.
* 1.28 SQ.MT.
* 3.13 SQ.MT.
* 3.77 SQ.MT.
* 3.22 SQ.MT.
* 7.29 SQ.MT.
* 2.03 SQ.MT.
* 0.68 SQ.MT.
* 13.90 SQ.MT.
* 16.75 SQ.MT.
* 2.43 SQ.MT.
* 0.47 SQ.MT.
* 0.61 SQ.MT.
* 0.79 SQ.MT.
* 0.80 SQ.MT.
* 1.03 SQ.MT.
* 1.01 SQ.MT.
* 853.04 SQ.MT.
* 776.87 SQ.MT.

* 5.53 SQ.MT.
* 0.14 SQ.MT.
* 53.44 SQ.MT.
* 3.52 SQ.MT.
* 3.10 SQ.MT.
* 0.41 SQ.MT.
* 1.20 SQ.MT.
* 2.21 SQ.MT.
* 1.79 SQ.MT.
* 1.46 SQ.MT.
* 3.02 SQ.MT.
* 0.48 SQ.MT.
* 1.32 SQ.MT.
* 1.34 SQ.MT.

PROJECT NO. 10/2017 SHEET NO. 03/07

CONTENTS OF SHEET

DATE: 01-09-2021

BUILDING AREA, CONSTRUCTION & CALCULATION

CARPET AREA STATEMENT

This cancels Approval to the Previous Plans sanctioned under no. MF/STG/VT/005/2019/0222/AP/S Dated 01-09-2021

Approved Subject to the condition Mentioned in this office permission Letter no. SRA/ENGL/RE/STG/VT/006/1 Dtd. 11 AUG 2022. 2019/0222/AP/S

Executive Engineer  
Slum Rehabilitation Authority

STAMP OF DATE OF RECEIPT OF PLANS

STAMP OF DATE OF APPROVAL OF PLANS

CARPET AREA STATEMENT

TYPICAL UNIT - 7-10-12-14-18

LIVING ROOM	2.90 x 2.70 = 7.83 SQ.M
KITCHEN	1.35 x 2.40 = 3.24 SQ.M
ROOM	2.40 x 2.90 = 6.96 SQ.M
TOILET 1	1.20 x 1.80 = 2.16 SQ.M
TOILET 2	1.20 x 1.80 = 2.16 SQ.M
TOTAL	= 28.01 BQ.M

CARPET AREA STATEMENT

TYPICAL UNIT - 8

LIVING ROOM	2.75 x 3.95 = 10.86 SQ.M
KITCHEN	2.10 x 2.50 = 5.25 SQ.M
ROOM	2.50 x 2.90 = 7.25 SQ.M
TOILET 1	1.20 x 1.80 = 2.16 SQ.M
TOILET 2	1.80 x 1.20 = 2.16 SQ.M
	0.34 x 0.70 = 0.24 SQ.M
TOTAL	= 27.92 SQ.M

CARPET AREA STATEMENT

TYPICAL UNIT - 9

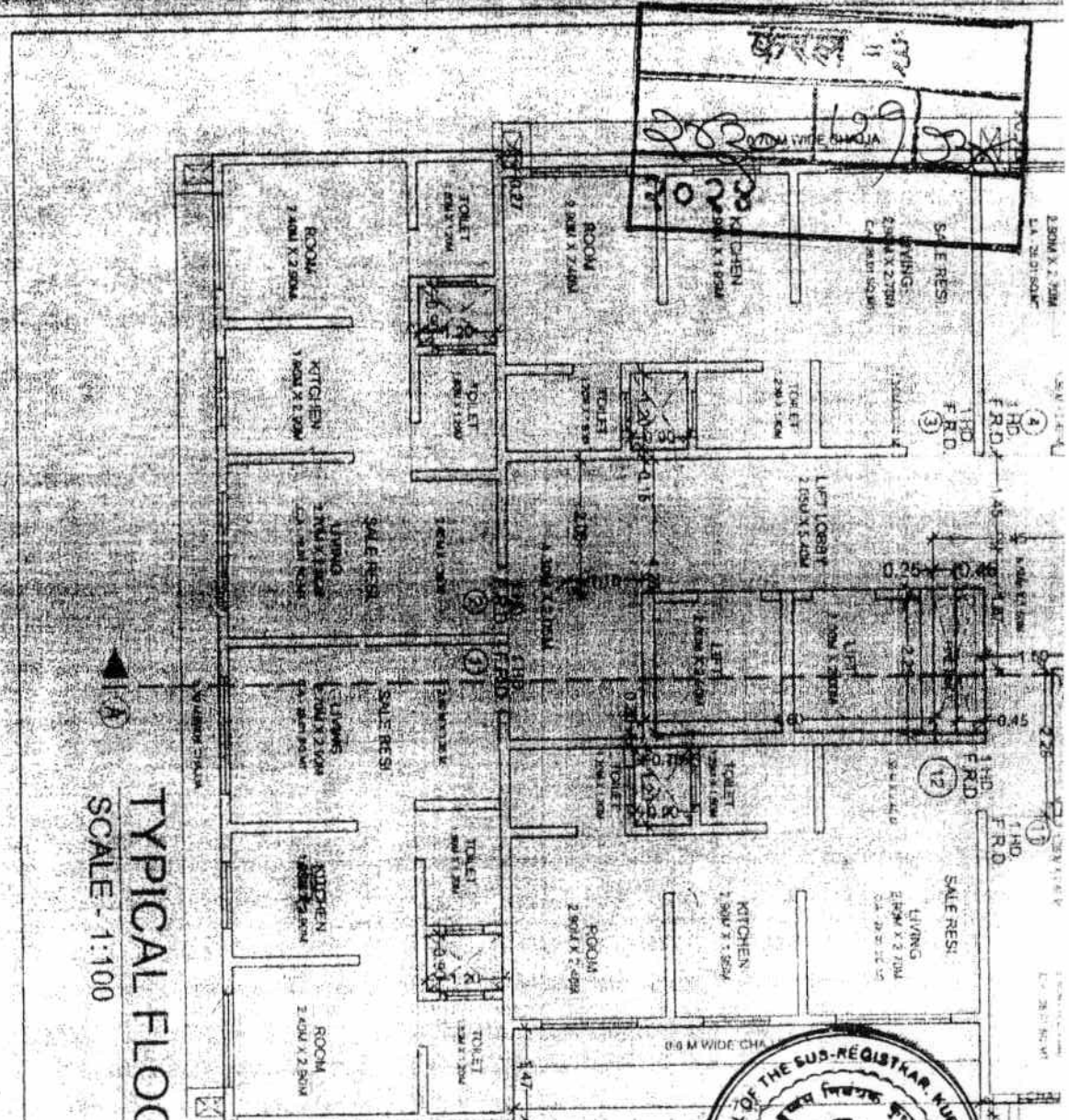
LIVING ROOM	3.37 x 2.75 = 10.92 SQ.M
KITCHEN	2.26 x 2.47 = 5.58 SQ.M
ROOM	2.90 x 2.50 = 7.25 SQ.M
TOILET 1	1.20 x 1.80 = 2.16 SQ.M
TOILET 2	1.20 x 1.80 = 2.16 SQ.M
TOTAL	= 28.07 SQ.M

CARPET AREA STATEMENT

TYPICAL UNIT - 13

LIVING ROOM	2.75 x 3.95 = 10.86 SQ.M
KITCHEN	2.50 x 2.25 = 5.63 SQ.M
ROOM	2.50 x 2.90 = 7.25 SQ.M





TYPICAL FLOOR PLAN ( 1st to 7th & 9th to 14th, 16th )  
 SCALE - 1:100



STAIR	2.00	2.25	4	4.20	X	1.00	4	4.74	SQ.MT.
ST11	2.20	X	1.70	X	1.00	X	X	3.74	SQ.MT.
ST12	4.46	X	0.70	X	1.00	X	X	3.12	SQ.MT.
ST23	1.82	X	1.50	X	1.00	X	X	2.82	SQ.MT.
ST24	1.45	X	1.65	X	1.00	X	X	2.35	SQ.MT.
ST25	4.15	X	4.25	X	2 NOS	X	X	35.28	SQ.MT.
ST25	0.15	X	0.90	X	3 NOS	X	X	0.41	SQ.MT.
ST27	1.87	X	1.50	X	1.00	X	X	2.81	SQ.MT.
ST28	1.45	X	2.45	X	1.00	X	X	3.58	SQ.MT.
ST29	0.61	X	0.80	X	1.00	X	X	0.49	SQ.MT.
ST30	4.28	X	4.60	X	1.00	X	X	19.50	SQ.MT.
ST31	0.20	X	0.75	X	1.00	X	X	0.15	SQ.MT.
ST32	2.06	X	1.15	X	1.00	X	X	2.37	SQ.MT.
ST33	0.75	X	0.90	X	1.00	X	X	0.74	SQ.MT.
TOTAL STAIRCASE AREA									204.00 SQ.MT.
SALE BUILT UP AREA									537.85 SQ.MT.
S3 (12*12)									



NAME OF DEVELOPER  
**For Vardhan Housing**  
 M/s. VARDHAN HOUSING

DESCRIPTION OF PLOT/LAND PROPERTY  
 Partner  
 Proposed S.R. Scheme (on plot) bearing C.T.S. No. 2765(9), 700  
 709/1 to 1-7/10, 11/11 to 23, 714, 733/1 to 14, 742, 742/2 to 7  
 715, 715/1 to 38, 715/37/2 & 716 & Land under Map No. 46, 47 & 48  
 of Village Chionkar, Tal. Kurla, Mumbai - 400 069  
 For Dr. H. B. D. Ambekar, CHS Ltd.

PROJ NO	DRG BY	DATE
	VISHAI	05/10/2016
DRG NO	CHECKED BY	SCALE
	SAGAR	1:500
NORTH	REMARKS	

NAME & ADDRESS OF ARCHITECT

**CONSULTANTS**  
**COMPANY**

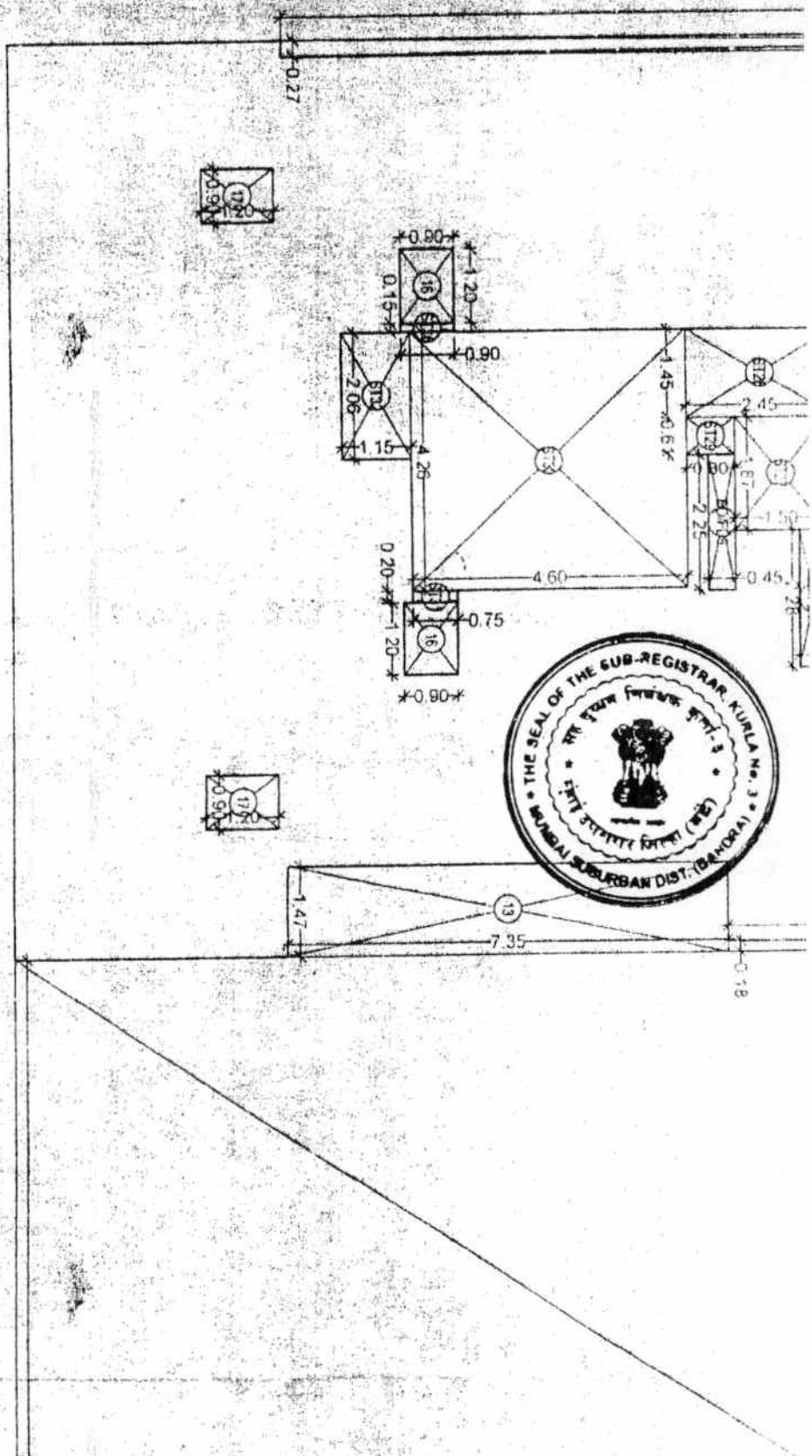
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2030	2038
2038	2030

**11th Floor)**

**AREA LINE DIAGRAM TYP FLOOR ( 1st to 7th & 9th to 14th, 16th & 17th Floor)**

**SCALE - 1:100**



## ANNEXURE " E "



## SLUM REHABILITATION AUTHORITY

Administrative Building, Anant Kanekar Marg, Bandra (East) Mumbai - 400 051  
 MAHARASHTRA REGIONAL AND TOWN PLANNING ACT, 1966 (FORM "A")

No. SRA/ENG/3266/MM/STGL/AP 2 2 MAY 2017

COMMENCEMENT CERTIFICATE

REHAB BUILDING

TO,  
M/s. Vardhan Housing

422, Commerce House,  
 140, N.M. Road,  
 Fort, Mumbai - 400 023.

Sir,

With reference to your application No. 3280 dated 31/07/2015 for Development Permission and grant of Commencement Certificate under section 44 & 69 of the Maharashtra Regional and Town Planning Act, 1966 to carry out development and building permission under section 45 of Maharashtra Regional and Town Planning Act, 1966 to erect a building on plot No.

C.T.S. No. 708 (pt), 709, 709/1to11, 710, 710/1to23, 711, 711/1to14, 712, 712/1to7, 715, 715/1to36, 715/37, 716 & land under Nila-Mutha line

of village Chembur, Tal.-Kurla, Mumbai-400 089, for "Dr. Babasaheb

of village Chembur - Ambedkar CHS Ltd.

ward "M/W" T.P.S. No. Situated at Taluka Kurla, Mumbai - 400 089.

The Commencement Certificate/Building Permit is granted subject to compliance of mentioned in LOI  
 U/R No. SRA/ENG/2323/MM/STGL/LCI dt. 27/05/2015  
 IDA U/R No. SRA/ENG/3266/MM/STGL/AP dt. 27/11/2015

and on following conditions.

- The land vacated in consequence of endorsement of the setback line/road widening line shall form part of the Public Street.
- That no new building or part thereof shall be occupied or allowed to be occupied or used or permitted to be used by any reason until occupancy permission has been granted.
- The Commencement Certificate/Development permission shall remain valid for one year from the date of issue. However the construction work should be commenced within three months from the date of issue.
- This permission does not entitle you to develop land which does not vest in you or in contravention of the provision of coastal Zone Management plan.
- If construction is not commenced this Commencement Certificate is renewable every year and such extended period shall be in no case exceed three years provided further that such lapse shall not bar any subsequent application for fresh permission under section 44 of the Maharashtra Regional and Town Planning Act, 1966.
- This Certificate is liable to be revoked by the C.E.O (SRA) if :-
  - The development work in respect of which permission is granted under this certificate is not carried out or the use thereof is not in accordance with the sanctioned plans.
  - Any of the condition subject to which the same is granted or any of the restrictions imposed by the C.E.O. (SRA) is contravened or not complied with.
  - The C.E.O. (SRA) is satisfied that the same is obtained by the applicant through fraud or misrepresentation and the applicant and every person deriving title through or under him in such an event shall be deemed to have carried out the development work in contravention of section 43 and 45 of the Maharashtra Regional and Town Planning Act, 1966.
- The conditions of this certificate shall be binding not only on the applicant but on his heirs, executors, assignees, administrators and successors and every person deriving title through or under him.

The C.E.O. (SRA) has appointed Shri. S. D. Mahajan

Executive Engineer to exercise his powers and functions of the Planning Authority under section 45 of the said Act.

This C.C. is granted for work up to Plinth level

For and on behalf of Local Authority  
 The Slum Rehabilitation Authority

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21 FEB 2018

This C.C. is extended up-to full height (i.e. up-to 12<sup>th</sup> upper floors) including O.H. Tank & Lift machine Room of Rehab Building u/ref. as per approved plans dt. 27/11/2015.

*Seahi*  
21.02.18

Executive Engineer  
Slum Rehabilitation Authority

SRA/ENG/3266/MW/STGL/AP

12 6 NOV 2019

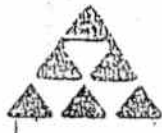
This C.C. is re-endorsed and grant full C.C. up to 16th upper floors (i.e. from 13th to 16th upper floors) including O.H.W. Tank & Lift Machine Room of Rehab Building u/ref. as per approved amended plans dtd. 25/10/2019.

*Seahi*  
26.11.19

Executive Engineer  
Slum Rehabilitation Authority



ANNEXURE - F



SLUM REHABILITATION AUTHORITY  
Administrative Building, Anant Kanekar Marg, Bandra (East), Mumbai - 400051  
MAHARASHTRA REGIONAL AND TOWN PLANNING ACT, 1966 (FORM 'A')

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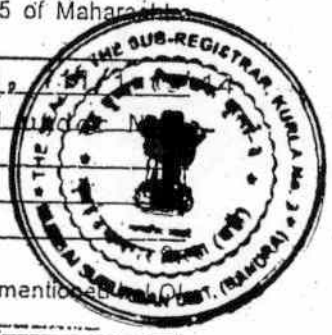
No. ME/STGOVT/0051/2010 0222/AP/S  
COMMENCEMENT CERTIFICATE  
4 AUG 2018

TO:  
M/s. Vaidhan Housing  
422, Commerce House, 140,  
N. M. Road, Fort, Mumbai - 400023.

SALE BUILDING

Sir,  
With reference to your application No. 914 dated 14/07/2017 for Development Permission and grant of Commencement Certificate under section 44 & 69 of the Maharashtra Regional and Town Planning Act, 1966 to carry out development and building permission under section 45 of Maharashtra Regional and Town Planning Act, 1966 to erect a building on plot No. C.T.S. No. 708 (Pt.), 709, 709/1 to 11, 710, 710/1 to 23, 711, 712, 712/1 to 7, 715, 715/1 to 36, 715/37, 716 and land

Mukha Line,  
of village Chembur T.P.S. No. -  
ward: M/W Situated at Tal-Kurla, Mumbai - 400089.



The Commencement Certificate/Building Permit is granted subject to compliance of mentioned U/R No. SRA/ENS/2323/ME/STGL/LCI, Dtd. 27/05/2015 of IDAUR No. ME/STGOVT/0051/2010 0222/AP/S Dtd. 07/06/2018 and on following conditions.

- The land vacated in-consequence of endorsement of the setback line/road widening line shall form part of the Public Street.
- That no new building or part thereof shall be occupied or allowed to be occupied or used or permitted to be used by any reason until occupancy permission has been granted.
- The Commencement Certificate/Development permission shall remain valid for one year from the date of its issue. However the construction work should be commenced within three months from the date of its issue.
- This permission does not entitle you to develop land which does not vest in you or in contravention of the provision of coastal Zone Management plan.
- If construction is not commenced this Commencement Certificate is renewable every year but such extended period shall be in no case exceed three years provided further that such lapse shall not bar any subsequent application for fresh permission under section 44 of the Maharashtra Regional and Town Planning Act, 1966.
- This Certificate is liable to be revoked by the C.E.O. (SRA) if :-
  - The development work in respect of which permission is granted under this certificate is not carried out or the use thereof is not in accordance with the sanctioned plans.
  - Any of the condition subject to which the same is granted or any of the restrictions imposed by the C.E.O. (SRA) is contravened or not complied with.
  - The C.E.O. (SRA) is satisfied that the same is obtained by the applicant through fraud or misrepresentation and the applicant and every person deriving title through or under him in such an event shall be deemed to have carried out the development work in contravention of section 43 and 45 of the Maharashtra Regional and Town Planning Act, 1966.
- The conditions of this certificate shall be binding not only on the applicant but on his heirs, executors, assignees, administrators and successors and every person deriving title through or under him.

The C.E.O. (SRA) has appointed Shri. S. D. Mahajan Executive Engineer to exercise his powers and functions of the Planning Authority under section 45 of the said Act.

This C.C. is granted for work up to Plinth Level.

For and on behalf of Local Authority  
The Slum Rehabilitation Authority  
Seals

ME/STGOVT/0051/20100222/AP/S 20 SEP 2019

This C.C is further extended upto 6th upper floors for RCC work only as per approved amended plans dated 07/06/2018.

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*Seah*  
20.09.19  
Executive Engineer  
Slum Rehabilitation Authority

ME/STGOVT/0051/20100222/AP/S 6 NOV 2020

This C.C. is re-endorsed and granted further C.C. including brick work upto 10th upper floors and RCC Frame Work for only 11th floor of Sale Building u/ref. as per approved amended plans dated



*Seah*  
06.11.2020  
Executive Engineer  
Slum Rehabilitation Authority

ME/STGOVT/0051/20100222/AP/S - 6 AUG 2021

This C.C. is further extended for R.C.C Frame Work upto 13th upper floors (i.e. 12th & 13th floors) of Sale Building u/ref. as per approved amended plans dtd. 25/10/2019.

*Seah*  
06/8/2021  
Executive Engineer  
Slum Rehabilitation Authority

ME/STGOVT/0051/20100222/AP/S 22 OCT 2021

This C.C. is re-endorsed and further extended for R.C.C. Frame Work upto 15th upper floors (i.e. 14th & 15th floors) of Sale Building u/ref. as per approved amended plans dtd. 01/09/2021.

*Seah*  
22/10/2021  
Executive Engineer  
Slum Rehabilitation Authority

ME/STGOVT/0051/20100222/AP/S - 3 DEC 2021

This C.C. is further extended for R.C.C. Frame work only upto 17th upper floors (i.e. 16th & 17th floors) including O.H.W. Tanks & L.M. Room of Sale Building u/ref. as per approved amended plans dated 01/09/2021.

*Seah*  
03/12/2021  
Executive Engineer  
Slum Rehabilitation Authority

करल - 3		
2020	04	338
2028		

ME/STGOVT/0051/20100222/AP/S Dt. 8 APR 2022

This Full C.C. granted for brick work upto 17th upper floor (i.e. 11th to 17th floors) including O.H.W.T. & L.M. Room of Sale Building u/ref. as per approved amended plans dtd. 01/09/2021.

*[Signature]*  
 Executive Engineer  
 Slum Rehabilitation Authority

ME/STGOVT/0051/20100222/AP/S

9 : AUG 2022

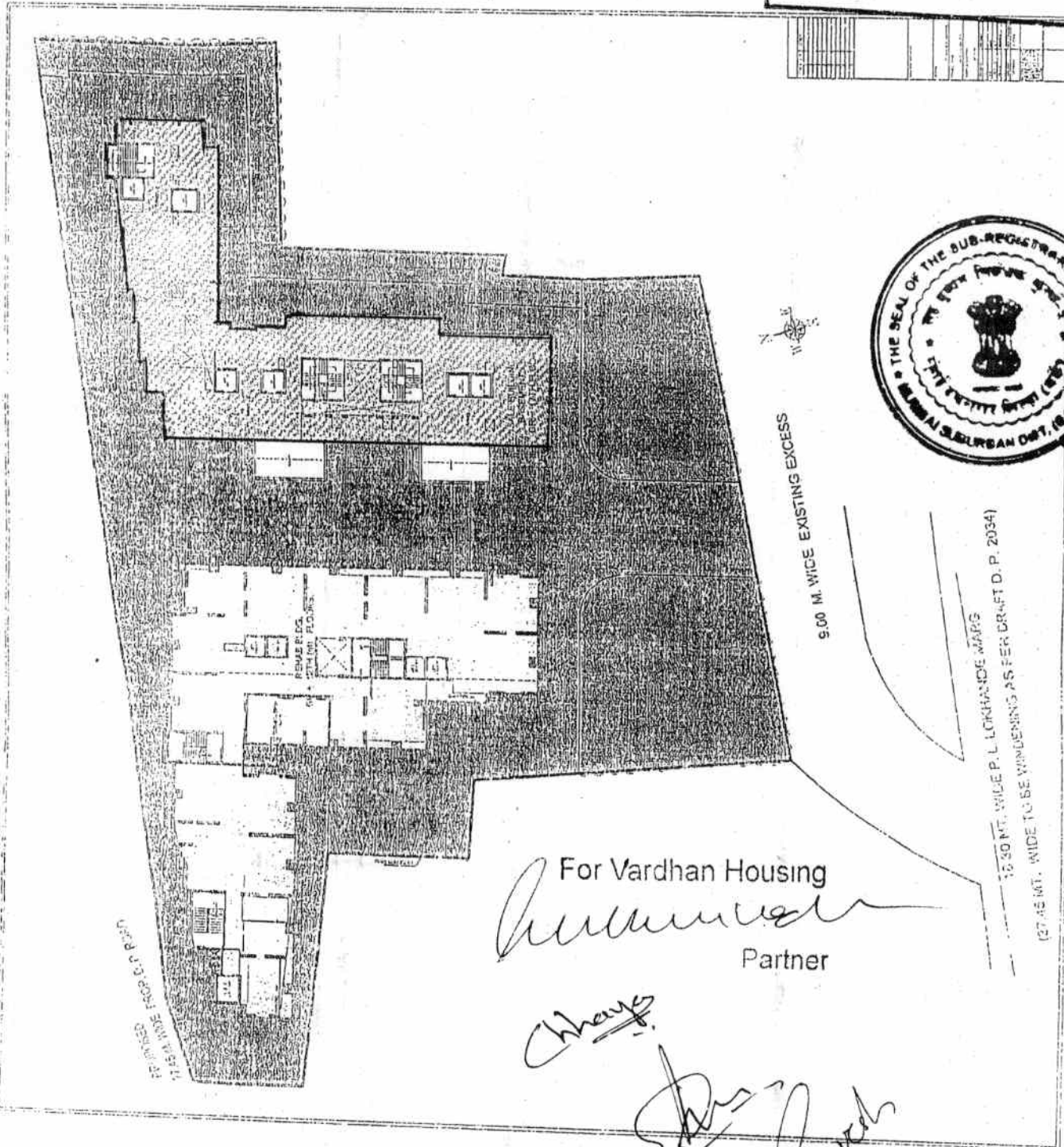
This C.C. is re-endorsed upto 17th entire floors of Sale Bldg. under reference as per approved amended plans dtd. 11/08/2022.

*[Signature]*  
 Executive Engineer  
 Slum Rehabilitation Authority



ANNEXURE "G"

करल - 3	
२०३०	१०८३४
२०२४	



For Vardhan Housing

*Arun Kumar*  
Partner

*Chays*

*Lalwaj*

9.00 M. WIDE EXISTING EXCESS

12.150 M. WIDE FROM C.T. ROAD

PERM. BLDG. WITH 1000 FLOORS

TO 30 MT. WIDE P.L. LORHANDE MAPS  
(37.45 MT. WIDE TO BE WIDENING AS PER DRAFT D. P. 2034)



ANNEXURE "H"  
LIST OF AMENITIES

कपल - 3		
2030	L0	035
2028		

AMENITIES IN A TYPICAL UNIT

1. Fire Resistant flush main door.
2. Ceramic tile Dado up to beam bottom above kitchen platform.
3. Granite platform with high quality SS sink.
4. Anti Skid flooring in bathroom.
5. Louvered windows for toilets and bathrooms.
6. Ceramic tile Dado up to 7 feet heights in toilets.
7. Premium quality sanitary ware with Jaquar brass fittings in toilets.
8. Vitrified tiles in all rooms.
9. P.O.P. finished walls with Acrylic emulsion paint in all the rooms.
10. Aluminum anodized sliding window.
11. Premium quality modular switches.
12. Video door phone.
13. Concealed fire-resistant copper wiring with modular switches.
14. Plug point provision for Telephone, Lights, Fan and TV Point.
15. Earth leakages circuit breaker.

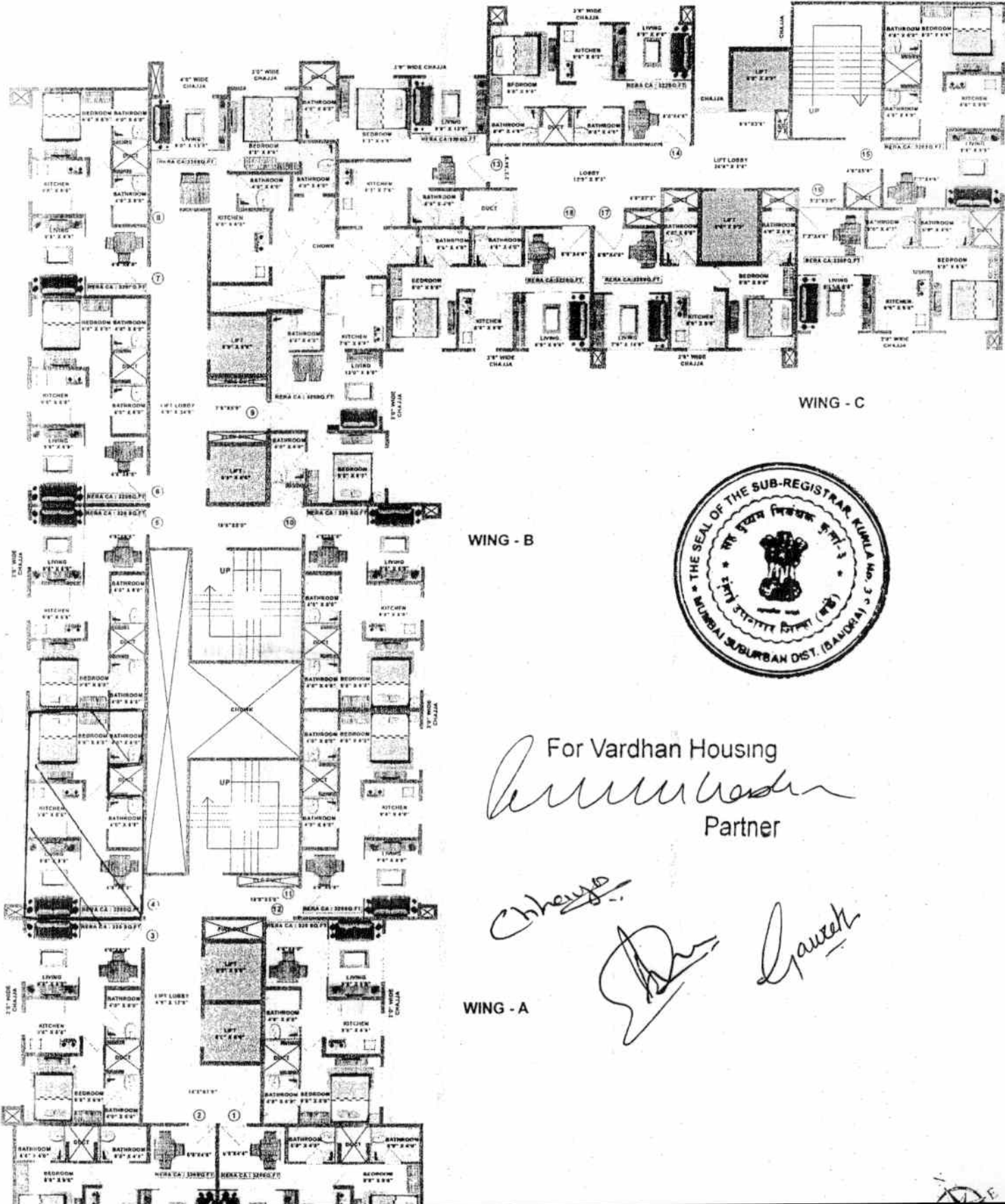


For Vardhan Housing  
*[Signature]*  
Partner

*[Signature]*     *[Signature]*     *[Signature]*

ANNEXURE-I

कमल - 3		
2030	19	2028
2028		



WING - C

WING - B

WING - A



For Vardhan Housing  
*[Signature]*  
 Partner

*Chhaya*  
*[Signature]* *Gaurav*

## हमीपत्र

आम्ही,

१) लिहून देणार :- जे. वर्धन हौसिंग चे भागीदार श्री. अशोक बी. वर्धन

२) लिहून घेणार :-

श्री. छाया प्रकाश आंबुलकर  
श्री. प्रकाश सदाशिव आंबुलकर  
श्री. गोरेश प्रकाश आंबुलकर

या हमीपत्राद्वारे सह दुय्यम निबंधक कुर्वा - ३ यांना हमी देतो की, सदर दस्तामध्ये नमूद मिल्कलीसोबत कोणतेही वाहनतळ (car parking) याची विक्री, हस्तांतरण होत नाही.

दिनांक :- ०५/०२/२०२४

ठिकाण :- मुंबई

१) लिहून देणार

२) लिहून घेणार

सही

For Vardhan Housing

*[Signature]*  
.....Partner

*[Signature]*

*[Signature]*

करल - ३	
२०३०	२०३१
२०२४	



B1...



करल - 3	
२०३०	२०३६
२०२४	

## Maharashtra Real Estate Regulatory Authority

### CERTIFICATE FOR EXTENSION OF REGISTRATICN OF PROJECT FORM 'F' [See rule 7(2)]

This extension of registration is granted under section 6/7 of the Act, to the following project: *Project: VARDHAN HEIGHTS Plot Bearing / CTS / Survey / Final Plot No.: CTS No 708 PT, 709, 709/1 to 11, 710, 710/1 to 23, 711, 711/1 to 14, 712, 712/1 to 7, 715, 715/1 to 36, 715/37, 716 and Land Under Nilamutha Line at Kurla, Kurla, Mumbai Suburban, 400089;* registered with the regulatory authority vide project registration certificate bearing No **P51800014198** of

1. **Vardhan Housing** having its registered office / principal place of business at *Tehsil: Mumbai City, District: Mumbai City, Pin: 400023.*

2. This renewal of registration is granted subject to the following conditions, namely:-

- The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 (2) of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
- The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub-clause (D) of clause (l) of sub-section (2) of section 4 read with Rule 5;

OR

That entire of the amounts to be realised hereinafter by me/promoter for the real estate project from the allottees from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated realizable of the project is less than the estimated cost of completion of the project.

- The registration shall be valid up to **30/06/2024** unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 6/7 of the Act read with rule 7 the Act.
- The promoter shall comply with the provisions of the Act and the rules and regulations made there under.
- That the promoter shall take all the pending approvals from the competent authorities
- If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.



Dated: 30/05/2023

Place: Mumbai

Signature valid

Digitally Signed by

Dr. Vasant Pramanand Prabhu  
(Secretary, MahaRERA)

Date: 01/06/2023 12:56:13

Signature and seal of the Authorized Officer  
Maharashtra Real Estate Regulatory Authority

करल - 3	
2830	18/338
2028	

MUNICIPAL CORPORATION OF GREATER MUMBAI  
 A/C/MW/3762/2015-2016 DT. 12 FEB 2016

To,

Swastik Sanitation  
 27, Gora-gandhi Aps, Mandapeshwar Rd,  
 Opp. Samrat Hotel, Borivali (West)  
 Mumbai-400092

Office of the  
 Asst. Assessor and Collector (MW)  
 Municipal Corporation of Greater Mumbai  
 M-Ward Municipal Office  
 1st Road, Chembur  
 Mumbai-400071

Sub: Regarding No. Objection Certificate.  
 Ref: Your letter dated 19.1.2015.

With reference to your above mentioned letter, this is to inform you that as per  
 property bearing CTS No. 708/1 to 709/1 to 710/1 to 711/1 to 712/1 to 713/1 to 714/1 to 715/1 to 716/1  
 and land under Naha. Muha. line of village. Chembur  
 for Dr. Babasaheb Ambedkar C.H.S. Ltd. Rehab building is not assessed to municipal tax.

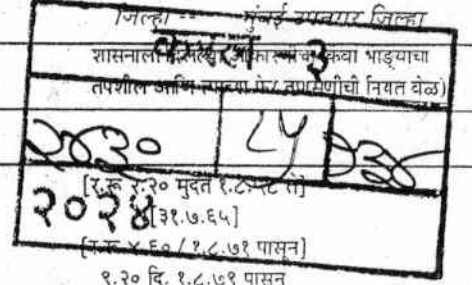


ASST. ASSESSOR & COLLECTOR  
 M-WEST WARD

## मालमत्ता पत्रक

विभाग -- चेंबुर तालुका/न.भू.मा.का. -- न.भू.अ. चेंबुर

संग प्रमाण क्रमांक : प्र. रसो.	शिट नंबर	प्लॉट नंबर	क्षेत्र चौ.मी.	धारणाधिकार
७१०	७१०		१०४.०	[C-I] C



वि.शे.सा.र.क. २८२/- दर १०० चौ.मि.ला. र.रू. २९३.०० दि. १/८/०९ ते ३१/७/०६ पर्यंत

सुविधाधिकार

हक्काचा मूळ धारक वर्ष १९६५ [श्री शंकर मुकुंद अहिरे]

पट्टेदार

इतर धार

इतर शिरे

दिनांक व्यवहार खंड क्रमांक नविन धारक (धा) पट्टेदार (प) किंवा भार (भा)



२९/०७/१९७२	वि.शे आदेश नं १०३८/१२.२.६९ मा. उपविभागीय अधिकारी मुंबई उपनगर यांचेकडील आदेशा प्रमाणे नोंद घेतली.	महो - १९७२-०८-११ न.भू.अ.क्र. Dwb. २.मुंबई
२९/०७/१९७२	सुधारित वि.शे आदेश नं १०३८/५.४.७२ मा. उपविभागीय अधिकारी मुंबई यांचेकडील आदेशा प्रमाणे नोंद घेतली. न.भू.क्र ७१०/१ ते २३ सह	महो - १९७२-०८-११ न.भू.अ.क्र. Dwb. २.मुंबई
१८/१२/१९८२	बिनशेती आदेश नं LNDB १०३८/३१.१२.८१ मा. उप विभागीय अधिकारी मुंबई यांचेकडील बिनशेती आदेशा दि. ३१.१२.८१ अन्वये बिनशेती सारा र.रू ९.२० मुदत १.८.७९ पासून नोंद घेतली (सी.सन ७१०/१ ते ३ सह)	महो - १९८३-०९-३१ त्रि.वि.शू.अ.क्र. C. तथा नभू.अ.क्र. C.
२१/०८/२००६	शासन निर्णय (महसूल व वनविभाग) क्र.एन.अे अ/१०८७ ३५७० प.क्र. ५३ ल-५ दि. २७/९/०१ चे आदेशा प्रमाणे सु.द.वि.शे. अकारणीची नोंद घेतली. मुदत १/८/०९ ते ३१/७/२००६	फे रपार क्र. ५७५ प्रमाणे महो - २१/८/२००६ न.भू.अ. चेंबुर
१८/०४/२०११	अजं, जनाव, मृत्यूचा दाखला, क्षतीपूर्तीबंधप्रतिज्ञापत्र व मा.न.भू.अ. चेंबुर यांचे दि. १८/४/११चे आदेशावरून १)श्री.शंकर मुकुंद अहिरे २)श्रीम. सुंदराबाई शंकर अहिरे ३)श्री.रेवजी शंकर अहिरे ४)श्री.नाना शंकर अहिरे मयत झाल्याने वारसांची नावांची नोंद घेतली.	फे रपार क्र. १०४३ प्रमाणे महो - १८/०४/२०११ न.भू.अ. चेंबुर

वारसाने धारक  
[१)श्रीम. सुंदराबाई शंकर अहिरे]  
[२)श्री. रेवजी शंकर अहिरे]  
[३)श्री. नाना शंकर अहिरे]  
श्री. रघुनाथ शंकर अहिरे  
श्रीम. शकुंतला करतार सोनावणं  
२)श्रीम. इंदुबाई रेवजी अहिरे  
श्री. शशिकांत रेवजी अहिरे  
श्री. श्रीकांत रेवजी अहिरे  
श्री. रमाकांत रेवजी अहिरे  
श्रीम. हेमलता राजेश बाबिस्कर  
कु. सुजाता रेवजी अहिरे  
कु. अश्विनी रेवजी अहिरे

# मालमत्ता पत्रक

विभाग/मोजे -- चेंबूर

तालुका/न.भू.मा.का. -- न.भू.अ. चेंबूर

जिल्हा --

मुंबई उपनगर जिल्हा

नगर भूमापन  
प्रमाणक क्र. प्लॉ. न.

शिट नंबर

प्लॉट नंबर

क्षेत्र

धारणाधिकार

शासनाला दिलेल्या आकाराचा किंवा भूमापनाचा तपशील आणि त्याचा फार तयार झालेला आहे

७१०

७१०



दिनांक	व्यवहार	खंड क्रमांक	नविन धारक (धा) पट्टेदार (प) किंवा भार (भा)	साक्षात्कृत
--------	---------	-------------	---	-------------

**करल - 3**  
2030 LE 030  
2028  
१७/११/२०१४

मा. उपजिल्हाधिकारी (अति/निष्का) तथा सक्षम अधिकारी यांचेकडील दि. २६/८/२०१४ चे पत्र व अवाइड क्र. उपजि/ अति/निष्का/चेंबूर/भूसंपादन/कावि-४०/जा. क्र. २५१६ दि. १४/०७/२०१० व गृहनिर्माण विभाग, मंत्रालय मुंबई यांचेकडील अधिसूचना क्रमांक डिएलए-२००८/ प्र. क्र. ११७/ झोपुस-१/ अन्वये भूसंपादनाने धारक सदरी नांव दाखल केले.

श्रीम. कल्पना अतीप भारते  
कु. वैशाली रेवजी अहिरे  
श्री. संदीप रेवजी अहिरे  
३) श्रीम. विमल नाना अहिरे  
श्री. राजू नाना अहिरे  
श्री. शाम नाना अहिरे  
श्री. विजय नाना अहिरे  
श्रीम. चैताली नामदेव जाधव  
(भा)  
झोपडपट्टी पुनर्वसन प्राधिकरण

फार क्र. २४१८/२०१४  
२६/११/२०१४  
न.भू.अ. चेंबूर

तपसणी करणारा -

खरी नक्कल -

न.भू.अ. चेंबूर

मुंबई उपनगर जिल्हा

न क्रमांक..... ६३५..... एकूण नोंदी/नकाशे.....  
" दाखल दिनांक..... १७/११/२०१४..... एकूण नोंदी/नकाशे.....  
" तयार दिनांक..... १७/११/२०१४..... एकूण नोंदी/नकाशे.....  
" नक्कल दिल्याचा दिनांक..... १७/११/२०१४..... एकूण नोंदी/नकाशे.....



(श्री. अ. वी. किर्णो)  
वरिष्ठ लिपीक  
नगर भूमापन अधिकारी, चेंबूर

नगर भूमापन अधिकारी  
चेंबूर

## मालमत्ता पत्रक

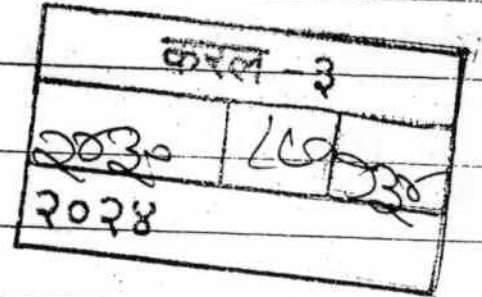
विभाग -	चेंबूर	तालुका/न.भू.मा.क्रा. -- न.भू.अ. चेंबूर	जिल्हा -- मुंबई उपनगर जिल्हा
पत्र क्रमांक / भा. क्र.	शिट नंबर	प्लॉट नंबर	क्षेत्र चौ.मी.
	७११	१७६.३	[C-1] C
सुविधाधिकार		वि.शे.सा.र.क्र. २८२ दर १०० चौ.मी.ला र.क्र. ४९६.०० दि.१८/०१ ने ३१/०७/०६ पर [र.क्र.१९९.१० र.८.७१ पा.] १८.०० र.८.७९ पासून.	

हक्कावा मुळ धारक वर्ष १९६५ [श्री.इब्राहीम मोहिदीन मुल्ला.]

पट्टेदार

इतर भार

इतर



दिनांक	व्यवहार	खंड क्रमांक	गव्हिन धारक (धा) पट्टेदार (प) किंवा भार (भा)	साक्षात्कृत
२२/०८/१९७५	सुधारित वि.शे.आदेश, LND. B-७५८/५-४-७२ मा.उपविभागीय अधिकारी मुंबई उपनगर यांनकडील आदेशाप्रमाणे नोंद केली. न.भू.क्र.७११/१ते१४ सह.			
२७/१२/१९८२	बिनशेती आदेश LNDB/७५८/३१/१२/८१ LND/७५८/३१-१२-१९८१ मा.उप-विभागीय अधिकारी मुंबई यांचेकडील बिनशेती आदेश दि.३१/१२/८१ अन्वये बिनशेती सारा र.क्र.१४.० मुदत १-८-७९ पासून नोंद घेतली (सि.स.नं.७११/१ते१४ सह)			
२२/०१/२००४	धारसाने मयत श्री.इब्राहीम दि.१/१/२००१			
२०/०८/२००६	शोसन निर्णय (महसूल व वन विभाग) क्र.एन.ओ.ओ.१०८७ ३५७० प.क्र. ५३/ल - ५ दि.२७/९/०१ चे आदेशा प्रमाणे सु.व.वि.शे. आकारणीची नोंद घेतली. मुदत १/८/०१ ते ३१/७/२००६			
१७/११/२०१४	मा.उपजिल्हाधिकारी (अति/निष्का) तथा सक्षम प्राधिकारी यांचेकडील दि.२६/८/२०१४ चे पत्र व अवाडं क्र. उपजि/ अति/निष्का/चेबूर/भूसंपादन /काधि-४०/जा.क्र.२५१६ दि.१४/०७/२०१० व गृहनिर्माण विभाग, मंत्रालय मुंबई यांचेकडील अधिसूचना क्रमांक डिप्लए-२००८/ प्र.क्र.११७/ झोपुस-१/ अन्वये भूसंपादनाने धारक सदरी नांव दाखल केले व मुळ धारकाची नांवे कमी केली.			



- [१] नबीलाल उर्फ गुलामनबी इब्राहीम मुल्ला.
- [२] मेहताब इब्राहीम मुल्ला.
- [३] गुलाम इब्राहीम मुल्ला.
- [४] साहेबा मोहिदीन मुल्ला.
- [५] मोहिदीन इब्राहीम मुल्ला.

(धा)  
झोपडपट्टी पुनर्घटन प्राधिकरण

मूळ क्रमांक..... ६३५..... रक्कम मोदी/उक्ताची  
 वर्ष व दिनांक..... १९.१.२०१४..... नकलेचे शुल्क..... १२.००  
 नकल तयार दिनांक..... २२/११/२०१४..... कागद फी.....  
 धारक दिल्याचा दिनांक..... २६/११/२०१४..... रक्कम फी.....

तयारणी करणारा -

खरी नक्कल -

न.भू.अ. चेंबूर  
मुंबई उपनगर जिल्हा  
नगरपालिका अधिकारी



कर २		
२०३०	८८	३३०
२०२४		



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करल - 3  
2030 | 2038  
2028

Government of India  
Form GST REG-06  
[See Rule 10(1)]

Registration Certificate

Registration Number : 27AAHFV2226L1ZX

1.	Legal Name	VARDHAN HOUSING		
2.	Trade Name, if any	VARDHAN HOUSING		
3.	Constitution of Business	Partnership		
4.	Address of Principal Place of Business	Ground Floor, Shop no.7, Surya Mahal, Nagindas Road, Fort, Mumbai City, Maharashtra, 400001		
5.	Date of Liability	01/07/2017		
6.	Period of Validity	From	01/07/2017	To
7.	Type of Registration	Regular		
8.	Particulars of Approving Authority			
Signature		Signature Not Verified Digitally signed by DS GOODS AND SERVICES TAX NETWORK 1 Date: 2018.07.19 16:59:31 IST		
Name				
Designation				
Jurisdictional Office				
9.	Date of issue of Certificate	19/07/2018		
Note: The registration certificate is required to be prominently displayed at all places of business in the State.				



This is a system generated digitally signed Registration Certificate issued based on the deemed approval of application on 01/07/2017.

For Vardhan Housing  
  
Partner



GSTIN

27AAHFV2226L1ZX

Legal Name

VARDHAN HOUSING

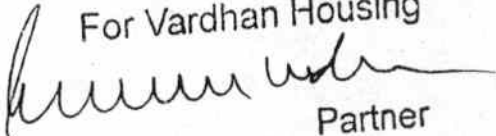
Trade Name, if any

VARDHAN HOUSING

## Details of Managing / Authorized Partners

1	2	Name	Ashok Babulal Vardhan
		Designation/Status	Partner
		Resident of State	Maharashtra

करल - ३	
२०३०	२०२४
२०२४	

For Vardhan Housing  
  
 Partner





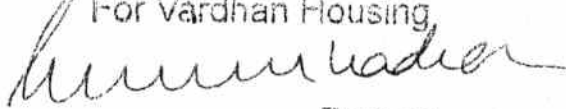
सत्यमेव जयते

GSTIN 27AAHFV2226L1ZX  
 Legal Name VARDHAN HOUSING  
 Trade Name, if any VARDHAN HOUSING

करल - ३		Annexure A
२०३०	२९	०३५
२०२४		

**Details of Additional Places of Business**

Total Number of Additional Places of Business in the State 0

For Vardhan Housing  
  
 Partner



करल - ३		
२०३९	२२	२३
२०२४		



आयकर विभाग  
INCOME TAX DEPARTMENT  
VARDHAN HOUSING

भारत सरकार  
GOVT. OF INDIA

करत - 3

2024	23	23
2028		

00/01/2009  
Particulars of account opening  
AAAPV888Q

24/02/2009

For Vardhan Housing  
*[Signature]*  
Partner



आयकर विभाग  
INCOME TAX DEPARTMENT

भारत सरकार  
GOVT. OF INDIA



इसकाई लेखा संख्या कार्ड  
Partnership Account Number Card

AAAPV8888Q

नाम / Name  
ASHOK BABULAL VARDHAN

पिता का नाम / Father's Name  
BABULAL GHIMCHAND VARDHAN

जन्म की तिथि / Date of Birth  
07/02/1971

*[Signature]*  
हस्ताक्षर / Signature



*[Signature]*

कल - 3		
2030	e8	038
2028		



सिंहप्रकाश लिमिटेड

INCOME TAX DEPARTMENT

CHHAYA PRAKASH AMBULKAR

CHATTU NAGOJI SAMBAREKAR

30/11/1977

Account Number

AWGPA9028E

*Chhaya*

भारत सरकार

GOVT. OF INDIA

करल - 3		
2030	py	2030
2028		



*Chhaya*



करल - ३	
२०३०	२०३१
२०२४	



भारत सरकार  
GOVERNMENT OF INDIA

छाया प्रकाश अंबुलकर  
Chhaya Prakash Ambulkar  
जन्म तारीख/DOB: 30/11/1977  
महिला / FEMALE

6977 5915 5598



माझे आधार, माझी ओळख



भारतीय विशिष्ट पहचान प्राधिकरण  
UNIQUE IDENTIFICATION AUTHORITY OF INDIA

आधार

पत्ता: Address

वसंतराव नारिक मार्ग, नेताजी नगर जबळ, सिन-६२६, शोहद रसाखार्ड सहकार नगर, सदगुरु चाल, घाटकोपर ईस्ट, मुंबई, महाराष्ट्र - 400077

vasantrao Naik Marg, near Netaji Nagar, CEN-626, Old Ramabai Sahakar Nagar, Sadguru Chal, Ghatkopar east, Mumbai, Maharashtra - 400077

Date: 19/01/2017

6977 5915 5598

1947 1800 300 1947 help@uidai.gov.in www.uidai.gov.in P.O. Box No. 1947, Bengaluru-560 001

*Chhaya*

करल - ३  
२०३९ ए ०३३  
२०२४

आयकर विभाग      भारत सरकार  
INCOME TAX DEPARTMENT      GOVT. OF INDIA

PRAKASH SADASHIV AMBULKAR

SADASHIV NANA AMBULKAR

11/01/1971  
Permanent Account Number  
ALKPA6956C

  
Signature

04902016







विशेष विधि से जारी किया गया है

भारत सरकार

Unique Identification Authority of India  
Government of India

नोंदणी क्रमांक : Enrolment No.: 1104/20388/10497

करल - २	
२०२०	२०२४
15/11/2011	
Prakash Sadashiv Ambulkar प्रकाशसादशिव आंबुलकर S/O Sadashiv Ambulkar NEAR GHTKOPAR FLOUR MILL ROOM NO.626, OLD KAMABHAI SAHAKAR NAGAR, R.T.O. GHTKOPAR EAST Rajawadi Mumbai Maharashtra 40007 Mobile:	



UC 07994492 3 IN

Ref No.:4I2B3E9X-7994492



क्रमांक / Your Aadhaar No. :

5872 4544 9690

सामान्य भाणसाचा अधिकार

भारत सरकार  
GOVERNMENT OF INDIA



प्रकाश सादशिव आंबुलकर  
Prakash Sadashiv Ambulkar

जन्म वर्ष / Year of Birth : 1971  
पुरुष / Male

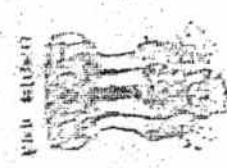
5872 4544 9890



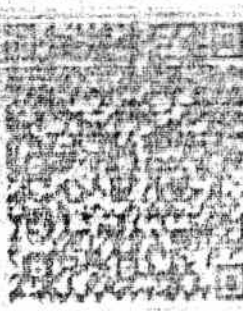
भारत सरकार - सामान्य भाणसाचा अधिकार

Yam

भारत सरकार  
जिम्हाणी  
INCOME TAX DEPARTMENT



भारत  
GOVT. OF INDIA



फारमली नं. २९९१  
Permanent Account Number Card

CE DPA 9795M

नाम / Name  
GAURESH PRAKASH AMBULKAR

पिता वडील / Father's Name  
PRAKASH AMBULKAR

प्राप्त दिनांक / Date of issue  
05/03/1999



हस्ताक्षर / Signature  
Gauresh

२०२४	२२३०	२२३०
		२२३०
		२२३०



21042017



भारत सरकार  
GOVERNMENT OF INDIA

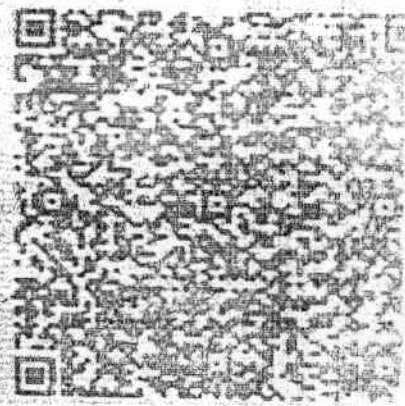


गौरेश प्रकाश आंबुलकर

Gauresh Prakash Ambulkar

जन्म तारीख/DOB: 05/03/1999

पुरुष / MALE



करल - 3

2995 5609 8856

2030 100 2028

माझी आधार, माझी ओळख

भारतीय विशिष्ट पहचान प्राधिकरण  
UNIQUE IDENTIFICATION AUTHORITY OF INDIA

पत्ता:



बान्द्रा नगर जवळ  
चौक, नेताजी  
वै.सो. ऑफिस,  
बान्द्रा ईस्ट, मुंबई  
महाराष्ट्र, 400077

Address:

NEAR OLD RAMABAI NAGAR  
692, TRIRATN CHAWL, NETAJI  
NAGAR, B.T.O OFFICE,  
GHATKOPAR EAST, Mumbai  
(Sub Urban)  
Maharashtra, 400077

Aadhaar - Aam Aadmi ka Adhikar

*Gauresh*

## घोषणापत्र

करल - ३		
२०३०	१०९	१३६
२०२४		

मी संदिप रघुनाथ पवार याद्वारे घोषित करतो कि दुय्यक निबंधक कुर्ला - ३ यांचे कार्यालयात करारनामा या शिर्षकाचा दस्त नोंदणीसाठी सादर करण्यात आला आहे. श्री. मे.वर्धन हौसिंग चे भागीदार अशोक बी.वर्धन व इ. यानी दि. ०८/०७/२०२२ रोजी मला दिलेल्या कुलमुखत्यारपत्राच्या आधारे मी, सदर दस्त नोंदणीस सादर केला आहे / निष्पांपित करून कबुलीजबाब दिला आहे. सदर कुलमुखत्यारपत्र लिहून देणार व्यक्तिपैकी कोणीही मयत झालेले नाही किंवा अन्य कोणत्याही कारणामुळे कुलमुखत्यारपत्र रद्दबातल ठरलेले नाही. सदरचे कुलमुखत्यारपत्र पूर्णपणे वैध असून उपरोक्त कृती करण्यास मी पूर्णतः सक्षम आहे. सदरचे कथन चुकीचे आढळून आल्यास, नोदणी अधिनियम १९०८ चे कलम ८२ अन्वये शिक्षेस मी पात्र राहीन याची मला जाणीव आहे.

दिनांक : १०/०४/२४

कुलमुखत्यारधारकांचे नाव व सही



करल - 3  
२४३० १२ ०३६  
२०२४



Receipt (pavti)

318/6528  
Wednesday, August 18, 2021  
5:52 PM

पावती

करल - ३	
२०३०	१०३०३०
२०२४	नोंदणी क्र.: 39म Page: 39M

पावती क्र.: 8350 दिनांक: 18/08/2021

गावाचे नाव: फोर्ट  
दस्तऐवजाचा अनुक्रमांक: बबई 1-6528-2021  
दस्तऐवजाचा प्रकार: स्पेशल पॉवर ऑफ अटॉर्नी  
सादर करणाऱ्याचे नाव: अशोक बाबूलाल वर्धन

नोंदणी फी ₹. 100.00  
दस्त हाताळणी फी ₹. 420.00  
पृष्ठांची संख्या: 21

एकूण: ₹. 520.00

आपणाम मूळ दस्त, थंबनेल प्रिंट, सूची-२ अंदाजे  
6:06 PM ह्या वेळेस मिलेल.

  
दुय्यम निबंधक, मुंबई-१

वाजार मुल्य: ₹. 1/-  
मोबदला ₹. 0/-  
भरमेले मुद्रांक शुल्क: ₹. 500/-

सह दुय्यम निबंधक  
मुंबई शहर क्र. १

- 1) देयकाचा प्रकार: DHC रकम: ₹. 420/-  
डीडी/धनादेश/पे ऑर्डर क्रमांक: 1808202104495 दिनांक: 18/08/2021  
बँकेचे नाव व पत्ता:
- 2) देयकाचा प्रकार: eChallan रकम: ₹. 100/-  
डीडी/धनादेश/पे ऑर्डर क्रमांक: MH004969611202122M दिनांक: 18/08/2021  
बँकेचे नाव व पत्ता:

  
20/8/2021





बदल - 3		
2030	108	138
2028		





CHALLAN  
MTR Form Number-6



GRN MH004969611 202122M		BARCODE	Date 14/08/2021-11:20:52	Form ID 48(f)
Department Inspector General Of Registration			Payer Details	
Type of Payment Stamp Duty Registration Fee			TAX ID / TAN (If Any)	
Office Name BOM1_MUMBAI CITY 1 SUB REGISTRAR			PAN No.(If Applicable)	AAAPV6988Q
Location MUMBAI			Full Name	ASHOK BABULAL VARDHAN
Year 2021-2022 One Time			Flat/Block No.	G 7 SURYA MAHAL GROUND FLOOR
Account Head Details		Amount In Rs.	Premises/Building	
0030045501	Stamp Duty	500.00	Road/Street	5 B B MARG OFF N M ROAD FORT
0030063301	Registration Fee	100.00	Area/Locality	FORT MUMBAI
			Town/City/District	
			PIN	4 0 0 0 2 3
			Remarks (If Any)	SecondPartyName=SANDEEP BAGHIREGISTRAR AND SACHIN UDAY RELE-CA=0-Mahendra
Total 600.00			Amount In Words	Six Hundred Rupees Only
Payment Details STATE BANK OF INDIA			Bank CIN	Ref. No. CPAY00KEQ6
Cheque/DD Details			Bank Date	RBI Date
Cheque/DD No. बनई - २			Bank-Branch	STATE BANK OF INDIA
Name of Bank			Scroll No. , Date	
Name of Branch				

RECEIVED  
17 AUG 2021  
CASH  
MAHENDRA KOL PF-2822938



Department ID :

NOTE:- This challan is valid for document to be registered in Sub Registrar office only. Not valid for unregistered document. Mobile No. : 982023670  
सदर चालन केवल दृश्यम निबन्धन कार्यालयों में नोंदणी करवावयाच्या दस्त्यासाठी लागू आहे. नोंदणी न करतावयाच्या दस्त्यासाठी सदर चालन लागू नाही.

१९/८/२१

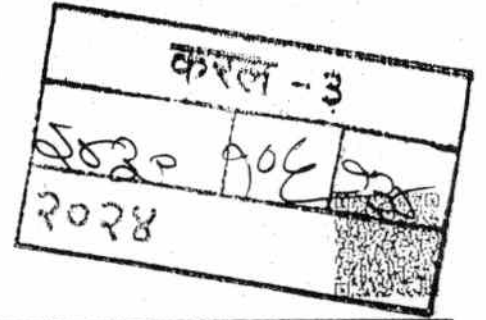
करल - ३

२०२० २०२४





CHALLAN  
MTR Form Number-6



GRN	MH004969611202122M	BARCODE	[Barcode]		Date	14/08/2021-11:20:52	Form ID	4B(f)
Department Inspector General Of Registration				Payer Details				
Stamp Duty				TAX ID / TAN (If Any)				
Type of Payment Registration Fee				PAN No.(If Applicable)		AAAPV8988Q		
Office Name BOM1_MUMBAI CITY 1 SUB REGISTRAR				Full Name		ASHOK BABULAL VARDHAN		
Location MUMBAI				Flat/Block No.		G 7 SURYA MAHAL GROUND FLOOR		
Year 2021-2022 One Time				Premises/Building		5 B B MARG OFF N M ROAD FORT		
Account Head Details			Amount In Rs.		Road/Street		5 B B MARG OFF N M ROAD FORT	
0030045501 Stamp Duty			500.00		Area/Locality		FORT MUMBAI	
0030063301 Registration Fee			100.00		Town/City/District			
					PIN		4 0 0 0 2 3	
					Remarks (If Any)		SecondPartyName=SANDEEP RAGHUNATH MACHIN UDAY RELE-CA=0-Markotval=0	
					Amount In		Six Hundred Rupees Only	
			600.00		Words			
Payment Details STATE BANK OF INDIA				FOR USE IN RECEIVING BANK				
Cheque-DD Details				Bank CIN		Ref. No.		00040572021081704632
				Bank Date		RBI Date		17/08/2021-00:00:00
Cheque/DD No.				Bank-Branch		STATE BANK OF INDIA		CPAAZOEKEQ6
Name of Bank				Scroll No. , Date		431 , 18/08/2021		Not Verified with RBI
Name of Branch								



Department ID : Mobile No. : 9820023670  
NOTE:- This challan is valid for document to be registered in Sub Registrar office only. Not valid for unregistered document.  
सदर चलान केवल दयम निबंधक कार्यालयात नोंदणी करावयाच्या दस्तासाठी लागू आहे. नोंदणी न करावयाच्या दस्तासाठी सदर चलान लागू नाही.

Challan Defacement Details

Sr. No.	Remarks	Defacement No.	Defacement Date	Userid	Defacement Amount
1	(IS)-318-6528	0002444230202122	18/08/2021-17:51:58	IGR182	100.00
2	(IS)-318-6528	0002444230202122	18/08/2021-17:51:58	IGR182	500.00
Total Defacement Amount					600.00



करल - ३	
२०३०	१०/०८/२०२१
२०२४	

<b>Department of Stamp &amp; Registration, Maharashtra</b>	
<b>Receipt of Document Handling Charges</b>	
PRN 1808202104495	Date 18/08/2021
Received from ASHOK BABULAL VARDHAN, Mobile number 9820023670, an amount of Rs.420/-, towards Document Handling Charges for the Document to be registered (ISARITA) in the Sub Registrar office S.R. Mumbai City 1 of the District Mumbai District.	
<b>Payment Details</b>	
Bank Name sbiepay	Date 18/08/2021
Bank CIN 10004152021081804037	REF No. 202123035102846
This is computer generated receipt, hence no signature is required.	



बबई - १	
६५२	३/१९
२०२९	

करल - ३		
२०३३	१०८	१३३
२०२४		



**D**ocument **H**andling **C**harges  
Inspector General of Registration & Stamps

Receipt of Document Handling Charges

PRN	1808202104495	Receipt Date	18/08/2021
-----	---------------	--------------	------------

Received from ASHOK BABULAL VARDHAN, Mobile number 9820023670, an amount of Rs.420/-, towards Document Handling Charges for the Document to be registered on Document No. 6528 dated 18/08/2021 at the Sub Registrar office S.R. Mumbai City 1 of the District Mumbai District.

DEFACED

₹ 420

DEFACED

Payment Details

Bank Name	sbleipay	Payment Date	18/08/2021
-----------	----------	--------------	------------

Bank CIN	10004152021081804037	REF No.	202123035102846
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Defaco No	1808202104495D	Defaco Date	18/08/2021
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This is computer generated receipt, hence no signature is required.



बबल - २		
२०२१	४	२९
२०२१		

करवा - ३		
२०३०	१०८	२३५
२०२८		



बबई - २		
६/२५	७	२९
२०२९		

**SPECIFIC POWER OF ATTORNEY**

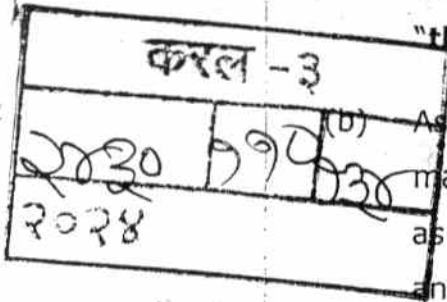


TO ALL TO WHOM THESE PRESENTS SHALL COME, I, **MR. ASHOK BABULAL VARHDAN**, an Adult, having my office at G-7, Surya mahal Ground floor, 5, Barjorji Bharucha Marg, Off.N.M.Road, Fort, Mumbai- 400 023, do hereby **SEND GREETINGS:**

**WHEREAS:**

1(a) I am Director in various companies i.e.1)Vardhan Reality Ltd., 2) AB Vardhan Pvt. Ltd, 3) Amit Builders Pvt. Ltd, 4) Vardhan Reality Ventures Pvt.Ltd. and Partner in 5) Vardhan Housing, 6) Vardhan Associates, 7) Vardhan Havens, 8) Vardhan Estates, 9) Vardhan Homes, 10) Vardhan Infra Ventures, 11) Vardhan Builders, 12) Vardhan Land Developers, 13) Urmila Construction Company, 14) Vardhan Dream Living LLP. All these companies and firms mainly carry out the business of development and redevelopment of

immovable properties in India (hereinafter referred to as "the said Companies/firms.")



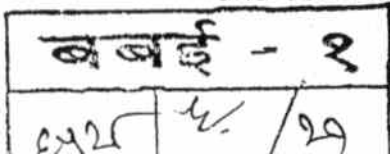
(b) As a Director and Partner of the said Companies/Firms and may be incorporated and formed in future wherein I will be as a Director/Partner respectively, I execute and register and will execute and register several deeds and documents including Agreements, Memorandum of Understanding, Leave and License Agreement, Supplemental Agreements, Declarations, Indemnity, undertakings, Deeds of Conveyance, Sale Deed, Deeds of Transfer, Power of Attorneys, Permanent Alternate Accommodation Agreements, Lease Deed / Agreement, Deeds of Cancellation, Deeds of Rectification, Deeds of Modification, Agreements for Sale for flats/units under Maharashtra Ownership of Flats Act, 1963 and Real Estate Regulation and Development, 2016 etc. which are required to be compulsorily registered under the provisions of the Indian Registration Act, 1908.



(c) I have to travel out of Mumbai for various business purposes and during such period as well as at several times due to either pre-occupation or other reasons it is extremely difficult for me to personally attend the Office of the Sub-Registrar of Assurances to admit execution of aforesaid deeds and/or documents (executed by me) and therefore to enable such documents to be duly registered, I am therefore desirous of appointing **1) Mr. SANDEEP RAGHUNATH PAWAR, and 2) Mr. SACHIN UDAY RELE** jointly and severally to be my true and lawful attorneys to for the purposes set out hereunder.



**NOW KNOW YE ALL AND THESE PRESENTS WITNESS** that I, **ASHOK BABULAL VARDHAN**, do hereby nominate, constitute and appoint **1) Mr. SANDEEP RAGHUNATH PAWAR, and 2) Mr. SACHIN UDAY RELE**, to be my true and lawful attorneys, jointly and severally for me and on my behalf to do the undermentioned



*Handwritten signature*

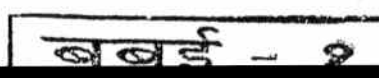
करल - ३		
२०३०	११११	१३५
२०२४		

acts, deeds, matters and things and exercise all the powers hereinafter conferred, that is to say:

- (i) To represent me for registration and also to lodge all documents/deeds (including as set out hereinabove) and admit execution before all the offices of the Sub-Registrar of Assurances in India or at any other places as may be required, all deeds and documents, as stated hereinabove, which I have personally executed or which I may hereafter execute.
- (ii) To represent me before any adjudicating authority in India (and specially in all over Mumbai and Maharashtra) for the purpose of lodging any document for adjudication under the Maharashtra Stamp Act, 1958 and the rules framed thereunder for all or any of the documents executed by me for adjudication before the relevant Authority at India or at any other places as may be required for all the deeds and documents, as stated hereinabove, which I have personally executed or which I may hereafter execute.
- (iii) To identify my signature and admit execution of the same.
- (iv) To do all other acts, deeds, matters and things as may be required from time to time for admission and registration of the said Deeds and documents as referred hereinabove under the provisions of the Indian Registration Act, 1908.

**AND GENERALLY TO DO ALL** other acts, deeds, matters and things as may from time to time be required in compliance with the law for the due registration of such deeds and documents which have already been executed or which may be executed by me and/or on my behalf.

2) I do hereby agree to ratify and confirm all and whatever my Attorneys shall or purport to do or cause to be done by virtue of these presents.



*[Handwritten signature]*



करल - ३  
 ०८३० ११२०३६  
 २०२१

3) I hereby state and declare that the present Specific Power of Attorneys is being executed without any monetary consideration and restricted only to the admission and to appear and admit registration of the said documents executed by me, and I reserve my absolute right to cancel the present Specific Power of Attorney in favour of the Attorneys herein without assigning any reason and to substitute them and appoint new Attorneys in their place.

IN WITNESS WHEREOF, I, **ASHOK BABULAL VARDHAN**, have hereunto set and subscribed my signature to these presents at Mumbai on this day 18TH day of August, 2021.



SIGNED AND DELIVERED )  
 By the withinnamed "GRANTOR" )  
**MR. ASHOK BABULAL VARHDHAN** )

*Handwritten signature of Ashok Babulal Vardhan*

In the presence of )

- 1. SAMEER S. MURUDKAR *Signature* )
- 2. AMOL J. KAMBLE *Signature* )



SIGNED AND DELIVERED )  
 By the withinnamed "GRANTEES" )  
**MR. SANDEEP RAGHUNATH PAWAR** )

*Handwritten signature of Sandeep Raghunath Pawar*



**MR. SACHIN UDAY RELE** )

In the presence of )

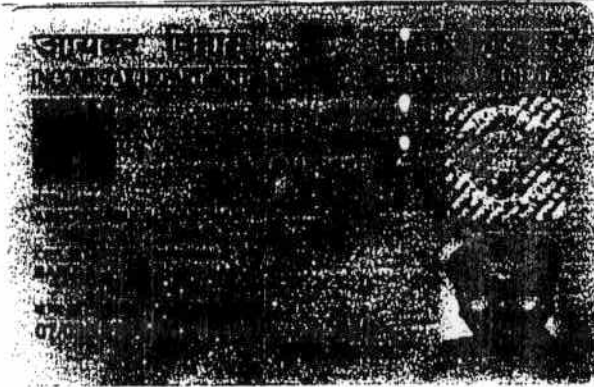
- 1. SAMEER S. MURUDKAR *Signature* )
- 2. AMOL J. KAMBLE *Signature* )

*Handwritten signature of Sachin Uday Rele*



बजई - ३  
 ०८३० ११२०३६

करल - ३		
२०३०	११३	२०३५
२०२४		



*Handwritten signature*



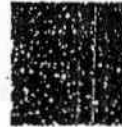
बबई - २	
२५	२९
२०२१	



भारत सरकार  
Government of India



अशोक बाबुलाल वार्धन  
Ashok Babulal Vardhan  
जन्म तिथि/DOB: 07/02/1971  
पुरुष/ MALE  
Mobile No: 9820023670



**5488 7944 3929**  
VID : 9192 6494 4589 6983

मेरा आधार, मेरी पहचान

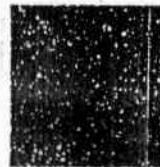
*Ashok Vardhan*

करल - 3  
2028



भारत सरकार  
जन पहचान प्राधिकरण  
Unique Identification Authority of India

पता -  
बाबुलाल वार्धन, 2101/2201, ओम विकास टावर,  
105/107, वाल्केश्वर रोड, गवर्नर हाउस के पास, गेट  
नंबर 1, वाल्केश्वर, मुंबई, महाराष्ट्र - 400006



Address:  
S/O Babulal Vardhan, 2101/2201, Om  
Vikas Tower, 105/107, Walkeshwar  
Road, Near Governor House, Gate  
Number 1, Walkeshwar, Mumbai,  
Mumbai City,  
Maharashtra - 400006

**5488 7944 3929**

VID : 9192 6494 4589 6983



1947

help@uidai.gov.in

www.uidai.gov.in

*Ashok Vardhan*

बबुलाल - 2  
07/02/71  
2029

करल - ३  
२०३० ११५३३६  
२०२४



**महानगर टेलीफोन निगम लिमिटेड, मुंबई**  
**MAHANAGAR TELEPHONE NIGAM LIMITED, MUMBAI**

टेलीफोन बिल सह कर चालान / Telephone Bill cum Tax Invoice  
५ वीं मंजूर, मीटिंग हल, बंगला, फ्लॉर (५) मुंबई ४०० ००१. फोन नं. २७०००००२८१२३  
५<sup>th</sup> Floor, Telephone House, V.S. Bldg., Dadar (West), Mumbai 400 026. GSTIN No. 27AAACM0828R1Z3

Name and address : S.No (22) 13/37  
YARDHAN ASHOK BASUL  
SHOP NO 7 GRD FLR  
SURYAMAHAL S.  
SUFJORI BHARUCHA RD/OFF N.M RD FORT  
MUMBAI 400001

Instrn. Address : SHOP NO 7 GRD FLR SURYAMAHAL  
SUFJORI BHARUCHA RD/OFF N.M RD FORT MUMBAI 400001  
MAHARASHTRA  
SUBSCRIBER'S GST/IN/IN  
Original for Recipient.  
Reverse Charge is not Applicable.

ग्राहक आणि पत्ता / ग्राहक और पत्ता :  
यार्दन अशोक बासुल  
शुभ नं ७  
सुर्यामाहाल ५  
सुफजोरी बंधारुचा रोड. ऑफ न.म रोड फोर्ट मुंबई ४००००१

Billing/Complaints Authority:  
Dy. Manager (TR)  
Add: 2nd Floor, City Telephone Exchange Bldg.  
Pazarimil South Park, Fort, Mumbai - 400 001  
Ph: 22016118/22016113, e-mail: dmsr@mtnl.com  
Appellate Authority:  
DGM (HQ) (2)  
Add: 1st Floor, City Telephone Exchange Bldg.  
Pazarimil South Park, Fort, Mumbai - 400 001  
Ph: 22015000, Fax: 22813737, e-mail: dgm@mtnl.com

GST No. : 27AAACM0828R1Z3

बिल कालावधि  
Billing Period: 01/06/2021 से 30/06/2021

अंतिम दिनांक  
26/07/2021



टेलीफोन नं.	संवाहक चालान क्रमांक	बिल नं.	बिल तिथि	श्रेणी कोड	संवाहक योजना
Telephone No.	C.A.No.	Bill No.	Bill Date	Category Code	Tariff Plan
22665513	2020181342	MLCB1028929395	05/07/2021	TEL.COMN.ONLEAVE AND UCEN	Economy Plan
शुरूची मीटर पढत Opening Meter Reading	अखेरची मीटर पढत Closing Meter Reading	मीटर कॉल Meter Calls	डेबिट कॉल Debit Calls	क्रेडिट कॉल Credit Calls	मुफ्त कॉल Free Calls
187005	87054	49	0	0	49

RECEIVED  
By hand Rost  
Time: 3:00 PM  
Date: 05/07/2021  
Receiver's Signature

Refundable Deposit : 1000.00

Details of Payments received after last bill:  
Bill Date Bill Amt Due Date Paid Date Paid Amt  
05/06/2021 361.00 03/07/2021 03/07/2021 361.00

STD - ISD details:  
Call no Called tel no Call dt End Time Durtn in sec  
22665513 08696157849 05/06 154405 12  
08606078365 05/06 104232 12  
08690699999 05/06 175838 12

001482  
2020181342102892939559720210000216712021

वर्तमान शुल्क (विवरण) / Current Charges Details

विवरण / Details	राशि (₹) / Amount (Rs)
मासिक सेवा शुल्क / Monthly Service Charge	310.00
कॉल शुल्क / Call Charges	0.00
ब्रॉडबैंड सेवा शुल्क / Broadband Service Charge	0.00
इंटरनेट सेवा शुल्क / Internet Service Charge	0.00
मोबाइल टी.व्ही. सेवा शुल्क / Mobile TV Service Charge	0.00
मोबाइल टी.व्ही. ऑन-स्क्रीन व्हॉइस / Mobile TV On-Screen Voice	0.00
मोबाइल टी.व्ही. एक्सट्रा शुल्क / Mobile TV Extra Charge	0.00
एच.एस.टी.सी. शुल्क / HSN CODE / GST	310.00
मोबाइल टी.व्ही. शुल्क / Mobile TV Charge	22.00
मोबाइल टी.व्ही. शुल्क / Mobile TV Charge	22.00
मोबाइल टी.व्ही. शुल्क / Mobile TV Charge	365.00
मोबाइल टी.व्ही. शुल्क / Mobile TV Charge	0.00
मोबाइल टी.व्ही. शुल्क / Mobile TV Charge	0.00
मोबाइल टी.व्ही. शुल्क / Mobile TV Charge	366.00

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बबई - १

करल - ३  
 २०३०  
 ११६/३०  
 २०२४

आयकर विभाग  
 INCOME TAX DEPARTMENT  
 VARDHAN REALITY LIMITED  
 भारत सरकार  
 GOVT. OF INDIA  
 ०३/०८/२००७  
 Permanent Account Number  
 AACCVB457H

For Vardhan Reality Ltd.  
*[Signature]*  
 Manager/D:

आयकर विभाग  
 INCOME TAX DEPARTMENT  
 VARDHAN REALITY PRIVATE LIMITED  
 स्थायी लेखा संख्या कार्ड  
 Permanent Account Number Card  
 AAUCA7696M  
 भारत सरकार  
 GOVT. OF INDIA  
 नाम / Name  
 AB VARDHAN PRIVATE LIMITED  
 दिनांक/गठन की तिथि  
 Date of Incorporation/Formation  
 09/02/2021

For AB VARDHAN PRIVATE LIMITED  
*[Signature]*  
 DIRECTOR

स्थायी लेखा संख्या / PERMANENT ACCOUNT NUMBER  
 AACCA8416H  
 नाम / NAME  
 AMIT BUILDERS PVT LTD  
 दिनांक/गठन की तिथि / DATE OF INCORPORATION/FORMATION  
 04-02-1981  
 आयकर विभाग (प्रणालि)  
 DIRECTOR OF INCOME TAX (SYSTEMS)

For AMIT BUILDERS PVT. LTD.  
*[Signature]*  
 DIRECTOR

आयकर विभाग  
 INCOME TAX DEPARTMENT  
 VARDHAN REALITY VENTURES PRIVATE LIMITED  
 भारत सरकार  
 GOVT. OF INDIA  
 ०८/०७/२०१४  
 Permanent Account Number  
 AAECV8491M

For Vardhan Reality Ventures Pvt. Ltd.  
*[Signature]*  
 Manager / Director

बबई - २  
 ०२०२  
 १२/२९

आयकर विभाग  
 INCOME TAX DEPARTMENT  
 VARDHAN HOUSING  
 भारत सरकार  
 GOVT. OF INDIA  
 ०९/०१/२००९  
 Permanent Account Number  
 AAHFV2222H

For Vardhan Housing  
*[Signature]*

आयकर विभाग  
 INCOME TAX DEPARTMENT  
 VARDHAN ASSOCIATES  
 भारत सरकार  
 GOVT. OF INDIA  
 २१/०४/२०१०  
 Permanent Account Number  
 AAHFV8491M

For Vardhan Associates



आयकर विभाग  
INCOME TAX DEPARTMENT  
VARDHAN HAVENS

भारत सरकार  
GOVT. OF INDIA

05/02/2012  
Permanent Account Number  
AAJFY4898G

आयकर विभाग  
INCOME TAX DEPARTMENT  
VARDHAN ESTATES

भारत सरकार  
GOVT. OF INDIA

09/07/2012  
Permanent Account Number  
AAJFY4898G

कार्तिक VARDHAN HAVENS  
*Signature*  
2030 19/02/2012  
2028 Partner

Vardhan Estates  
*Signature*  
Partner

आयकर विभाग  
INCOME TAX DEPARTMENT  
VARDHAN HOMES

भारत सरकार  
GOVT. OF INDIA

20/02/2009  
Permanent Account Number  
AAHFV6972D

आयकर विभाग  
INCOME TAX DEPARTMENT  
VARDHAN INFRA VENTURES

भारत सरकार  
GOVT. OF INDIA

26/07/2012  
Permanent Account Number  
AAJFY9029B

THE SEAL OF THE SUB-REGISTRAR, MUMBAI  
THE SEAL OF THE SUB-REGISTRAR, MUMBAI  
MUMBAI SUBURBAN DIST. (BANDRA) E. DIV.

VARDHAN HOMES  
*Signature*  
PARTNER

For VARDHAN INFRA VENTURES  
*Signature*  
PARTNER

स्थायी लेखा संख्या / PERMANENT ACCOUNT NUMBER  
AAAFV0694B

नाम / NAME  
VARDHAN BUILDERS

THE SEAL OF THE JONKAR SUB-REGISTRAR, MUMBAI  
THE SEAL OF THE JONKAR SUB-REGISTRAR, MUMBAI  
DATE OF INCORPORATION/FORMATION  
01-09-1993

आयकर निदेशक (पदाति)  
DIRECTOR OF INCOME TAX (SYSTEMS)

आयकर विभाग  
INCOME TAX DEPARTMENT  
VARDHAN LAND DEVELOPERS

भारत सरकार  
GOVT. OF INDIA

02/04/2012  
Permanent Account Number  
AAJFY5937D

For Vardhan Builders  
*Signature*  
Partner

For VARDHAN LAND DEVELOPERS  
*Signature*  
Partner

ज.ज.ई - १  
02/04/2012

भारत सरकार  
GOVERNMENT OF INDIA



संदीप रघुनाथ पवार  
Sandeep Raghunath Pawar  
जन्म तारीख/DOB: 11/08/1975  
पुरुष/ MALE  
Mobile No: 9833759297  
**9881 2491 6934**  
VID : 9198 4668 2727 1109



करल - 3

2030	990	30
2028		

माझे आधार, माझी ओळख

भारत सरकार  
GOVERNMENT OF INDIA



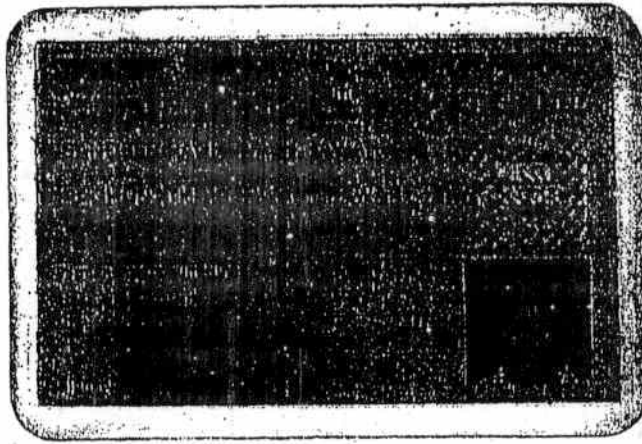
पत्ता:  
मार्फत: रघुनाथ पवार, पार्वतीबाई जण्टे कंपाऊंड इन्फान्टेस  
नगर, सत, कबीर मार्ग, स्टोन क्रशिंग मशीन जवळ,  
रावळ पडा, मुंबई, मुंबई उपनगर,  
महाराष्ट्र - 400068  
**Address :**  
C/O: Raghunath Pawar, Parvatibai Janathe Compound  
Dyaneshwar Ngr., Sri Kabir Marg, Nr. Stone Crushing  
Machine, Rawal Pada, Mumbai, Mumbai Suburban,  
Maharashtra - 400068

Download Date: 07/05/2021 Issue Date: 31/12/2020

**9881 2491 6934**  
VID : 9198 4668 2727 1109

1947
help@uidai.gov.in
www.uidai.gov.in
P.O. Box No. 1947, Bangalore-560 081

*[Handwritten Signature]*



*[Handwritten Signature]*



बबई - १

642795	/	29
2029		

करल - ३	
२०३०	२०३४
२०२४	



सचिन उदय रेले  
Sachin Uday Rele  
जन्म तारीख/DOB: 12/03/1975  
पुरुष/ MALE



Issue Date: 03/07/2019

9235 3821 4754

VID : 9112 3163 7145 8872

माझे आधार, माझी ओळख

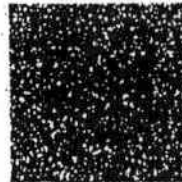


भारतीय न्यायपालिका प्राधिकरण  
National Judicial Commission Authority of India



पत्ता:  
कम नं. १२७२, विदर्भ नं. १६, ए.ए.पी. कॉलनी, टाटा  
पॉवर जंक्शन, मागाथाने, बोरिवली पूर्व, मुंबई,  
महाराष्ट्र - ४०००६६

Address:  
ROOM NO.1272, BUILDING NO.16, M.H.B  
COLONY, OPP TATA POWER,  
MAGATHANE, BORIVALI EAST, Mumbai,  
Maharashtra - 400068



9235 3821 4754

VID : 9112 3163 7145 8872

1847 | help@uidai.gov.in | www.uidai.gov.in



बबई - १	
०५	१६/२१
२०२१	



*Handwritten signature or initials*



करल - ३		
२०३०	१२९	१३४
२०२४		



लवई - २		
२०२९	१०	२९
२०२९		

करल - ३  
 २०३० ११८७३६  
 २०२४

फाई लेखा संख्या /PERMANENT ACCOUNT NUMBER  
 AAAFU0226C

नाम /NAME  
 URMILA CONSTRUCTION CO

निगमन/बनने की तिथि /DATE OF INCORPORATION/FORMATION  
 31-08-1978

*Abhinav*  
 आयकर निदेशक (पद्धति)  
 DIRECTOR OF INCOME TAX (SYSTEMS)

आयकर विभाग  
 INCOME TAX DEPARTMENT

भारत सरकार  
 GOVT OF INDIA

VARDHAN DREAM LIVING LLP

08/09/2016

Permanent Account Number  
 AAAPU0226C

24/09/2016

For Urmila Construction Co.  
*hmmmmada*  
 Partner

For Vardhan Dream Living LLP  
*hmmmmada*  
 Partner



बनई - २  
 ०५/१४/२१  
 २०२१

**आधार**

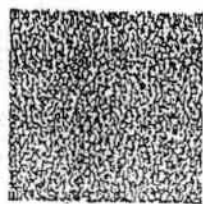
भारत सरकार  
Unique Identification Authority of India  
Government of India

नागरिक क्रम/ Enrolment No.: 2006/11109/01916

**To**  
अमोल जगन्नाथ कांबळे  
Amol Jagannath Kamble  
C-10, PLOT NO. 222 TRIRATNA CHS  
DATTA MANDIR ROAD  
GORAI SECTOR 2  
NEAR SHIVNERI BLDG  
Mumbai  
Borivli West  
Mumbai Suburban Maharashtra - 400092  
#43J6153H1

Download Date: 28/12/2013  
Generation Date: 03/07/2013

Signature Not Verified  
The name, address and date of birth of the person do not match with the records.




आपका आधार क्रमांक / Your Aadhaar No. :  
**3988 2227 5835**  
VID: 9191 2086 8005 4165

मेरा आधार, मेरी पहचान

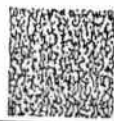
**आधार**

भारत सरकार  
Government of India



**अमोल जगन्नाथ कांबळे**  
Amol Jagannath Kamble  
जन्म तिथि/DOB: 28/12/1982  
पुष्प/ MALE

Address:  
C-10, PLOT NO. 222 TRIRATNA CHS,  
DATTA MANDIR ROAD, NEAR SHIVNERI  
BLDG, GORAI SECTOR 2, Mumbai,  
Mumbai Suburban,  
Maharashtra - 400092



**3988 2227 5835**  
VID: 9191 2086 8005 4165

मेरा आधार, मेरी पहचान

करल - ३

2030 22/12/2013

2030 22/12/2013

**आधार**

सूचना

- आधार पहचान का प्रमाण है, नागरिकता का नहीं।
- पहचान का प्रमाण ऑनलाइन ऑथेंटिकेशन द्वारा प्राप्त करें।
- यह एक इलेक्ट्रॉनिक प्रक्रिया द्वारा बना हुआ पत्र है।

INFORMATION

- Aadhaar is a proof of identity, not of citizenship.
- To establish identity, authenticate online.
- This is electronically generated letter.

- आधार देश भर में मान्य है।
- आधार भविष्य में सरकारी और गैर-सरकारी सेवाओं का लाभ उठाने में उपयोगी होगा।
- Aadhaar is valid throughout the country.
- Aadhaar will be helpful in availing Government and Non-Government services in future.



**आधार**

भारत सरकार  
Unique Identification Authority of India

पता:  
अ-10, प्लॉट नं. 222 त्रीरतना चौक, दत्ता मंदिर रोड,  
गोराई सेक्टर 2, मुंबई, मुंबई  
पुणे/MALE

Address:  
C-10, PLOT NO. 222 TRIRATNA CHS,  
DATTA MANDIR ROAD, NEAR SHIVNERI  
BLDG, GORAI SECTOR 2, Mumbai,  
Mumbai Suburban,  
Maharashtra - 400092



**3988 2227 5835**  
VID: 9191 2086 8005 4165



बबई - २

सुपर 9/1/20

2029

करल - ३		
२०३०	२३	२२
२०२४		



बबई - १	
६/२५	२१/११
२०२१	

8/18/2021

Summary 1 (Dastgoshwara bhag 1)

318/6528

बुधवार, 18 ऑगस्ट 2021 5:52 म.नं.

दस्त गोषवारा भाग-1

बबई 1

26/29

दस्त क्रमांक: 6528/2021

दस्त क्रमांक: बबई 1 /6528/2021

बाजार मुख्य: रु. 01/-

मोबदला: रु. 00/-

भरलेले मुद्रांक शुल्क: रु.500/-

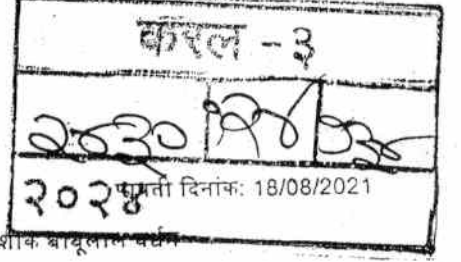
दु. नि. भद्र. दु. नि. बबई 1 यांचे कार्यालयात

अ. क्र. 6528 वर दि.18-08-2021

गेजी 5:43 म.नं. वा. हजर केला.

पावती:8350

सादरकरणाराचे नाव: अशाक बाबूलाल घेणारे



नोंदणी फी

रु. 100.00

दस्त हाताळणी फी

रु. 420.00

पृष्ठांची संख्या: 21

एकूण: 520.00

दस्ता हजर करणाऱ्याची मनी:

दुष्यम निबंधक, मुंबई-1

दुष्यम निबंधक, मुंबई-1

दस्ताचा प्रकार: स्पेशल पॉवर ऑफ अॅटर्नी

मुद्रांक शुल्क: (48-ड) जेव्हा त्यामुळे एका व्यक्तीला एकापेक्षा अधिक संब्यवहारांत किंवा सरमहा काम चालविण्याचे प्राधिकार असलेले दस्त

शिक्का क्र. 1 18 / 08 / 2021 05 : 43 : 13 PM ची वेळ: (सादरीकरण)

शिक्का क्र. 2 18 / 08 / 2021 05 : 46 : 16 PM ची वेळ: (फी)



### प्रतिज्ञापत्र

\* सदर दस्तऐवज हा नोंदणी कायदा १९०८ अंतर्गत असलेल्या तरतुदीनुसारच नोंदणीस दाखल केलेला आहे. \* दस्तातील संपूर्ण मजकूर, निष्पादक व्यक्ती, साक्षीदार व सोबत जोडलेल्या कागदपत्रांची सत्यता तपासली आहे. \* दस्ताची सत्यता, वैधता कायदेशीर बाबीसाठी दस्त निष्पादक व कबुलीधारक हे संपूर्णपणे जबाबदार राहतील,

लिहून देणारे :

लिहून घेणारे :



दस्त गोपवारा भाग-2

बवई 1

29/29

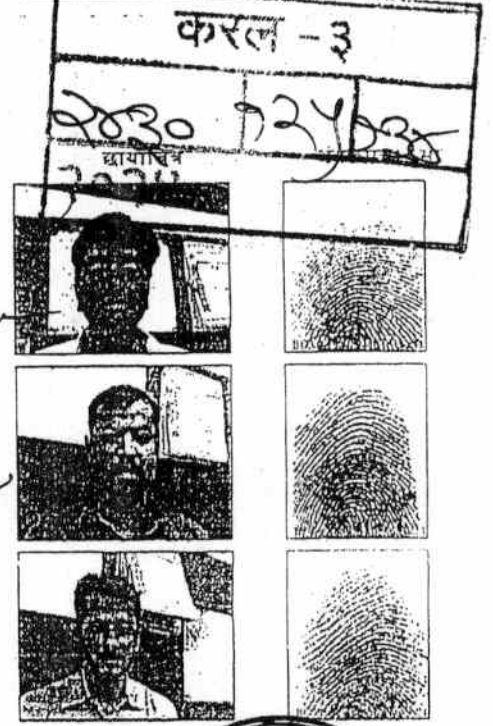
दस्त क्रमांक: 6528/2021

18/08/2021 5 55:42 PM

दस्त क्रमांक : बवई 1/6528/2021

दस्ताचा प्रकार :- स्पेशल पाँवर ऑफ अॅटर्नी

- | अनु क्र. | पक्षकाराचे नाव व पत्ता   | पक्षकाराचा प्रकार                                     |
|----------|--|---|
| 1        | नाव: अशोक बाबूलाल वर्धन<br>पत्ता: प्लॉट नं: -, भाळा नं: -, इमारतीचे नाव: जी-7, सूर्या महल,<br>तळ मजला, 5, बुरजोरजी भरुचा मार्ग, ऑफ एन एम रोड, फोर्ट,<br>मुंबई, प्लॉट नं: -, रोड नं: -, महाराष्ट्र,<br>पिन नंबर: AAAPV8988Q | कुलमुखन्यार देणार<br>वय :- 50<br>स्वाक्षरी:-          |
| 2        | नाव: संदिप रघुनाथ पवार<br>पत्ता: प्लॉट नं: -, भाळा नं: -, इमारतीचे नाव: जी-7, सूर्या महल,<br>तळ मजला, 5, बुरजोरजी भरुचा मार्ग, ऑफ एन एम रोड, फोर्ट,<br>मुंबई, प्लॉट नं: -, रोड नं: -, महाराष्ट्र,<br>पिन नंबर: BDXPP4501L  | पाँवर ऑफ अॅटर्नी<br>होल्डर<br>वय :- 46<br>स्वाक्षरी:- |
| 3        | नाव: मचिन उदय रेले<br>पत्ता: प्लॉट नं: -, भाळा नं: -, इमारतीचे नाव: जी-7, सूर्या महल,<br>तळ मजला, 5, बुरजोरजी भरुचा मार्ग, ऑफ एन एम रोड, फोर्ट,<br>मुंबई, प्लॉट नं: -, रोड नं: -, महाराष्ट्र,<br>पिन नंबर: ASTPR5505J      | पाँवर ऑफ अॅटर्नी<br>होल्डर<br>वय :- 46<br>स्वाक्षरी:- |



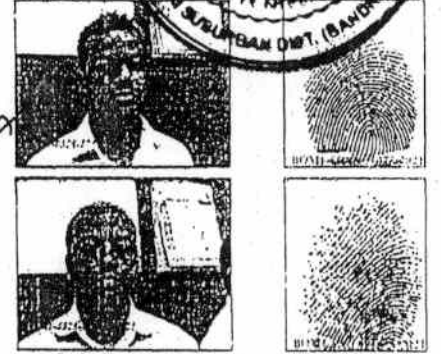
वर्गीय दस्तगवेज करून देणार तथाकथीत स्पेशल पाँवर ऑफ अॅटर्नी चा दस्त गेवज करून दिल्याचे कबुल करतात.  
शिक्का क्र.3 ची वेळ: 18 / 08 / 2021 05 : 49 : 08 PM

ओळख:-

खालील इतम अमे निवेदीत करतात की ते दस्तगवेज करून देणा-यांना ब्यक्तीश: ओळखतात, व त्यांची ओळख पटविताना

अनु क्र. पक्षकाराचे नाव व पत्ता

- |   |  |           |
|---|--|-----------|
| 1 | नाव: मंगीर शशिकांत मुरुडकर --<br>वय: 26<br>पत्ता: जी-7, सूर्या महल, तळ मजला, 5, बुरजोरजी भरुचा मार्ग, ऑफ एन एम<br>रोड, फोर्ट, मुंबई<br>पिन कोड: 400023 | स्वाक्षरी |
| 2 | नाव: अमोल जगन्नाथ कांबळे --<br>वय: 38<br>पत्ता: जी-7, सूर्या महल, तळ मजला, 5, बुरजोरजी भरुचा मार्ग, ऑफ एन एम<br>रोड, फोर्ट, मुंबई<br>पिन कोड: 400023   | स्वाक्षरी |



शिक्का क्र.4 ची वेळ: 18 / 08 / 2021 05 : 50 : 00 PM

दुय्यम निबंधक, मुंबई-1

Payment Details.

sr.	Purchaser	Type	Verification no/Vendor	GRN/Licence	Amount	Used At	Deface Number	Deface Date
1	ASHOK BABULAL VARDHAN	eChallan	00040572021081704632	MH004969611202122M	500.00	SD	0002444230202122	18/08/2021
2	ASHOK BABULAL VARDHAN	eChallan		MH004969611202122M	100	RF	0002444230202122	18/08/2021
3		DHC		1808202104495D	420	RF	1808202104495D	18/08/2021

[SD: Stamp Duty] [RF: Registration Fee] [DHC: Document Handling Charges]

प्रमाणित करणेत येते की या  
दस्तामध्ये एकूण..... 29 .....पामे आहेत.  
पुस्तक क्र. १ मध्ये बवई-१ क्र. १२०२१  
अन्वये नोंदला. 18 AUG 2021  
दिनांक

प्र. सह. दुय्यम निबंधक, मुंबई शहर - १



करल - 3		
2030	22	235
2028		



भारत सरकार  
Government of India



पोर्निमा यशवंत सुतार  
Pornima Yashwant Sutar  
जन्म तारीख/DOB: 07/08/1980  
महिला/ FEMALE

करल - 3		
२०३०	१५	२३४
२०२४		

5860 6723 3175

VID : 9114 1397 8275 2378

माझे आधार, माझी ओळख

अधिकारिता क्षेत्र/ Jurisdiction Authority of

चे/ Office of

अधिकारी/ Officer

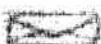
Address:  
Room no-649, Ramabai  
Wadekar Nagar, Chhatkoper east, Mumbai,  
Maharashtra - 400075

5860 6723 3175

VID : 9114 1397 8275 2378



1947



help@uidai.gov.in

P. Y. Sutar



राजाराम दगडू धोके

Rajaram Dagdu Dhoke

जन्म वर्ष/Year: 1977

पुरुष Male

करल - 3

2028 2028

2287 7504 3281



सामान्य माणसाचा अधिकार

भारतीय विशिष्ट पहचान प्राधिकरण

UNIQUE IDENTIFICATION AUTHORITY OF INDIA

पत्ता:

Address:

जुनी रमाबाई नगर जवळ  
६९२, त्रिरात्र चाळ, नेताजी  
नगर, आर.टी.ओ ऑफिस,  
घाटकोपर इस्ट, मुंबई  
महाराष्ट्र, 400077

NEAR OLD RAMABAI NAGAR,  
692, TRIRATN CHAWL, NETAJI  
NAGAR, R.T.O OFFICE,  
GHATKOPAR EAST, Mumbai  
( Sub Urban )  
Maharashtra, 400077

Aadhaar - Aam Aadmi ka Adhikar

Rddhoka

## Data of ESBTR for GRN MH014999320202324S

### Bank - IDBI BANK

Bank/Branch : IBKL - 6910504/MUMBAI - FORT  
Pmt Txn id : 737647261 Stationary No : 19530556244963  
Pmt DtTime : 03/02/2024 13:36:58 Print DtTime : 03/02/2024 16:23:35  
ChallanIdNo : 69103332024020350353 GRAS GRN : MH014999320202324S  
District : 7101 / MUMBAI GRN Date : 03/02/2024 13:36:59  
Office Name : IGR199 / KRL3\_JT SUB REGISTRAR KURLA NO 3

StDuty Schm : 0030045501-75/ Stamp Duty(Bank Portal)  
StDuty Amt : Rs 4,08,000.00/- (Rs Four Lakh Eight Thousand Rupees Only )

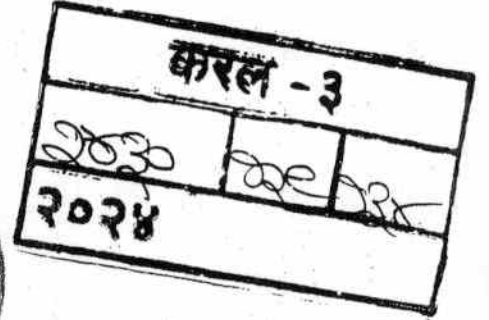
RgnFee Schm : 0030063301-70 / Registration Fee  
RgnFee Amt : Rs 30,000.00/- (Rs Thirty Thousand Rupees Only)

Article : B25  
Prop Mvblty : Immovable Consideration : 68,00,000.00/-  
Prop Descr : FLAT NO,1104,A WING 11TH FLR,VARDHAN HEIGHTS , P L LOKHANDE RD,CHEMBUR  
: MUMBAI,CTS NO 710 711  
: 400089

Duty Payer : PAN-AAHFV2226L VARDHAN HOUSING  
Other Party : PAN-AWGPA9028E CHHAYA PRAKASH AMBULKAR

Bank Scroll No : 100  
Bank Scroll Date : 05/02/2024  
RBI Credit Date : --  
Mobile Number : 919820023670

Only for verification not to be printed and used



#### Challan Defaced Details

Sr. No.	Remarks	Defacement No.	Defacement Date	Userid	Defacement Amount
1	(iS)-390-2430	0007961284202324	05/02/2024-18:30:09	IGR199	30000.00
2	(iS)-390-2430	0007961284202324	05/02/2024-18:30:09	IGR199	408000.00
Total Defacement Amount					4,38,000.00





**D**ocument **H**andling **C**harges  
Inspector General of Registration & Stamps

**Receipt of Document Handling Charges**

PRN 0224054213593

Receipt Date 05/02/2024

Received from CHHAYA PRAKASH AMBULKAR, Mobile number 9833759297, an amount of Rs.2000/-, towards Document Handling Charges for the Document to be registered on Document No. 2430 dated 05/02/2024 at the Sub Registrar office Joint S.R. Kurla 3 of the District Mumbai Sub-urban District.

DEFACED

₹ 2000

DEFACED

**Payment Details**

Bank Name SBIN

Payment Date 05/02/2024

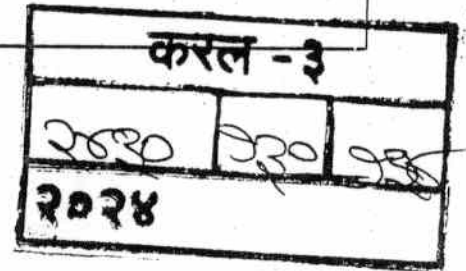
Bank CIN 10004152024020512945

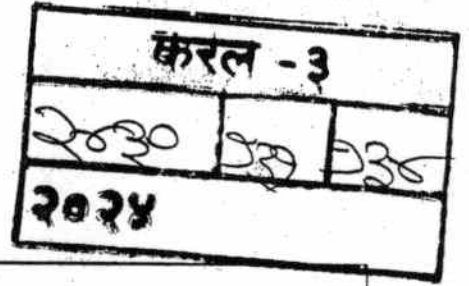
REF No. 403627055838

Deface No 0224054213593D

Deface Date 05/02/2024

This is computer generated receipt, hence no signature is required.



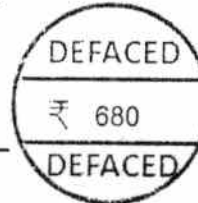


**D**ocument **H**andling **C**harges  
Inspector General of Registration & Stamps

**Receipt of Document Handling Charges**

PRN	0224054614917	Receipt Date	05/02/2024
-----	---------------	--------------	------------

Received from CHHAYA PRAKASH AMBULKAR, Mobile number 9833759297, an amount of Rs.680/-, towards Document Handling Charges for the Document to be registered on Document No. 2430 dated 05/02/2024 at the Sub Registrar office Joint S.R. Kurla 3 of the District Mumbai Sub-urban District.



**Payment Details**

Bank Name	SBIN	Payment Date	05/02/2024
Bank CIN	10004152024020514262	REF No.	403628463848
Deface No	0224054614917D	Deface Date	05/02/2024

This is computer generated receipt, hence no signature is required.



390/2430

सोमवार, 05 फेब्रुवारी 2024 6:30 म.नं.

दस्त गोषवारा भाग-1

करल3

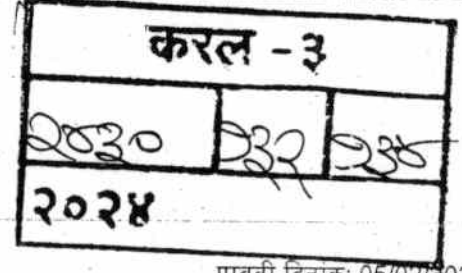
दस्त क्रमांक: 2430/2024

दस्त क्रमांक: करल3 /2430/2024

बाजार मूल्य: रु. 53,04,195/-

मोवदला: रु. 68,00,000/-

भरलेले मुद्रांक शुल्क: रु.4,08,000/-



द. नि. सह. द. नि. करल3 यांचे कार्यालय

पावती:2616

पावती दिनांक: 05/02/2024

अ. क्र. 2430 वर दि.05-02-2024

मादरकरणाचे नाव: छाया प्रकाश आंबुलकर -

राजी 6:28 म.नं. वा. हजर केला.

नोंदणी फी

रु. 30000.00

दस्त हानाळणी फी

रु. 2680.00

पृष्ठांची संख्या: 134

*Chhayo*

दस्त हजर करणाऱ्याची मही:

एकूण: 32680.00

सह. दुय्यम निबंधक  
कुर्ला-३ (वर्ग-२)



सह. दुय्यम निबंधक  
कुर्ला-३ (वर्ग-२)

दस्ताचा प्रकार: करारनामा

मुद्रांक शुल्क: (एक) कोणत्याही महानगरपालिकेच्या हद्दीत किंवा स्थालगत असलेल्या कोणत्याही कटक क्षेत्राच्या हद्दीत किंवा उप-खंड (डोन) मध्ये नमूद न केलेल्या कोणत्याही नागरी क्षेत्रात

शिक्षा क्र. 1 05 / 02 / 2024 06 : 28 : 36 PM ची वेळ: (मादरीकरण)

शिक्षा क्र. 2 05 / 02 / 2024 06 : 29 : 58 PM ची वेळ: (फी)

### प्रतिज्ञापत्र

सदर दस्तऐवज हा नोंदणी टाकवदा १९०८ अंतर्गत अस्तलेल्या तरतुदीनुसारच नोंदणीस दाखल केलेला आहे. अस्तलेल्या संपूर्ण सजकूर निष्पादक व्यक्ती, साक्षीदार व सोबत जोडलेल्या कागदपत्रांची अशी वस्तुची सत्यता, वैधता कायदेशीर धर्मासाठी सादर करत आहे. अस्तलेल्या संपूर्णपणे जबाबदार राहतील. याचे पत्राचे कर्तांतरण वस्तुनुसार राज्य शासन / केन्द्र शासन यांचा कोणत्याही कर्तांतरण / नियम / परिपत्रक यांचे उल्लंघन होत नाही.

लिहून देणारे  
१) *[Signature]*  
२) *[Signature]*  
३) *[Signature]*

लिहून घेणारे  
१) *Chhayo*  
२) *[Signature]*  
३) *Raveesh*



05/02/2024 6 32:25 PM

दम्न गोपबारा भाग-2

करल3

दम्न क्रमांक:2430/2024

दम्न क्रमांक :करल3/2430/2024

दम्नाचा प्रकार :-करारनामा

अनु क्र.	पक्षकाराचे नाव व पत्ता	पक्षकाराचा प्रकार	द्वयाचित्र	ठसा प्रमाणित
1	नाव:मेसर्स. वर्धन होमिंग चे भागीदार अशोक बी. वर्धन तर्फे कुलमुखत्यार मंदीप रघुनाथ पवार - पत्ता:प्लॉट नं: -, माळा नं: -, इमारतीचे नाव: शॉप नं 7, तळमजला, मुर्यामहल, 5 वी वी मार्ग, ऑफ एन एम रोड फोर्ट मुंबई, ब्लॉक नं: -, रोड नं: -, महाराष्ट्र, मुम्बई. पिन नंबर:AAHFV2226L	लिहून देणार वय :-48 स्वाक्षरी:- 		
2	नाव:श्यामा प्रकाश आंबुलकर - पत्ता:प्लॉट नं: -, माळा नं: -, इमारतीचे नाव: वसंतराव नाईक मार्ग, नेताजी नगर जवळ, सी ई एन 626, ओल्ड रमाबाई महकाण नगर, मद्गुरू चाळ, घाटकोपर इस्ट, मुंबई, ब्लॉक नं: -, रोड नं: -, पिन नंबर:AWGPA9028E	लिहून घेणार वय :-46 स्वाक्षरी:- 		
3	नाव:प्रकाश मदाशिव आंबुलकर - पत्ता:प्लॉट नं: -, माळा नं: -, इमारतीचे नाव: वसंतराव नाईक मार्ग, नेताजी नगर जवळ, सी ई एन 626, ओल्ड रमाबाई महकाण नगर, मद्गुरू चाळ, घाटकोपर इस्ट, मुंबई, ब्लॉक नं: -, रोड नं: -, महाराष्ट्र, मुम्बई. पिन नंबर:ALKPA6956C	लिहून घेणार वय :-53 स्वाक्षरी:- 		
4	नाव:गौरा प्रकाश आंबुलकर - पत्ता:प्लॉट नं: -, माळा नं: -, इमारतीचे नाव: वसंतराव नाईक मार्ग, नेताजी नगर जवळ, सी ई एन 626, ओल्ड रमाबाई महकाण नगर, मद्गुरू चाळ, घाटकोपर इस्ट, मुंबई, ब्लॉक नं: -, रोड नं: -, महाराष्ट्र, मुम्बई. पिन नंबर:CEDPA9795M	लिहून घेणार वय :-24 स्वाक्षरी:- 		

वरील दम्नावेवज करून देणार तथोक्तथीन करारनामा चा दम्न वेवज करून दिल्याचे कतुल करतात.  
शिक्का क्र.3 ची वेळ:05 / 02 / 2024 06 : 31 : 44 PM

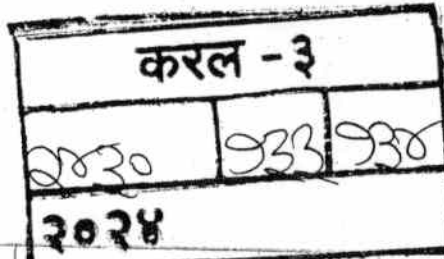
ओळख:-

खाणीत इमग असे निवेदीन करताना की ते दम्नावेवज करून देणा-यांना व्यक्तीश: ओळखतात, व त्यांची ओळख पटवितात

अनु क्र.	पक्षकाराचे नाव व पत्ता	स्वाक्षरी	द्वयाचित्र	ठसा प्रमाणित
1	नाव:पोर्णिभा यशवंत मुतार - वय:43 पत्ता:चाळ नं 70, रूम नं 649, रमाबाई आवेडकर नगर, घाटकोपर इस्ट, मुंबई पिन कोड:400075	स्वाक्षरी P-Y. Sutar		
2	नाव:राजागम दगडू होके - वय:46 पत्ता:जुनी रमाबाई नगर जवळ, 692, विरव चाळ, नेताजी नगर, आर टी ओ ऑफिस, घाटकोपर इस्ट, मुंबई पिन कोड:400077	स्वाक्षरी Rddholke		

शिक्का क्र.4 ची वेळ:05 / 02 / 2024 06 : 32 : 16 PM

सह: निवेदक निबंधक  
करल 3 (बाग-2)



sr.	Purchaser	Type	Verification no/Vendor	GRN/Licence	Amount	Used AI	Deface Number	Deface Date
1	VARDHAN HOUSING	eSBTR/Simple Receipt	69103332024022350353	MH014999320202324S	408000.00	SD	0007961284202324	05/02/2024
2		DHC		0224054614917	680	RF	0224054614917D	05/02/2024
3		DHC		0224054213593	2000	RF	0224054213593D	05/02/2024
4	VARDHAN HOUSING	eSBTR/Simple Receipt		MH014999320202324S				



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करल-३	
२६३०	२३०३३४
२०२४	



प्रमाणित करण्यात येते की या दस्तामधी  
एकूण ५७ कडी घेतलेले (३३) पाने आहेत.  
पुस्तक क्रमांक- १/करल-३/२६३०...../२०२४  
क्रमांकावर नोंदला.  
दिनांक: ०५/०२/२०२४

सह दुय्यम निबंधक (वर्ग-२)  
कुर्ला क्र.-३



05/02/2024

सूची क्र.2

दुय्यम निबंधक : मह. दु. नि. कुर्ला 3

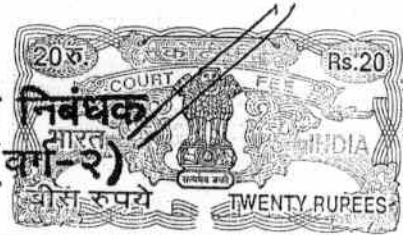
दम्न क्रमांक : 2430/2024

नोंदणी :

Regn:63m

गावाचे नाव : **चेंबूर**

(1) विलेखाचा प्रकार	करारनामा
(2) मोबदला	6800000
(3) वाजाराभाव (भाडेपट्ट्याच्या बाबतितपट्टाकार आकारणी देतो की पट्टेदाराने नमुद करावं)	5304195.325
(4) भू-मापन, पोट्टिस्मा व घरक्रमांक (अमल्याम)	1) पालिकेचे नाव: मुंबई मनपा इतर वर्णन : , इतर माहिती: , इतर माहिती: मदनिका नं 1104,11 बा मजला, वर्धन हाईटम, ए विंग, पी एल लोबंडे मार्ग, मुंबई 400 089, ... मी एम नं 708(पार्ट), 709, 709/1 ते 11, 710, 710/1 ते 23, 711, 711/1 ते 14, 712, 712/1 ते 7, 715/1 ते 36, 715/37, 716 आणि लॅंड अंडर नीला मुठा लाईन ऑफ व्हिलेज चेंबूर तालुका कुर्ला क्षेत्र 29.77 चौ मीटर कॉर्पेट ( ( C.T.S. Number : 708(पार्ट), 709, 709/1 ते 11, 710, 710/1 ते 23, 711, 711/1 ते 14, 712, 712/1 ते 7, 715/1 ते 36, 715/37, 716 आणि लॅंड अंडर नीला मुठा लाईन ऑफ व्हिलेज चेंबूर तालुका कुर्ला : ) )
(5) क्षेत्रफळ	1) 29.77 चौ.मीटर
(6) आकारणी किंवा जुडी देण्यात असेल तेव्हा.	
(7) दम्नगवज करून घेणा-या/निहून ठेवणा-या पक्षकाराचे नाव किंवा दिवाणी न्यायालयाचा हक्कनामा किंवा आदेश अगल्याम, प्रतिवादिचे नाव व पत्ता.	1): नाव:-मेसर्स. वर्धन हौसिंग चे भागीदार अशोक वी. वर्धन तर्फे कुलमुख्यांग मंदीप रघुनाथ पवार - वय:-48; पत्ता:-प्लॉट नं:-, माळा नं:-, इमारतीचे नाव: शॉप नं 7, तळमजला, सूर्यामहल, 5 बी वी मार्ग, ऑफ एन एम रोड फोर्ट मुंबई, ब्लॉक नं:-, रोड नं:-, महाराष्ट्र, मुंबई. पिन कोड:-400001 पॅन नं:-AAHFV2226L
(8) दम्नगवज करून घेणा-या पक्षकाराचे व किंवा दिवाणी न्यायालयाचा हक्कनामा किंवा आदेश अगल्याम, प्रतिवादिचे नाव व पत्ता	1): नाव:-छाया प्रकाश आंबुलकर - वय:-46; पत्ता:-प्लॉट नं:-, माळा नं:-, इमारतीचे नाव: वसंतराव नाईक मार्ग, नेताजी नगर जवळ, मी ई एन 626, ओल्ड रमाबाई महकार नगर, मद्गुरू चाळ, घाटकोपर इस्ट, मुंबई, ब्लॉक नं:-, रोड नं:-, पिन कोड:-400077 पॅन नं:-AWGPA9028E 2): नाव:-प्रकाश सदाशिव आंबुलकर - वय:-53; पत्ता:-प्लॉट नं:-, माळा नं:-, इमारतीचे नाव: वसंतराव नाईक मार्ग, नेताजी नगर जवळ, मी ई एन 626, ओल्ड रमाबाई महकार नगर, मद्गुरू चाळ, घाटकोपर इस्ट, मुंबई, ब्लॉक नं:-, रोड नं:-, महाराष्ट्र, मुंबई. पिन कोड:-400077 पॅन नं:-ALKPA6956C 3): नाव:-गौरव प्रकाश आंबुलकर - वय:-24; पत्ता:-प्लॉट नं:-, माळा नं:-, इमारतीचे नाव: वसंतराव नाईक मार्ग, नेताजी नगर जवळ, मी ई एन 626, ओल्ड रमाबाई महकार नगर, मद्गुरू चाळ, घाटकोपर इस्ट, मुंबई, ब्लॉक नं:-, रोड नं:-, महाराष्ट्र, मुंबई. पिन कोड:-400077 पॅन नं:-CEDPA9795M
(9) दम्नगवज करून दिल्याचा दिनांक	05/02/2024
(10) दम्न नोंदणी केल्याचा दिनांक	05/02/2024
(11) अनुक्रमांक, खंड व पृष्ठ	2430/2024
(12) वाजाराभावाप्रमाणे मुद्रांक शुल्क	408000
(13) वाजाराभावाप्रमाणे नोंदणी शुल्क	30000
(14) शेरग	

सह. दुय्यम निबंधक  
कुर्ला-३ (वर्ग-२)

मुल्यांकनासाठी विचारात घेतलेला तपशील:-

मुद्रांक शुल्क आकारना निवडलेला अनुच्छेद :-

(i) within the limits of any Municipal Corporation or any Cantonment area annexed to it.



वस्तासोबल देण्यात आलेली सूची-२

सह दुय्यम निबंधक (वर्ग-२)  
कुर्ला क्र. ३



Payment Details

sr.	Purchaser	Type	Verification no/Vendor	GRN/Licence	Amount	Used At	Deface Number	Deface Date
1	VARDHAN HOUSING	eSBTR/Simple Receipt	69103332024020350353	MH014999320202324S	408000.00	SD	0007961284202324	05/02/2024
2		DHC		0224054614917	680	RF	0224054614917D	05/02/2024
3		DHC		0224054213593	2000	RF	0224054213593D	05/02/2024
4	VARDHAN HOUSING	eSBTR/SimpleReceipt		MH014999320202324S	30000	RF	0007961284202324	05/02/2024

[SD:Stamp Duty] [RF:Registration Fee] [DHC: Document Handling Charges]



\*\*\*\*\*  
**Dated this 05<sup>th</sup> Day of February, 2024**  
\*\*\*\*\*

**BETWEEN**

**M/S. VARDHAN HOUSING**  
Shop No.7, Surya Mahal,  
Ground Floor, 5 B.B Marg,  
Off N M Road, Fort, Mumbai - 01

**THE DEVELOPER/PROMCTER**

**AND**

**Mrs. Chhaya Prakash Ambulkar And**  
**Mr. Prakash Sadashiv Ambulkar And**  
**Mr. Gauresh Prakash Ambulkar.**  
Vasantrao Naik Marg, Near Netaji Nagar, CEN-  
626, Old Ramabai sahakar Nagar, Sadguru  
Chal, Ghatkopar East, Mumbai - 400077.  
**Phone No. 9702937355 / 9702242668**

**PURCHASER'S**

**AGREEMENT FOR SALE OF**

Flat No. 1104 in Building  
known as VARDHAN HEIGHTS  
in "A" Wing on 11th Floor