

BUILDER'S PROJECT

TIE-UP

DARQUIS'

DH-I & II

5

VXJ

Bank of India  
16 JAN 2024  
Business Unit & BU

RM: - mobile Upadhyay

RBD Anandhu

9004026709

EMBASSY ENTERPRISES

Date:-07/12/2023

**LETTER FROM THE BUILDER FOR PROJECT TIE UP/APF**

**The Assistant General Manager**

State Bank of India,  
Home Loan Sales  
Local Head Office, Mumbai

Dear Sir/Madam,

**REQUEST FOR TIE-UP/APF ARRANGEMENT**

**FOR PROJECT:** Housing and commercial project, i.e. Marquis Residences Phase-I and Marquis Residences Phase-II at-CTS No.1406/10 of village Malad (s), off Chincholi Bunder Road, Malad (W), Mumbai-400064.

We M/s, Embassy Enterprises a Company/Firm, having its registered office at- B/106, Sanjay Apartment,S.V.P Road, Borivali (West), Mumbai – 400 092 are willing to enter into a Tie arrangement/APF with your Bank for our Project- Housing and commercial project, i.e. Marquis Residences Phase-I and Marquis Residences Phase-II situated at (address) village Malad (s), off Chincholi Bunder Road, Malad (W), Mumbai-400064.

Yours faithfully,

For, M/s. Embassy Enterprises

**For EMBASSY ENTERPRISES**



**Partner**

(Partner/Authorized Signatory)

**REGISTERED OFFICE**

Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P Road, Borivali (W), Mumbai - 400092

E.- info@marquisresidences.in

**ADMIN OFFICE**

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

EMBASSY ENTERPRISES

INFORMATION FOR BANK APF

Sr. No.	Parameter	Particulars
1	Name of the Builder (Company/firm Name)	Embassy Enterprises
2	Registered Address	B/106, Sanjay Apartment, S.V.P Road, Borivali (West), Mumbai – 400 092
3	Address for correspondence	As Above
4	Contact Person Name, Mob.No. Email id	MR.CHETAN D.SHAH  <a href="mailto:info@marquisresidences.in">info@marquisresidences.in</a>
4a	Whether Builder/His nominee is proposed to be engaged as Marketing Associate ? If Yes, Name of the Marketing Associates	Firm/Company's own team is presenting marketing the project.
5	Website url, if any	N/A
6	Date of establishment (MM/DD/YYYY)	May 17 <sup>th</sup> 1994
7	Constitution(Proprietor/Partners hip, Company)	Partnership
8	If members of an Industry Body like Builder's Association etc. names of such bodies like MCHI,CREDAI/ISO certification	N/A

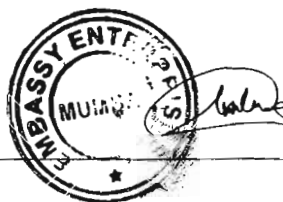
**REGISTERED OFFICE**

Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P Road, Borivali (W), Mumbai - 400092

E.- [info@marquisresidences.in](mailto:info@marquisresidences.in)

**ADMIN OFFICE**

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064



**EMBASSY ENTERPRISES**

9	Ratings from CRISIL/ICRA etc.	N/A		
10	Profile of the partners/directors			
Sr. No	Name	Age	Qualifications	Comments on his/her experience, area of expertise etc.
1.	Mr. Sanjay D. Shah,	53 Years	B.E.Civil	Real Estate Sector
2.	Mr. Chetan D. Shah	48 Years	B.E.Civil	Real Estate Sector
3.	Mr.Ramesh Gurnani	64 Years	-	Real Estate Sector
4.	Mrs. Sonia Ramesh Gurnani	58 Years	-	Real Estate Sector
5.	M/s.Goyam Holdings Ltd.	N/A	N/A	Real Estate Sector
11	<b>Details of last 3 residential projects executed by the same firm/company/promoters</b>			
Project Name	N/A			
Location	N/A			
Whether approved by SBI?	N/A			
If approved by Housing Finance Company like HDFC/LIC HF etc. and/or Schedule Commercial Bank, furnish names of HFCs/Banks	N/A			
Month & Year of Commencement of Construction	N/A			
Present Status Completed/Partially Completed)	Completed on	Completed on	Completed on	
	(Month& Year)	(Month& Year)	(Month& Year)	
	___Phases completed.	___Phases completed. Full	___Phases completed. Full	



**REGISTERED OFFICE**

**ADMIN OFFICE**

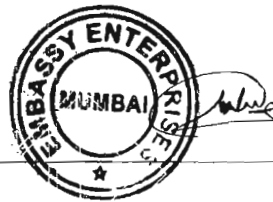
Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P Road, Borivali (W), Mumbai - 400092

E.- info@marquisresidences.in

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

EMBASSY ENTERPRISES

	Full completion expected by (Month& Year)	completion expected by (Month& Year)	completion expected by (Month& Year)
Total built up area of the project, in Sq.Mtr.	N/A		
Number of floors	N/A		
No. of Dwelling Units in the project	N/A		
No. of units sold in the project	N/A		
Hsg.Loan taken Through SBI (No.of flats)	N/A		
Date of Occupancy Certificate	N/A		
Date of conveyance	N/A		
<b>Total units Financed by SBI</b>			
<b>12</b>	<b>Details of the Present Project</b>		
Project Name	MARQUIS RESIDENCES PHASE-I & MARQUIS RESIDENCES PHASE-II		
Location with Survey/CTS. Nos.	CTS No.1406/10 of village Malad (s), off Chincholi Bunder Road, Malad (W), Mumbai-400064		
Details of construction finance / loan, if any, availed by the builder For this project If any construction finance available then pleases Fill details as mentioned. <b>(*Mandatory)</b> - Name Of Bank* - Loan Account No* - Loan Amount* - Last date of Loan disbursement*	NO		



REGISTERED OFFICE

ADMIN OFFICE

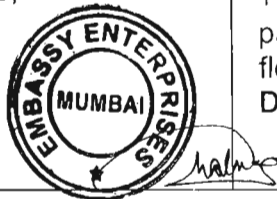
Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P Road, Borivali (W), Mumbai - 400092

E.- info@marquisresidences.in

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

EMBASSY ENTERPRISES

<p>(*Kindly enclosed Sanction Letter/ along with Account statement since First Disbursement of Loan)</p>	
<p>Status of encumbrance of the project land</p>	<p>N/A</p>
<p>If approved by Housing Finance Company like HDFC/LIC HF etc, and/or Scheduled Commercial Bank, furnish names of HFCs/Banks</p>	<p>APF is approved by Bank Of Baroda for this Project.</p>
<p>Month &amp; Year of Commencement of Construction</p>	<p>2/11/2022 (As per Commencement Certificate)</p>
<p><b>Present Stage of Construction</b></p>	<p>Work upto plinth and two podium floors completed</p>
<p><b>Proposed construction Plan.</b> (Please furnish details of No. of phases, No. of buildings in each phase, No. of floors, No. of dwelling Units in each building. Planned Schedule of completion of each building, phase, Project.)</p>	<p><b>1) MARQUIS RESIDENCES PHASE - I</b> Wing "A" being front shops on part (Ground + First Floor ) <b>Date -31-12-2027</b></p> <hr/> <p><b>2) MARQUIS RESIDENCES PHASE- 2</b> Wing "B" + Wing "c" consisting of Basement + stilt +3 podiums + 4th to 21<sup>st</sup> residential floors &amp; part 22<sup>nd</sup> floor as residential floors. <b>Date -31-12-2028</b></p>



REGISTERED OFFICE

ADMIN OFFICE

Embassy Enterprises - B-106. Sanjay Apartment  
S.V.P Road, Borivali (W), Mumbai - 400092

E.- info@marquisresidences.in

Marquis Residences - Mindspace. Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

EMBASSY ENTERPRISES

Total built up area of the project, in Sq. Mt.	Sanctioned Built-up Area – 783.51sq.mts. (Phase-I) Sanctioned Built-up Area – 10765.28sq.mts. (Phase-2)																		
No. of Dwelling Units in the project	<b>Marquise Residences Phase-I</b> (Wing A (on Ground 6 shops + on First Floor 6 shops) Total =12 shops <b>Marquise Residences Phase-II</b> (Wing B = 93 Flats) & (Wing C =93 Flats)																		
No. of units sold in the project	Sold 2 Residential Units																		
<u>No. of units Funded by SBI in this project and</u>	-																		
<u>Expected business from this project</u>	-																		
Details of Development Agreement and POA if any	This is Ownership Project																		
Status of receipt of approvals from Local Bodies/ Urban Development Authority	Sectioned																		
<b>13 Project Value</b>																			
Type of Flat/House																			
No. of Flats/House																			
<p><b>MARQUIS RESIDENCES PHASE –II</b> <b>(Wing –B)</b></p> <table border="1"> <thead> <tr> <th>Flat Type</th> <th>Carpet area in Sq.Mts.</th> <th></th> </tr> </thead> <tbody> <tr> <td>1 BHK</td> <td>39.98</td> <td>18 Flats</td> </tr> <tr> <td>1BHK</td> <td>41.29</td> <td>18 Flats</td> </tr> <tr> <td>2BHK</td> <td>57.27</td> <td>19 Flats</td> </tr> <tr> <td>2BHK</td> <td>58.51</td> <td>38 Flats</td> </tr> <tr> <td colspan="2"><b>Total =</b></td> <td><b>93 Flats</b></td> </tr> </tbody> </table>		Flat Type	Carpet area in Sq.Mts.		1 BHK	39.98	18 Flats	1BHK	41.29	18 Flats	2BHK	57.27	19 Flats	2BHK	58.51	38 Flats	<b>Total =</b>		<b>93 Flats</b>
Flat Type	Carpet area in Sq.Mts.																		
1 BHK	39.98	18 Flats																	
1BHK	41.29	18 Flats																	
2BHK	57.27	19 Flats																	
2BHK	58.51	38 Flats																	
<b>Total =</b>		<b>93 Flats</b>																	



**REGISTERED OFFICE**

**ADMIN OFFICE**

Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P Road, Borivali (W), Mumbai - 400092

E.- info@marquisresidences.in

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

EMBASSY ENTERPRISES

MARQUIS RESIDENCES PHASE -II

(Wing -C)

Flat Type	Carpet area in Sq.Mts.	
1 BHK	39.98	18 Flats
1BHK	41.29	18 Flats
2BHK	57.27	19 Flats
2BHK	58.51	38 Flats
<b>Total =</b>		<b>93 Flats</b>

14. Whether credit facility enjoyed  
With any bank  
Then please Fill details as  
mentioned. **(\*Mandatory)**  
**(\*Kindly enclosed Sanction Letter/  
along with Account statement since  
First Disbursement of Loan)**

N/A

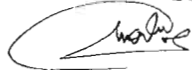
15. Disbursement to be made In  
favour of  
Account Name:  
Account Number :  
Bank / Branch :  
IFSC code

ENCLOSED

Yours Sincerely,

For M/s. Embassy Enterprises,

For EMBASSY ENTERPRISES



Partner

(Partner/Authorized Signatory)

**REGISTERED OFFICE**

Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P Road, Borivali (W), Mumbai - 400092

E.- info@marquisresidences.in

**ADMIN OFFICE**

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064



EMBASSY ENTERPRISES

Date:07/12/2023

To,  
**The Assistant General Manager**  
State Bank of India,  
Home Loan Sales  
Local Head Office, Mumbai

**Sub: Please Find details of bank Account for our Project**

Dear Sir/Madam,

Requesting you to consider the mention details for Fund Transfer.

**Enclosed copy of Bank Letter.**

**I) Our A/c details are:**

Builder Name : M/s. Embassy Enterprises

Project Name : Marquis Residences

Wing Name : Wing - A

Account Name : **EMBASSY ENTERPRISES- MARQUIS RESIDENCES 'A' WING COLLECTION A/C**

(A/c name as per Bank records)

Account No. : 5370396093 (RERA Collection account)

Bank Name : CENTRAL BANK OF INDIA

Branch Name : MALAD WEST, MUMBAI -400064

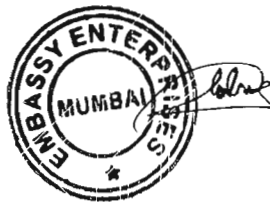
IFSC Code : CBIN0280618

Email ID : [info@marquisresidences.in](mailto:info@marquisresidences.in)

**II. Our Bank A/c for GST Amount transfer is given below:**

Account Name : **EMBASSY ENTERPRISES- GST COLLECTION A/C MARQUIS RESIDENCES**

(A/c name as per Bank records)



**REGISTERED OFFICE**

Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P Road, Borivali (W), Mumbai - 400092

E.- [info@marquisresidences.in](mailto:info@marquisresidences.in)

**ADMIN OFFICE**

Marquis Residences-Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

EMBASSY ENTERPRISES

Account No. : 5370260017  
Bank Name : CENTRAL BANK OF INDIA  
Branch Name : MALAD WEST, MUMBAI -400064  
IFSC Code : CBIN0280618  
Email ID : [info@marquisresidences.in](mailto:info@marquisresidences.in)

III) Our A/c details are: (All fields are mandatory)

Builder Name : M/s. Embassy Enterprises  
Project Name : Marquis Residences  
Wing Name : Wing – B & C

Account Name: EMBASSY ENTERPRISES -MARQUIS RESIDENCES 'B' & 'C' WING COLLECTION A/C

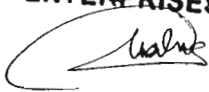
(A/c name as per Bank records)

Account No. : 5370258383 (RERA Collection account)  
Bank Name : CENTRAL BANK OF INDIA  
Branch Name : MALAD WEST, MUMBAI -400064  
IFSC Code : CBIN0280618  
Email ID : [info@marquisresidences.in](mailto:info@marquisresidences.in)

Yours Sincerely,

For M/s. Embassy Enterprises,

**For EMBASSY ENTERPRISES**



**Partner**

(Partner/Authorized Signatory)

**REGISTERED OFFICE**

Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P Road, Borivali (W), Mumbai - 400092

E.- [info@marquisresidences.in](mailto:info@marquisresidences.in)

**ADMIN OFFICE**

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

*Rem*  
WEST-BLEC

To,  
Asst. General Manager,  
Home Loan Sales,  
Builder Relation Team,  
Local Head Office,  
Bandra East, Mumbai-400051

16 JAN 2024

BRM/RBO ANDHERI/JAN/2024/05

Date: 12/01/2024

Dear Sir/Madam,

Request for Builder Tie up  
M/S.EMBASSY ENTERPRISES  
PROJECT: MARQUIS RESIDENCES ph-1 & ph-2  
RERA NO.:P51800051092 (Residential )

I forward herewith, Builder Tie up (APF) file of M/S.EMBASSY ENTERPRISES for Project "MARQUIS RESIDENCES ph-1 & ph-2" situated CTS No.1406/10 of village Malad, Off.Chincholi Bunder Road, Malad West,Mumbai-400064, sourced by me along with all the necessary documents for processing and approval.

Request you to kindly proceed further.

Thanking you.

Your faithfull



Mohit Upadhyay  
Manager Builder Relations  
SBI RBO ANDHERI  
MUMBAI-400069  
9004026709

# MARQUIR PH I & II

## BUILDER TIE-UP CHECKLIST

(LIST OF DOCUMENTS (XEROX COPY) REQUIRED FOR ESTABLISHING TIE-UP ARRANGEMENT IN RESPECT OF HOUSING PROJECT)

### REQUIRMENT FROM BUILDER:

1. Board Resolution Copy/ **Authority letter** to sign the application *(on letter head)*.
2. **Builder Profile**, as per the attached format with detail of **latest 2** completed residential projects.
3. Details of expected Business with current penetration and expected penetration for the current project and past projects. *(on letter head)*
4. Affidavit on letter head (as per attached format).
5. **Flat Wise AREA & Work Completion Stage certificate**: Detail flat-wise statement of carpet and saleable area certified by Architect and present construction & work completion progress Status letter issued by architect, *(on letter head)*
6. **KYC of Individuals**: Self Attested Copy of PAN & AADHAR of the Partners/Directors/Proprietor of the Firm.
7. **Address proof of Business**: Electricity Bill, Tel Bill, Rent Agreement in the name of firm.
8. Name, contact number and PAN card of **Marketing Associate** who can be individual or non-individual. (if any)
9. **KYC of Firm**: Self Attested Copy of PAN card Partnership/ LLP/ Pvt Ltd./ Ltd/ and Partnership Deed, Memorandum & Article of Association, Certificate of Incorporation, Builder License/ Gumasta copy.
10. Screen shot of Home page of builder's website.
11. **Copy of External rating** from CRISIL / ICRA etc, (if any)
12. **Copy of Membership of Industry body** like MCHI, CREDAI, ISO certification (if any)
13. **Copy of Maha RERA Registration Certificate**.
14. **Copy of Indenture of Mortgage**, NOC from lender bank/financial institution and date of last disbursement.
15. **A letter from Chartered Accountant** certifying stipulated stake of the Builder (minimum 15%) in the Project.
16. **Details of Litigation** with hard/soft Copies of Plaint/ Written Statement/ Petition/ Reply/ Orders etc (if any).
17. **Property Documents & Approvals**: (1) Title deeds with Chain of all documents, (2) Relevant 7/12 Extract - Property Card, (3) Deed of Conveyance/Development Agreement/ Agreement with slum dwellers along with Registration Receipt in case of SRA project / Mutation Entries / Revenue Receipt & Index II, (4) Lease deed in case of leasehold lands, Gift deed, Settlement deed, Partition deed, Family settlement deed, Testamentary documents such as Wills etc., (5) Conveyance deed in favour of society / condominium etc. as applicable.
18. **Draft of Sale Agreement / Agreement of Sale**
19. **Copy of Development permission**: issued by Appropriate Authority like MCGM/CIDCO/MAHADA/SRA.
20. **Copies of all Commencement Certificate**.
21. **Copies of Approved Master Plans & IOD**: Copies of approved / sanctioned/ amended plans certified by Architect and IOD, LOI.
22. **N.A. Order (permission)**: Up-to-date property tax paid receipt, ground rent, and lease premium paid receipt.
23. **Environment Clearance Certificate** from appropriate authority copy (if applicable).
24. **AAI & Fire NOC**: Fire & Airport Authority of India- NOC (if applicable)
25. **TIR of Land / Project** prepared by Advocate of Builder.
26. **A copy of Insurance of Land and Building** of the real estate project and construction of the real estate project. (if any)



INDIA.NCM 3001

महाराष्ट्र MAHARASHTRA

© 2018 ©

15 MAR 2019  
संलग्न संख्या  
श्री. पी. एम. तडकर

DEED OF AMENDMENT  
OF  
PARTNERSHIP  
OF  
M/S. SIDHARTH ENTERPRISES

THIS DEED OF AMENDMENT OF PARTNERSHIP made at Mumbai this 1 day of APRIL 2019. BETWEEN

(1) MR. SANJAY DALICHAND SHAH Indian Inhabitant of Mumbai, hereinafter referred to as the party of the FIRST PART, (2) MR. PARESH DALICHAND SHAH, Indian Inhabitant of Mumbai, hereinafter referred to as the party of the SECOND PART, AND (3) MR. CHETAN DALICHAND SHAH, Indian Inhabitant of Mumbai, hereinafter referred to As the party of the THIRD PART.

col 100

11



(Reference to the parties of all the three parts shall unless it be repugnant to the context or meaning thereof deemed to include their respective heirs, executors, administrators and or successors in title and assign as the case may be)

WHEREAS the parties of the three parts hereto have been carrying on business in Partnership by a Deed of Partnership under the name and style of "M/S. SIDHARTH ENTERPRISES", on the terms and conditions as per Partnership deed dated 16<sup>th</sup> June, 1995 and as reconstituted and amended from time to time by various deeds including dated 01/04/2008, 05/06/2008 and 01/04/2015, and as per the terms therein. Now, the parties have jointly agreed to modify the terms of partnership amongst themselves and accordingly the parties hereto have agreed upon the amended new terms and conditions governing their partnership and desire to reduce the same into writing. Hereinafter the partnership will be governed by the following terms and conditions.

**NOW THIS INDENTURE WITNESSETH AS FOLLOWS :**

1. The parties hereto have agreed to continue to carry on the business carried on erstwhile under the name and style of M/s. SIDHARTH ENTERPRISES as per the terms and conditions hereinafter mentioned.
2. The business of the Partnership shall be that of any one or more or all of the following:
  - a) Civil contractors, buying, selling and/or holding of properties, building/s, development of properties and civil works
  - b) To construct, build, operate, conduct, own or lease water treatment plants, supply systems, sewerage/waste treatment plants, equipments, machineries and systems for the same etc.,
  - c) To trade in, establish, run, operate conduct, own or lease solid waste management systems/plants, and to deal in equipments and/or machineries for the same and/or in relation thereto,
  - d) To install, build, operate, run, conduct and generally to carry on the business of dealing in, providing and selling and distributing renewable energy, including but not limited to solar energy, wind energy etc and to deal in equipments, machineries and systems for the same etc.,
  - e) Buying, selling and generally carrying on the business of Trading including but not limited to in cloth, raw materials etc.,
  - f) Providing consultancy, assistance, project development, management services, marketing etc., and allied services for redevelopment, construction, development projects, civil projects and in relation thereon
  - g) and/or any other business as the partners may mutually agree upon from time to time.



3 The principle place of business shall be situated at 106-B, Sanjay Apartment, S V P Road, Borivari (W), Mumbai 400092 and / or from such other places as the partners may from time to time agree upon

4 The partners actively engaged in the business activity of the firm shall be entitled to remuneration worked out in the following manner –  
The Profits of the business shall be first computed as per the provisions of S 28 to 44D of the Income Tax Act, 1961 and from the profits so computed the remuneration shall be worked out in the following manner –

On the 1<sup>st</sup> Rs 3,00,000 of the profits.

The remuneration allowable shall be @ - 90 %

On the balance of the profits,

The remuneration allowable shall be @ - 60 %

The remuneration so worked out shall be allocated amongst the Partners in the following proportions -

MR. SANJAY DALICHAND SHAH	-	33.34 %
MR. PARESH DALICHAND SHAH -		33.33%
MR. CHETAN DALICHAND SHAH	-	33.33%




Further in the case of the firm having insufficient profits or losses the partners shall be entitled to a minimum remuneration of Rs 1,50,000/- which shall be allocated in the profit sharing ratio.

Partners may alter the terms of payment of remuneration by mutual consent in writing. The Partners may draw money any time during the year.

It is specifically agreed amongst the Partners that they will not claim any remuneration from the date of execution of this Agreement till a written consent is prepared for payment of remuneration.

5 It is further agreed amongst the Partners that the Net Profit / Losses of the Business shall be divided between the partners in the following proportions :-

<u>Sr. No.</u>	<u>Name of the Partners</u>	<u>% Share</u>
1	Mr. Sanjay Dalichand Shah	33.34%
2	Mr. Paresh Dalichand Shah	33.33%
3	Mr. Chetan Dalichand Shah	33.33%
	<b>Total</b>	<b>100%</b>


  



- 6 The Accounting year of the firm shall continue to be April to March
- 7 The Bank account with the existing Bankers shall be operated by at least two partners and in the manner as may be mutually decided by them. In case the partners decide to open new Bank accounts they may do so and the same shall also be opened by atleast any two partners and to be operated in the manner as may be mutually decided by them.
- 8 Any expenses, payments made for the Partnership by the partners shall be reimbursed by the firm.
9. Any allotment letters, agreements, contract documents, tender documents, deeds, redevelopment agreements, release deeds, conveyance, transfer deeds etc., shall be jointly signed by any two partners for and on behalf of partnership and any such act shall be construed to have been done for the partnership business.
- 10 Usual Books of accounts shall be kept properly posted up and shall not be removed from the place of business without the consent of all the partners. Each partner shall have free access to them at all times and shall be at liberty to make such extracts there from as he may think fit by himself or through his agents.
- 11 If any partner desires to retire from the said partnership he may do so by giving 30 days notice in writing and on the expiry of 30 days of the same notice, he shall be deemed to have retired.
12. Each partner shall
  - a) Be just & faithful to the other in all transactions relating to the said partnership;
  - b) At all times give to the other partner just and faithful account of the partnership and also upon reasonable request furnish full and correct explanations thereof;
  - c) Discharge their individual debt and liabilities from time to time and keep indemnified the assets of the firm as well as the other partner of the firm from and against the claims, demand and proceedings attachment, prosecution and action for payment of their personal liabilities.
13. Each of the Partners shall be entitled to carry on separate business on his own and /or in partnership with other or in association with other entities including business which may be competitive with business of this partnership.

*(Handwritten signatures)*

14. in case of retirement (otherwise than as referred to in clause 16 hereinafter) death (or liquidation as may be applicable) or insolvency of any of the Partners, the Partnership hereby constituted shall not be dissolved but the remaining Partners shall be entitled to continue the said business and any one of the heirs in the case of individuals or assigns in the case of the company, of the retiring / deceased Partner as may be nominated by the remaining heirs / assigns ( as applicable ) will be admitted into the Partnership in place of the Retiring Partner / Deceased Partner
15. It is further specifically agreed that in the event of any Partners or Partner desiring to retire (without any of his heirs / assigns being nominated into the Partnership) then he/she shall do so subject to his/her giving 30 days notice in writing to the others of such retirement and on the expiry of the said notice, such Partner/s giving notice shall be deemed to have retired from the Partnership. The sums due and payable to such a retiring Partner (who does not nominate his heirs / assigns into the Partnership) shall be determined in the manner laid out in Clause No.18 hereinafter appearing.
16. No Partner shall assign/deal with his share in Partnership without the written consent of other Partners.
17. The Retiring Partner, (other than the one referred to in clause 15 hereinabove) Official Assignee/Receiver of insolvent Partner and the heirs of the deceased Partner (not nominating any legal heir in the Partnership) shall be entitled to get his share in the assets (Net Assets) of the Partnership determined on the market value of the share as on the date of happening of such event.
18. The partners shall be at liberty to add, alter, and, to modify or vary any of the terms and conditions herein contained and such alteration and modifications as the case may be, shall be deemed to be final and binding if made by unanimous decision in writing.
19. All disputes of any type whatsoever in respect of this partnership arising between the partners, either during the continuance of this partnership or after the determination thereof shall be decided as per the provisions of Arbitration and Conciliation Act, 1996 so that in any case no parties to the dispute shall have recourse to the Courts of Law.

IN WITNESS WHEREOF THE PARTIES HERETO HAVE HEREUNTO AND  
SUBSCRIBED THEIR RESPECTIVE HANDS ON THE DAY AND THE YEAR FIRST  
HEREIN ABOVE WRITTEN.

SIGNED SEALED AND DELIVERED BY THE )

WITHIN NAMED "PARTY OF THE FIRST PART" )

MR. SANJAY DALICHAND SHAH )

IN THE PRESENCE OF Mr. Pratik Salunke )  
Pratik

SIGNED, SEALED AND DELIVERED BY THE )

WITHIN NAMED "PARTY OF THE SECOND PART" )

MR. PARESH DALICHAND SHAH )

IN THE PRESENCE OF Mrs. Anita Salunke )  
Anita

SIGNED, SEALED AND DELIVERED BY THE )

WITHIN NAMED "PARTY OF THE THIRD PART" )

MR. CHETAN DALICHAND SHAH )

IN THE PRESENCE OF Mrs. Anita Salunke )  
Anita

Chetan

FORM 'H' नमुना 'ह'  
(See Rule 17/ नियम १७ प्रह।)  
CERTIFICATE OF REGISTRATION  
नोंदणीचे प्रमाणपत्र



THE INDIAN PARTNERSHIP ACT, 1932  
(Act No. IX of 1932)  
भारतीय भागीदारी अधिनियम, १९३२  
(सन १९३२ चा अधिनियम क्रमांक ९)

Registration No. वसु-६२२६९  
नोंदणी क्रमांक

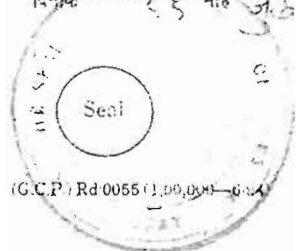
It is certified that a firm by name .....  
with its head office at .....

has this day been duly registered under The Indian Partnership Act, 1932  
(Act No. IX of 1932).

याद्वारे असे प्रमाणित करण्यात येत आहे की, वसु-६२२६९ संस्थेच्या  
अपारटनेन्स, एम व्हा पी रोड करियाली (१)  
मुंबई-२०००८२  
येथे मुख्यालय असलेल्या म. खिंदवादी एन्टरप्रायझेस

या नावाच्या संस्थेची १५ जुलै १९३२  
चा दिवशी भारतीय भागीदारी अधिनियम, १९३२  
(१९३२ चा अधिनियम क्रमांक ९) अन्वये योग्य रीतीने नोंदणी करण्यात आली आहे.

Given under my hand this ... day of ... 19...  
दिनांक १५ महिने जुलै १९३२ या दिवशी माझ्या सहीने देण्यात आले.



[Signature]  
Registrar/Assistant Registrar of Firms  
Bombay/Pune/Nagpur/Aurangabad  
निबंधक/सहायक निबंधक भागीदारी संस्था  
मुंबई/पुणे/नागपूर/औरंगाबाद

INDIA NOTARY

महाराष्ट्र MAHARASHTRA

विद्वि तहमील कार्यालय लवकर भिवंडी विद्वि,  
पारकमा क्र. ५२/९२ ज. व. री. व. त. १६/६/९५  
नाव : श्री. शाह ग. सुबोध  
हस्त : पारेश सिंग  
मुद्रांक विद्वि  
(पी. जी. महाजन)

REGISTER OF FIRMS

FIRM NO : BA-62869

NAME : M/S. SIDHARTH ENTERPRISES (REGD.)

BUSINESS : Civil Contractors, Buying, Selling and/or Holding of  
Properties, Buildings, Development of Properties Civil Works.

NO OF ENTRY	DATE OF ENTRY	NATURE OF ENTRY	REMARKS
1	11th July 1995.	Name : M/s. Sidharth Enterprises (Regd.) Principal Place : B-106, Sanjay Apartments, S.V.P. Road, Borivali (West), Bombay-400 092.	

Partners addresses & date of joining :

1. Shri. Sanjay Dalichand Shah  
Joined on 16/6/1995.

2. Shri. Paresh Dalichand Shah  
Joined on 16/6/1995.

Add for Both : 11, Shangrilla Apartment, Opp. Neelam Hotel, L.T.Road, Borivali (West), Bombay-400 099.

Duration : At will.

Form dt : 21st June 1995.

Sd/- T.T.Shahare, Notary Gr. Bombay.

Esplanade Court Bar Library, Mahapalika Marg, Bombay-400 005.

Sd/- S. B. Shinde,  
Registrar of Firms, Mumbai.

...2.



Contd....

Firm No : BA-62869

2. 26th  
Aug.,  
2011

Chetan Dalichand Shah  
of : 11, Shangrila Apartment, Opp. Neelam Hotel,  
L.T Road, Borivali (W), Mumbai-400 099.  
Joined on 01/04/2008.

Sd/- C.J.Klinge,  
Dy. Registrar of Firms, Mumbai.

Handwritten notes and signatures, including the number 3282 and 26/8/11.



PROJECTS COMPLETED BY M/S. SIDHARTH ENTERPRISES

PAST EXPERIENCE DETAIL OF PROMOTER DEVELOPER	
SR. NO.	
	STATE BANK OF INDIA EMPLOYEES CHS
1	Project name LTD.,
2	Type of project Redevelopment
3	Land area (sq.mtr.) 1313 Square meters
4	Address Veera Desai Road, Azad Nagar, Road NO. 3, Andheri (West), Mumbai - 400 058
5	plot no. Survey No.14, CTS No. 207/213
6	Number of building/Plot one building
7	No. of apartment 43 flats
8	Original proposed date of completion ---
9	Actual Date of completion 23rd August 2016

PAST EXPERIENCE DETAIL OF PROMOTER DEVELOPER	
SR. NO.	
1	Project name KANDIVALI TRIVENI CHS LTD.,
2	Type of project Redevelopment
3	Land area (sq.mtr.) 792.4 Square meters
4	Address Ramgalli, Kandivali (West) Mumbai - 400067
5	Plot bearing no./CST no. / Survey no. /Final plot no. Survey No. 67, CTS no. 364/A-1, 364/A-2
6	Number of building/Plot one building
7	No. of apartment 30 flats
8	Original proposed date of completion ---
9	Actual Date of completion 3rd June 2016

<b>Sr. No. PAST EXPERIENCE DETAIL OF PROMOTER DEVELOPER</b>		
1	Project name	LAXMI FLAT OWNERS CHS LTD.,
2	Type of project	Redevelopment
3	Land area (sq.mtr.)	1012.5 Square meters
4	Address	Shahaji Raje Marg, Vile Parle - East, Mumbai - 400 057
	Plot bearing no./CST no. / Survey no. /Final	
5	Plot no.	251/B
6	Number of building/Plot	one building
7	No. of apartment	49 flats
8	Original proposed date of completion	---
9	Actual Date of completion	26th April 2017

<b>Sr. No. ON GOING PROJECT DETAIL OF PROMOTER DEVELOPER</b>		
1	Project name	BELLA-VISTA
2	Type of project	Redevelopment
3	Land area (sq.mtr.)	1279.75 sq.mts. plot area (as per MCGM)
4	Address	Village Borivali, situated at Chandavarkar Road, Borivali (West), Mumbai- 40009
5	Plot bearing no./ Survey no./CST no. /.	Survey No. 69, Hissa No. 5, C.T.S No. 642
6	Number of building/Plot	one building Total - 50 FLATS & 9 Shops
7	No. of apartment	
8.	RERA Registration No.	P51800031740



## EMBASSY ENTERPRISES

B/106, SanJay Apartment,  
S.V.P Road, Borivali (West)  
Mumbai – 400 092.

Date-28/07/2023

To,  
HDFC BANK,  
Mumbai

### A) Details about Builder/Developer:

Sr. No.	Component	Details
1.	Name of the Builder/Developer	M/s. EMBASSY ENTERPRISES
2.	Brief about the builder/Developer	Partner/s
3.	Concern (Proprietorship, partnership, pvt. Ltd etc.)	Partnership firm
4.	Regd. Office Address	B/106, SanJay Apartment, S.V.P Road, Borivall (West), Mumbai – 400 092
5.	Other Address (In any)	-
6.	Phone number	-
7.	Date of Inception/Total No. of Yrs. in buldier business	
8.	Name of Proprietor/partners/directors	1. Mr. Sanjay D. Shah, 2. Mr. Chetan D. Shah 3. Mr. Ramesh Gurnani 4. Mrs. Sonia Ramesh Gurnani 5. M/s. Goyam Holdings Ltd.
9.	Total No. of Projects Completed	NIL
10.	No. of projects in which there was delay & brief details in below format C	N/A
12.	Total Built up area completed in past (in sq.ft)	N/A
13.	Total Built up area sold in past (In sq.ft.)	N/A
14.	WIP-ongoing projects (in sq.ft.)	-
15.	WIP (In amount)	-
16.	Website url	N/A
17.	List of Bankers/banking relationship	

### B) Proposed Details on Project on which APF is proposed:

Sr. No.	Component	Details
1.	Name of the project	MARQUIS RESIDENCES PHASE-I & MARQUIS RESIDENCES PHASE-II



## EMBASSY ENTERPRISES

B/106, Sanjay Apartment,  
S.V.P Road, Borivali (West)  
Mumbai – 400 092.

2.	Address & Location	CTS No.1406/10 of village Malad (s), off Chincholi Bunder Road, Malad (W), Mumbai-400064
3.	Land area	3596 Sq.mtrs.
4.	Total built up area	Residential Area – 10765.28 sq.mtrs. Commercial Area -783.51 sq.mtrs.
5.	Project commencement Date	2/11/2022 (As per Commencement Certificate)
6.	Expected completion Date (as published on RERA website)	<b>1) MARQUIS RESIDENCES PHASE –I</b> Wing "A" being front shops on part (Ground + First Floor ) <b>Date -31-12-2027</b> <b>2) MARQUIS RESIDENCES PHASE-II</b> Wing "B" + Wing "c" consisting of Basement + stilt +3 podiums + 4th to 21 <sup>st</sup> residential floors & part 22 <sup>nd</sup> floor as residential floors. <b>Date -31-12-2028</b>
7.	Cost of Project (including land cost)	–
8.	Builder's share/stake in the project	100%
9.	Total No. of Buildings/Wings in the Project	THREE Wings (Wing-A, Wing-B & Wing-C)
10.	Total Number of flats/units in the project	Marquise Residences Phase-I (Wing A (on Ground 6 shops + on First Floor 6 shops) Total =12 shops  Marquise Residences Phase-II (Wing B = 93 Flats) & (Wing C =93 Flats)
11.	Number of units sold till date in the project	NIL
12.	Is the Project approved by any other banks/FI/NBFC.(List the names)	–
13.	Other amenities in the project	List Enclosed
14.	Project Broucher /Marketing arrangement/tie-up	Yes we have project Brochure (Enclosed)
15.	Environmental Clearance of the Project –	Yes Obtained



## EMBASSY ENTERPRISES

B/106, Sanjay Apartment,  
S.V.P Road, Borivali (West)  
Mumbai – 400 092.

	NA/Pollution clear/Forest Clearance etc.	
16.	Location/Infrastructure availability around the Project	Location is as shown in the brochure. Area well developed-mind space, Malad (west) area.
17.	Proposed Number of Units and in amount (lakhs) required for ADF Approval	-
18.	Quality of Project & construction quality	100%
19.	Is Legal Clear?	Yes
20.	Is Technical Clear?	Yes
21.	Are approved plans in place & mentioned by valuer in technical report?	Yes-IOD with Plan Enclosed. IOD for full building obtained.

### C) Details about all Completed projects of the builder:

Location	Project Name	Project Cost	Total Built-up Area for the project	Stories /Floors	Total No. of Units/flats in the project	Construction Dates			No. of units unsold
						Start Date	End Date	Delay (in months) from scheduled time of completion	
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

### D) Proposed Project:

#### MARQUIS RESIDENCES PHASE – I (Wing – A)

Sr. No.	Floor no.	Shop No.	Rera carpet (Sq.mt.)	Final Shop Rera area (Sq.ft.)	Wing
1	Ground floor	1	50.72	545.95	A
2	Ground floor	2	41.05	441.86	A
3	Ground floor	3	47.18	507.85	A
4	Ground floor	4	57.45	618.39	A
5	Ground floor	5	65.61	706.23	A
6	Ground floor	6	72.19	777.05	A
<b>Total Area</b>			<b>334.2</b>	<b>3597.33</b>	



## EMBASSY ENTERPRISES

B/106, Sanjay Apartment,  
S.V.P Road, Borivali (West)  
Mumbai – 400 092.

7	1st floor	1	72.73	782.87	A
8	1st floor	2	48.88	526.14	A
9	1st floor	3	51.01	549.07	A
10	1st floor	4	60.19	647.89	A
11	1st floor	5	65.07	700.41	A
12	1st floor	6	96.5	1038.73	A
Total Area			394.38	4245.11	

### MARQUIS RESIDENCES PHASE –II (Wing –B)

Flat Type	Carpet area in Sq.Mts.	
1 BHK	39.98	18 Flats
1BHK	41.29	18 Flats
2BHK	57.27	19 Flats
2BHK	58.51	38 Flats
Total =		93 Flats

### (Wing –C)

Flat Type	Carpet area in Sq.Mts.	
1 BHK	39.98	18 Flats
1BHK	41.29	18 Flats
2BHK	57.27	19 Flats
2BHK	58.51	38 Flats
Total =		93 Flats

Thanking You,

For M/s. Embassy Enterprises,



(Partner/Authorised Signatory)

# MahaRERA Application

## General Information

Information Type Other Than Individual



## Organization

Name EMBASSY ENTERPRISES  
Organization Type Partnership Description For Other Type Organization NA  
Do you have any Past Experience ? No

## Address Details

Block Number B/106 Building Name SANJAY APRTMENT  
Street Name S V P ROAD Locality N S ROAD  
Land mark NEAR GOKUL HOTEL State/UT MAHARASHTRA  
Division Konkan District Mumbai Suburban  
Taluka Borvali Village Borvali  
Pin Code 400092

## Organization Contact Details

Office Number 09821219181

Website URL

## Past Experience Details

### Member Information

Member Name	Designation	Photo
SONIA RAMESH GURNANI	Partner	
RAMESH BHOJRAJ GURNANI	Partner	
CHETAN DALICHAND SHAH	Partner	
SANJAY DALICHAND SHAH	Partner	
GOYAM HOLDINGS LIMITED NA NA	Partner	

## Project

Project Name (Mention as per Sanctioned Plan) MARQUIS RESIDENCES PHASE 2 Project Status New Project  
Proposed Date of Completion 31/12/2028

Litigations related to the project ? No Project Type Residential

Are there any Promoter(Land Owner/ investor) (as defined by MahaRERA Order) in the project ? No

File/reference no. of planning authority

Sr No	Ward	Plot/CTS/Survey Number	File/Reference Number
-------	------	------------------------	-----------------------

P S Ward

1406/10

CH/7192/6PAWS/AP

Plot Bearing No / CTS no / Survey Number/Final Plot no.	1406/10	Boundaries East	60 WIDE EXISTING ROAD
Boundaries West	S NO 504 PT	Boundaries North	BY PLOT AB AND G OF THE SAID LAYOUT SCHEME
Boundaries South	BY PLOT NO I OF THE SAID LAYOUT SCHEME	State/UT	MAHARASHTRA
Division	Konkan	District	Mumbai Suburban
Taluka	Mumbai	Village	Greater Mumbai (M Corp.) (Part) (602794)
Street	OFF CHINCHOLI BUNDER ROAD	Locality	MALAD WEST
Pin Code	400064	Total Plot/Project area (sqmts)	3596

Total Number of Proposed Building/Wings (In the Layout/Plot)

2

Number of Sanctioned Building out of Above Proposed Count Applied for this Registration

2

Proposed But Not Sanctioned Buildings Count 0

Total Recreational Open Space as Per Sanctioned Plan

0

#### FSI Details

Sanctioned FSI of the project applied for registration (Sanctioned Built-up Area)	10765.28	Built-up-Area as per Proposed FSI (In sqmts) ( Proposed but not sanctioned) (As soon as approved, should be immediately updated in Approved FSI)	0
---	----------	--	---

Permissible Total FSI of Plot (Permissible Built-up Area)

10765.28

#### Bank Details

Bank Name CENTRAL BANK OF INDIA

IFSC Code CBIN0280618

#### Project Details

Name	Proposed	Booked	WorkDone(In %)
Number of Garages ( In Numbers)	0	0	0
Covered Parking ( In Numbers)	187	0	0

## Development Work

Common areas And Facilities, Amenities	Available	Percent	Details
Internal Roads & Footpaths	NO	0	NA
Water Conservation, Rain water Harvesting	YES	0	not yet started
Energy management	YES	0	not yet started
Fire Protection And Fire Safety Requirements	YES	0	not yet started
Electrical Meter Room, Sub-Station, Receiving Station	YES	0	not yet started
Aggregate area of recreational Open Space	NO	0	NA
Open Parking	NO	0	NA
Water Supply	YES	0	not yet started
Sewerage (Chamber, Lines, Septic Tank - STP)	YES	0	not yet started
Storm Water Drains	YES	0	not yet started
Landscaping & Tree Planting	YES	0	not yet started
Street Lighting	NO	0	NA
Community Buildings	NO	0	NA
Treatment And Disposal Of Sewage And Sullage Water	YES	0	not yet started
Solid Waste Management And Disposal	YES	0	not yet started

## Building Details

Sr.No.	Project Name	Name (Also mention identification of building/wing/other as per approved plan)	Proposed Date of Completion	Number of Basement's	Number of Plinth	Number of Podium's	Number of Sanctioned Floors	Number of Stills	Total no. of open Parking as per Sanctioned Plan (4-wheeler+2-Wheeler)	Number of Closed Parking
1	MARQUIS RESIDENCES PHASE 2	WING B	31/12/2028	1	1	3	19	1	0	94

Sr.No.	Apartment Type	Carpet Area (in Sqmts)	Number of Apartment	Number of Booked Apartment
1	1BHK	39.98	19	0
2	1BHK	41.29	19	0
3	2BHK	57.27	19	0
4	2BHK	58.51	36	0

Sr.No.	Tasks / Activity	Percentage of Work
1	Excavation	0
2	X number of Basement(s) and Plinth	0
3	X number of Podiums	0
4	Still Floor	0
5	X number of Slabs of Super Structure	0
6	Internal walls, Internal Plaster, Floorings within Flats/Premises, Doors and Windows to each of the Flat/Premises	0

7	Sanitary Fittings within the Flat/Premises Electrical Fittings within the Flat/Premises	0
8	Staircases, Lifts Wells and Lobbies at each Floor level connecting Staircases and Lifts, Overhead and Underground Water Tanks.	0
9	The external plumbing and external plaster, elevation, completion of terraces with waterproofing of the Building/Wing	0
10	Installation of lifts, water pumps, Fire Fighting Fittings and Equipment as per CFO NOC, Electrical fittings to Common Areas, electro, mechanical equipment, Compliance to conditions of environment /CRZ NOC, Finishing to entrance lobby/s, plinth protection, paving of areas appurtenant to Building/Wing, Compound Wall and all other requirements as may be required to Obtain Occupation /Completion Certificate	0

Sr.No.	Project Name	Name (Also mention identification of building/wing/other as per approved plan)	Proposed Date of Completion	Number of Basement's	Number of Plinth	Number of Podium's	Number of Sanctioned Floors	Number of Stilts	Total no. of open Parking as per Sanctioned Plan (4-wheeler+2-Wheeler)	Number of Closed Parking
2	MARQUIS RESIDENCES PHASE 2	WING C	31/12/2028	1	1	3	19	1	0	93

Sr.No.	Apartment Type	Carpet Area (in Sqmts)	Number of Apartment	Number of Booked Apartment
1	1BHK	39.98	19	0
2	1BHK	41.29	19	0
3	2BHK	58.51	36	0
4	2BHK	57.27	19	0

Sr.No.	Tasks / Activity	Percentage of Work
1	Excavation	0
2	X number of Basement(s) and Plinth	0
3	X number of Podiums	0
4	Stilt Floor	0
5	X number of Slabs of Super Structure	0
6	Internal walls, Internal Plaster, Floorings within Flats/Premises, Doors and Windows to each of the Flat/Premises	00
7	Sanitary Fittings within the Flat/Premises, Electrical Fittings within the Flat/Premises	0
8	Staircases, Lifts Wells and Lobbies at each Floor level connecting Staircases and Lifts, Overhead and Underground Water Tanks.	0
9	The external plumbing and external plaster, elevation, completion of terraces with waterproofing of the Building/Wing	0
10	Installation of lifts, water pumps, Fire Fighting Fittings and Equipment as per CFO NOC, Electrical fittings to Common Areas, electro, mechanical equipment, Compliance to conditions of environment /CRZ NOC, Finishing to entrance lobby/s, plinth protection, paving of areas appurtenant to Building/Wing, Compound Wall and all other requirements as may be required to Obtain Occupation /Completion Certificate	0



## Project Professional Information

Professional Name	MahaRERA Certificate No.	Professional Type
M/s Arhant Infra Projects	NA	Contractor
M/s DP ASSOCIATES Mr. Priyank Bhatu Mr. Devang Mody	NA	Architect
Mr. Jinesh Ashok Choksi	NA	Engineer
SHRADHA MEHTA AND ASSOCIATES	NA	Chartered Accountant

## Litigations Details

No Records Found

## Uploaded Documents

Document Name	Uploaded Document
1 Copy of the legal title report	
1 a Details of encumbrances concerned to Finance	
2 a Details of encumbrances concerned to Finance	
1 a Details of encumbrances concerned to Legal	
2 a Details of encumbrances concerned to Legal	
1 Copy of Layout Approval (in case of layout)	
1 Building Plan Approval / NA Order for plotted development	
2 Building Plan Approval / NA Order for plotted development	
3 Building Plan Approval / NA Order for plotted development	
4 Building Plan Approval / NA Order for plotted development	
5 Building Plan Approval / NA Order for plotted development	
6 Building Plan Approval / NA Order for plotted development	
1 Commencement Certificates / NA Order for plotted development	
1 Declaration about Commencement Certificate	
1 Declaration in FORM B	
1 Architect's Certificate of Percentage of Completion of Work (Form 1)	
1 Engineer's Certificate on Cost Incurred on Project (Form 2)	
1 Engineers Certificate on Quality Assurance (Form 2A FY 2019-20)	Not Uploaded
1 Engineers Certificate on Quality Assurance (Form 2A FY 2020-21)	Not Uploaded
1 Engineers Certificate on Quality Assurance (Form 2A FY 2021-22)	Not Uploaded
1 Disclosure of sold/ booked inventory	Not Uploaded
1 CERSAI details	
1 Disclosure of Interest in Other Real Estate Organizations	
1 Annual Audit Report of Statutory CA (Form 5) (FY 2017-18)	Not Uploaded
1 Annual Audit Report of Statutory CA (Form 5) (FY 2018-19)	Not Uploaded

Annual Audit Report of Statutory CA (Form 5) (FY 2018-20)	Not Uploaded
1 Annual Audit Report of Statutory CA (Form 5) (FY 2020-21)	Not Uploaded
1 Proforma of Agreement for sale	
2 Proforma of Agreement for sale	
5 Proforma of Agreement for sale	
1 Proforma of Allotment letter	
1 Occupancy Certificate/ Completion Certificate Architect's certificate of completion for plotted development	Not Uploaded
1 Status of Formation of Legal Entity (Society/Co Op etc )	Not Uploaded
1 Status of Conveyance	Not Uploaded
1 Other – Legal	Not Uploaded
1 Other – Finance	Not Uploaded
1 Other – Technical	Not Uploaded
1 Foreclosure of the Project	Not Uploaded
1 Annual Audit Report of Statutory CA (Form 5) (FY 2021-22)	Not Uploaded
1 Deviation Report with respect to Allotment letter	
1 Deviation Report with respect to model copy of Agreement	

# MahaRERA Application

## General Information

Information Type Other than Individual



## Organization

Name EMBASSY ENTERPRISES  
Organization Type Partnership Description For Other Type Organization NA  
Do you have any Past Experience? No

## Address Details

Block Number B:106 Building Name SANJAY APARTMENT  
Street Name S.V.P. ROAD Locality BORIVALI (WEST)  
Land mark NEAR GOKUL HOTEL State/UT MAHARASHTRA  
Division Konkan District Mumbai Suburban  
Taluka Borivali Village Borivali  
Pin Code 400092

## Organization Contact Details

Office Number 09821219181

Website URL

## Past Experience Details

## Member Information

Member Name	Designation	Photo
✓ CHETAN DALICHAND SHAH	Partner	
✓ RAMESH BHOJRAJ GURNANI	Partner	
✓ SONIA RAMESH GURNANI	Partner	
✓ SANJAY DALICHAND SHAH	Partner	
○ GOYAM HOLDINGS LIMITED NA NA	Partner	

## Project

Project Name (Mention as per Sanctioned Plan) MARQUIS RESIDENCES PHASE 1 Project Status New Project  
Proposed Date of Completion 31/12/2027

Litigations related to the project ? No

Project Type

Comments

Are there any Promoter(Land Owner/ Investor) (as defined by MahaRERA Order) in the project ? No

File/reference no. of planning authority

Sr No	Ward	Plot/CTS/Survey Number	File/Reference Number
1	P.S Ward	1406/10	CE/7192/BP/WS/AP

Plot Bearing No / CTS no / Survey Number/Final Plot no.

1406/10

Boundaries East

60 WIDE EXISTING ROAD

Boundaries West

S N NO 504 PT

Boundaries North

BY PLOT AB AND G OF THE SAID LAYOUT SCHEME

Boundaries South

BY PLOT NO I OF THE SAID LAYOUT SCHEME

State/UT

MAHARASHTRA

Division

Konkan

District

Mumbai Suburban

Taluka

Mumbai

Village

Greater Mumbai (M Corp.) (Part) (802794)

Street

OFF CHINCHOLI BUNDER ROAD

Locality

MALAD WEST

Pin Code

400064

Total Plot/Project area (sqmts)

3596

Total Number of Proposed Building/Wings (In the Layout/Plot)

1

Number of Sanctioned Building out of Above Proposed Count Applied for this Registration

1

Proposed But Not Sanctioned Buildings Count

0

Total Recreational Open Space as Per Sanctioned Plan

0

### FSI Details

Sanctioned FSI of the project applied for registration (Sanctioned Built-up Area)

783.51

Built-up-Area as per Proposed FSI (In sqmts) ( Proposed but not sanctioned) (As soon as approved, should be immediately updated in Approved FSI)

0

Permissible Total FSI of Plot (Permissible Built-up Area)

783.51

### Bank Details

Bank Name

CENTRAL BANK OF INDIA

IFSC Code

CBIN0280618

### Project Details

Name	Proposed	Booked	WorkDone(In %)
Number of Garages ( In Numbers)	0	0	0
Covered Parking ( In Numbers)	22	0	0

## Development Work

Common areas And Facilities, Amenities	Available	Percent	Details
Internal Roads & Footpaths	NO	0	NA
Water Conservation, Rain water Harvesting	YES	0	not yet started
Energy management	NO	0	NA
Fire Protection And Fire Safety Requirements	YES	0	not yet started
Electrical Meter Room, Sub-Station, Receiving Station	YES	0	not yet started
Aggregate area of recreational Open Space	NO	0	NA
Open Parking	NO	0	NA
Water Supply	YES	0	not yet started
Sewerage (Chamber, Lines, Septic Tank STP)	YES	0	not yet started
Storm Water Drains	YES	0	not yet started
Landscaping & Tree Planting	YES	0	not yet started
Street Lighting	NO	0	NA
Community Buildings	NO	0	NA
Treatment And Disposal Of Sewage And Sullage Water	YES	0	not yet started
Solid Waste Management And Disposal	YES	0	not yet started

## Building Details

Sr.No.	Project Name	Name (Also mention identification of building/wing/other as per approved plan)	Proposed Date of Completion	Number of Basement's	Number of Plinth	Number of Podium's	Number of Sanctioned Floors	Number of Stilts	Total no. of open Parking as per Sanctioned Plan (4-wheeler+2-Wheeler)	Number of Closed Parking
1	MARQUIS RESIDENCES PHASE 1	WING A	31/12/2027	0	1	0	2	0	0	22

Sr.No.	Apartment Type	Carpet Area (in Sqmts)	Number of Apartment	Number of Booked Apartment
1	Shop	41.05	1	0
2	Shop	47.18	1	0
3	Shop	57.45	1	0
4	Shop	65.61	1	0
5	Shop	72.19	1	0
6	Shop	72.73	1	0
7	Shop	48.88	1	0
8	Shop	51.01	1	0
9	Shop	60.19	1	0
10	Shop	65.07	1	0
11	Shop	96.50	1	0
12	Shop	50.72	1	0

Sr.No.	Tasks / Activity	Percentage of Work
1	Excavation	0
2	X number of Basement(s) and Plinth	0
3	X number of Podiums	0
4	Still Floor	0
5	X number of Slabs of Super Structure	0
6	Internal walls, Internal Plaster, Floorings within Flats/Premises, Doors and Windows to each of the Flat/Premises	0
7	Sanitary Fittings within the Flat/Premises, Electrical Fittings within the Flat/Premises	0
8	Staircases, Lifts, Wells and Lobbies at each Floor level connecting Staircases and Lifts, Overhead and Underground Water Tanks	0
9	The external plumbing and external plaster, elevation, completion of terraces with waterproofing of the Building/Wing	0
10	Installation of lifts, water pumps, Fire Fighting Fittings and Equipment as per CFO NOC, Electrical fittings to Common Areas, electro, mechanical equipment, Compliance to conditions of environment /CRZ NOC, Finishing to entrance lobby's, plinth protection, paving of areas appurtenant to Building/Wing, Compound Wall and all other requirements as may be required to Obtain Occupation /Completion Certificate	0

### Project Professional Information

Professional Name	MahaRERA Certificate No.	Professional Type
M/s. Aриhant Infra Projects	NA	Contractor
M/s. DP ASSOCIATES Mr. Priyank Bhatt/ Mr. Devang Mody	NA	Architect
Mr. Jinesh Ashok Choksi	NA	Engineer
SHRADHA MEHTA AND ASSOCIATES	NA	Chartered Accountant

### Litigations Details

No Records Found

### Uploaded Documents

Document Name	Uploaded Document
1 Copy of the legal title report	<a href="#">View</a> <a href="#">Download</a>
1 a Details of encumbrances concerned to Finance	<a href="#">View</a> <a href="#">Download</a>
2 a Details of encumbrances concerned to Finance	<a href="#">View</a> <a href="#">Download</a>
1 b Details of encumbrances concerned to Legal	<a href="#">View</a> <a href="#">Download</a>
2 b Details of encumbrances concerned to Legal	<a href="#">View</a> <a href="#">Download</a>
1 Copy of Layout Approval (in case of layout)	<a href="#">View</a> <a href="#">Download</a>
1 Building Plan Approval / NA Order for plotted development	<a href="#">View</a> <a href="#">Download</a>
2 Building Plan Approval / NA Order for plotted development	<a href="#">View</a> <a href="#">Download</a>
1 Commencement Certificates / NA Order for plotted development	<a href="#">View</a> <a href="#">Download</a>

1 Declaration about Commencement Certificate	
1 Declaration in FORM B	
1 Architect's Certificate of Percentage of Completion of Work (Form 1)	
1 Engineer's Certificate on Cost Incurred on Project (Form 2)	
1 Engineers Certificate on Quality Assurance (Form 2A FY 2019-20)	Not Uploaded
1 Engineers Certificate on Quality Assurance (Form 2A FY 2020-21)	Not Uploaded
1 Engineers Certificate on Quality Assurance (Form 2A FY 2021-22)	Not Uploaded
1 Disclosure of sold/ booked inventory	Not Uploaded
1 CERSAI details	
1 Disclosure of Interest in Other Real Estate Organizations	
1 Annual Audit Report of Statutory CA (Form 5) (FY 2017-18)	Not Uploaded
1 Annual Audit Report of Statutory CA (Form 5) (FY 2018-19)	Not Uploaded
1 Annual Audit Report of Statutory CA (Form 5) (FY 2019-20)	Not Uploaded
1 Annual Audit Report of Statutory CA (Form 5) (FY 2020-21)	Not Uploaded
1 Proforma of Agreement for sale	
2 Proforma of Agreement for sale	
3 Proforma of Agreement for sale	
1 Proforma of Allotment letter	
1 Occupancy Certificate/ Completion Certificate/ Architect's certificate of completion for plotted development	Not Uploaded
1 Status of Formation of Legal Entity (Society/Co Op etc.)	Not Uploaded
1 Status of Conveyance	Not Uploaded
1 Other – Legal	Not Uploaded
1 Other – Finance	Not Uploaded
1 Other – Technical	Not Uploaded
1 Foreclosure of the Project	Not Uploaded
1 Annual Audit Report of Statutory CA (Form 5) (FY 2021-22)	Not Uploaded
1 Deviation Report with respect to Allotment letter	
1 Deviation Report with respect to model copy of Agreement	
2 Deviation Report with respect to model copy of Agreement	
3 Deviation Report with respect to model copy of Agreement	

वर्ग लेखा संख्या / PERMANENT ACCOUNT NUMBER

AAAFE1318F



नाम / NAME

EMBASSY ENTERPRISES

स्थापना/संस्थापना की तिथि / DATE OF INCORPORATION/FORMATION

16-07-1994

*R. Singh*

सहायक निदेशक (प्रणाली)

DIRECTOR OF INCOME TAX (SYSTEMS)

Note:- This Photo Copy Is Submitted to  
~~Bank of Baroda~~ For  
~~BANK (APE)~~ Dated ~~04/09/2023~~





## Maharashtra Real Estate Regulatory Authority

### REGISTRATION CERTIFICATE OF PROJECT

FORM 'C'

[See rule 6(a)]

This registration is granted under section 5 of the Act to the following project under project registration number :  
**P51800050800**

**Project: MARQUIS RESIDENCES PHASE 1, Plot Bearing / CTS / Survey / Final Plot No.: 1406/10 at Greater Mumbai (M Corp.) (Part) (802794), Mumbai, Mumbai Suburban, 400064;**

1. **Embassy Enterprises** having its registered office / principal place of business at **Tehsil: Borivali, District: Mumbai Suburban, Pin: 400092.**

2. This registration is granted subject to the following conditions, namely:-

- The promoter shall enter into an agreement for sale with the allottees;
- The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
- The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub- clause (D) of clause (I) of sub-section (2) of section 4 read with Rule 5;

OR

That entire of the amounts to be realised hereinafter by promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated receivable of the project is less than the estimated cost of completion of the project.

- The Registration shall be valid for a period commencing from **03/05/2023** and ending with **31/12/2027** unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 5 of the Act read with rule 6.
  - The promoter shall comply with the provisions of the Act and the rules and regulations made there under;
  - That the promoter shall take all the pending approvals from the competent authorities
3. If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.



Dated: **03/05/2023**

Place: **Mumbai**

Signature valid  
Digitally Signed by  
Mr. Anun. Appasaheb Nadagoudar  
(Secretary Incharge, MahaRERA)  
Date:03-05-2023 18:49:11

Signature and seal of the Authorized Officer  
Maharashtra Real Estate Regulatory Authority



Resi

## Maharashtra Real Estate Regulatory Authority

### REGISTRATION CERTIFICATE OF PROJECT

FORM 'C'

[See rule 6(a)]

This registration is granted under section 5 of the Act to the following project under project registration number :  
**P51800051092**

**Project: MARQUIS RESIDENCES PHASE 2, Plot Bearing / CTS / Survey / Final Plot No.: 1406/10 at Greater Mumbai (M Corp.) (Part) (802794), Mumbai, Mumbai Suburban, 400064;**

- Embassy Enterprises** having its registered office / principal place of business at **Tehsil: Borivali, District: Mumbai Suburban, Pin: 400092.**
- This registration is granted subject to the following conditions, namely:-
  - The promoter shall enter into an agreement for sale with the allottees;
  - The promoter shall execute and register a conveyance deed in favour of the allottee or the association of the allottees, as the case may be, of the apartment or the common areas as per Rule 9 of Maharashtra Real Estate (Regulation and Development) (Registration of Real Estate Projects, Registration of Real Estate Agents, Rates of Interest and Disclosures on Website) Rules, 2017;
  - The promoter shall deposit seventy percent of the amounts realised by the promoter in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost to be used only for that purpose as per sub- clause (D) of clause (f) of sub-section (2) of section 4 read with Rule 5;  
OR  
That entire of the amounts to be realised hereinafter by promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose, since the estimated receivable of the project is less than the estimated cost of completion of the project.
  - The Registration shall be valid for a period commencing from **29/05/2023** and ending with **31/12/2028** unless renewed by the Maharashtra Real Estate Regulatory Authority in accordance with section 5 of the Act read with rule 6.
  - The promoter shall comply with the provisions of the Act and the rules and regulations made there under;
  - That the promoter shall take all the pending approvals from the competent authorities
- If the above mentioned conditions are not fulfilled by the promoter, the Authority may take necessary action against the promoter including revoking the registration granted herein, as per the Act and the rules and regulations made there under.



Dated: 29/05/2023  
Place: Mumbai

Signature valid  
Digitally Signed by  
Dr. Vasant Premanand Prabhu  
(Secretary, MahaRERA)  
Date: 29-05-2023 14:14:04

Signature and seal of the Authorized Officer  
Maharashtra Real Estate Regulatory Authority



CONSUMER CIR

CONSUMER: CHETAN DALICHAND SHAH  
MEMBER ID: BS00115012\_MUMB17897  
MEMBER REFERENCE NUMBER

DATE: 09-01-2024  
TIME: 15:20:22  
CONTRACT NUMBER: 7,00,74,71,152

CONSUMER INFORMATION

CHETAN DALICHAND SHAH ESCROW A C  
14-02-1975

MALE

CIBIL TRANSUNION SCORE(S)

SCORE	SCORING FACT
CREDITVISION® SCORE <b>722</b>	<ol style="list-style-type: none"> <li>1. PRESENCE OF DELINQUENCY AS OF RECENT UPDATE</li> <li>2. PRESENCE OF DELINQUENCY</li> <li>3. HIGH PROPORTION OF OUTSTANDING TRADES</li> <li>4. PRESENCE OF SEVERE DELINQUENCY</li> <li>5. HIGH BALANCE BUILD-UP ON NON-MORTGAGE LOANS</li> </ol>

PERSONAL LOAN SCORE <b>839</b>	<ol style="list-style-type: none"> <li>1. LOW PROPORTION OF SATISFACTORY TRADES.</li> </ol>
-----------------------------------	---

POSSIBLE RANGE FOR CREDITVISION® SCORE

Consumer with at least one trade on the bureau in last 36 months  
Consumer not in CIBIL database or history older than 36 months

1000

\* At least one tradeline with information updated in last 36 months is required.

POSSIBLE RANGE FOR PERSONAL LOAN SCORE

Consumers with more than 1 month credit history\*  
Consumers not in CIBIL database or with insufficient information for scoring\*

900-1000

1

\* At least one tradeline with information updated in last 24 months is required. In case of error in scoring a value of .0 is returned.

IDENTIFICATION(S)

IDENTIFICATION TYPE	IDENTIFICATION NUMBER	ISSUE DATE	EXPIRATION DATE
INCOME TAX ID NUMBER (PAN)	AAPPS1052D		
PASSPORT NUMBER	Z5700578		25-09-2029
DRIVER'S LICENSE NUMBER	10045014774706		
RATION CARD NUMBER	10045014774706		



CONSUMER CIR

CONSUMER: CHETAN DALICHAND SHAH  
MEMBER ID: BS00115012\_MUMB17897  
MEMBER REFERENCE NUMBER

DATE: 09-01-2024  
TIME: 15:20:22  
CONTROL NUMBER: 7,00,74,71,152

UNIVERSAL ID NUMBER (UID) XXXXXXXXXXXX

TELEPHONE(S)

	IN NUMBER	TELEPHONE EXTENSION
OFFICE PHONE	66960999	
MOBILE PHONE <sup>(e)</sup>	9867669398	
MOBILE PHONE	9321068664	
MOBILE PHONE	9769904324	

EMAIL CONTACT(S)

EMAIL ADDRESS

CHETAN@KDIGROUP.COM  
CHAITANYA.KORGAONKAR@ICICIBANK.COM  
ACOUNTS@KDIGROUP.IN  
BANK@KDIGROUP.IN

ADDRESS(ES)

ADDRESS 1: BORIVALI MAHARASHTRA 400103

CATEGORY	RESIDENCE ADDRESS	RESIDENCE CODE	DATE REPORTED
	501, LANDMARK BUILDING, FRIENDS CHS LTD N S ROAD 5, JVPD SCHEME, VILE PARLE WEST VILEPARLE WEST MUMBAI MAHARASHTRA 400056		24-11-2017

CATEGORY	RESIDENCE ADDRESS	RESIDENCE CODE	DATE REPORTED
	SIDHARTH ENTERPRISES B-106, SANJAY APARTMENT, S V ROAD BORIVALI W NEAR GOKUL HOTEL MAHARASHTRA 400092		31-08-2016

CATEGORY	PERMANENT ADDRESS	RESIDENCE CODE	DATE REPORTED
	MUMBAI MAHARASHTRA 400001 MAHARASHTRA 400001		31-08-2015

CATEGORY	NOT CATEGORIZED	RESIDENCE CODE	DATE REPORTED
			27-01-2015

CONSUMER CIR

CONSUMER: CHETAN DALICHAND SHAH  
 MEMBER ID: BS00115012, MUMB:17897  
 MEMBER REFERENCE NUMBER:

DATE: 09-01-2024  
 TIME: 15:20:22  
 CONTROL NUMBER: 7007471152

EMPLOYMENT INFORMATION:

EMPLOYER: [REDACTED]  
 ADDRESS: [REDACTED]

CREDIT CARD: 31-12-2023 SELF EMPLOYED Not Available Not Available Not Available

STATEMENT  
 DOCUMENTS  
 ACCOUNTS

All Accounts: 34 23,61,29,575 3,77,89,171 26-12-2023  
 1 100 01-07-2001  
 27

ENQUIRIES

REASON FOR PURCHASE ALL PAGE(S) PAGE(S) REPORTED

All Enquiries: 16 1 4 3 11-12-2023

ACCOUNT(S)

ACCOUNT

ACCOUNT NAME: NOT DISCLOSED DATE: 12-02-2015 BALANCE: 2,76,950  
 ACCOUNT NUMBER: NOT DISCLOSED DATE: 09-09-2023 BALANCE: 1,124  
 DISCLOSED REPORTED AND CLASSIFIED DATE: 08-12-2023 BALANCE: 100  
 CREDIT CARD DATE: 01-12-2023 BALANCE: 7,67,000  
 INDIVIDUAL DATE: 01-01-2021 MONTHLY

PAST DUE ASSET CLASSIFICATION (UP TO 36 MONTHS LEFT TO RIGHT)

012	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000
12-23	11-23	10-23	09-23	08-23	07-23	06-23	05-23	04-23	03-23	02-23	01-23	12-22	11-22	10-22	09-22	08-22	07-22	
000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000
06-22	05-22	04-22	03-22	02-22	01-22	12-21	11-21	10-21	09-21	08-21	07-21	06-21	05-21	04-21	03-21	02-21	01-21	

ACCOUNT

ACCOUNT NAME: NOT DISCLOSED DATE: 26-12-2023 BALANCE: 75,00,000  
 ACCOUNT NUMBER: NOT DISCLOSED DATE: 26-12-2023 BALANCE: 75,00,000  
 DISCLOSED DATE: 26-12-2023 BALANCE: 2,45,540  
 AUTO LOAN DATE: 01-12-2023 BALANCE: MONTHLY  
 INDIVIDUAL DATE: 01-12-2023 BALANCE: 36

CONSUMER CIR

CONSUMER: CHETAN DALICHAND SHAH  
 MEMBER ID: BS00115012\_MUMB17897  
 MEMBER REFERENCE NUMBER:

DATE: 09-01-2024  
 TIME: 15:20:22  
 CONTROL NUMBER: 7,00,74.71.152

000  
 12-23

NOT DISCLOSED	30-10-2023	11,800
NOT	23-11-2023	0
DISCLOSED		7,50,000
CREDIT CARD	30-11-2023	2,25,000
INDIVIDUAL	START: 01-11-2023 END: 01-10-2023	

ASSET CLASSIFICATION (UP TO 36 MONTHS, LEFT TO RIGHT)

000  
 11-23

000  
 10-23

NOT DISCLOSED	23-11-2022	AMOUNT:
NOT	28-12-2022	DISCLOSED: 1
DISCLOSED		Subscribed: 0
OTHER	31-12-2022	
GUARANTOR	01-12-2022 01-11-2022	

ASSET CLASSIFICATION (UP TO 36 MONTHS, LEFT TO RIGHT)

STD  
 12-22

STD  
 11-22

ACCOUNT	DATES	AMOUNTS	STATUS
MEMBER NAME: NOT DISCLOSED	OPENED: 15-03-2022	DISCLOSED: 75,00,000	
ACCOUNT NUMBER: NOT DISCLOSED	CLOSED: 28-12-2022	CURRENT BALANCE: 0	
DISCLOSED	NECATED AND CERTIFIED:		
TYPE: OTHER	31-12-2022		
OWNER: INDIVIDUAL	PMT HIST START: 01-12-2022 PMT HIST END: 01-03-2022		

DAYS PAST DUE ASSET CLASSIFICATION (UP TO 36 MONTHS, LEFT TO RIGHT)

STD	STD	STD	STD	STD	STD	STD	STD	STD	STD
12-22	11-22	10-22	09-22	08-22	07-22	06-22	05-22	04-22	03-22

ACCOUNT	DATES	AMOUNTS	STATUS
MEMBER NAME: NOT DISCLOSED	OPENED: 15-03-2022	SANCTIONED: 75,00,000	
	CLOSED: 28-12-2022	CURRENT BALANCE: 0	



CONSUMER CIR

CONSUMER CHETAN DALICHAND SHAH  
 MEMBER ID BS00115012\_MUMB17897  
 MEMBER REFERENCE NUMBER

DATE 09-01-2024  
 TIME 15:20:22  
 CONTROL NUMBER 7007471152

01-04-2019

STD	XXX	XXX	XXX	XXX	XXX	STD	XXX	XXX	XXX	XXX	XXX	XXX	STD	STD	STD	STD	STD
03-21	02-21	01-21	12-20	11-20	10-20	09-20	08-20	07-20	06-20	05-20	04-20	03-20	02-20	01-20	12-19	11-19	10-19
STD	STD	STD	STD	STD	STD												
09-19	08-19	07-19	06-19	05-19	04-19												

NOT DISCLOSED  
 NOT  
 DISCLOSED  
 AUTO LOAN  
 JOINT

22-12-2017  
 10-11-2020  
 16-11-2020  
 30-11-2020  
 01-11-2020  
 01-03-2018

AMOUNTS  
 STATUS  
 45,00,000  
 0

000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000
11-20	10-20	09-20	08-20	07-20	06-20	05-20	04-20	03-20	02-20	01-20	12-19	11-19	10-19	09-19	08-19	07-19	06-19
000	000	000	000	000	000	XXX	XXX	XXX	000	000	000	000	XXX	000			
09-19	08-19	07-19	06-19	05-19	04-19	03-19	02-19	01-19	12-18	11-18	10-18	09-18	08-18	07-18	06-18	05-18	04-18

NOT DISCLOSED  
 NOT  
 DISCLOSED  
 PROPERTY LOAN  
 GUARANTOR  
 PROPERTY

14-06-2017  
 10-03-2021  
 10-03-2021  
 31-03-2021  
 01-03-2021  
 01-04-2018

AMOUNTS  
 STATUS  
 CURRENT BALANCE 0  
 INTEREST RATE 14.55

DAYS PAST DUE ASSET CLASSIFICATION (UP TO 90 DAYS LEFT TO RIGHT)

STD	XXX	XXX	XXX	XXX	XXX	STD	XXX	STD	STD	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX
03-21	02-21	01-21	12-20	11-20	10-20	09-20	08-20	07-20	06-20	05-20	04-20	03-20	02-20	01-20	12-19	11-19	10-19
XXX	XXX	XXX	STD	STD	XXX	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD
09-19	08-19	07-19	06-19	05-19	04-19	03-19	02-19	01-19	12-18	11-18	10-18	09-18	08-18	07-18	06-18	05-18	04-18

NOT DISCLOSED  
 NOT  
 DISCLOSED  
 CREDIT CARD

23-10-2016  
 30-10-2023  
 30-11-2023

AMOUNTS  
 STATUS  
 PROPOSED CREDIT 2,22,176  
 CURRENT BALANCE 0  
 CREDIT LIMIT 9,10,000  
 CASH LIMIT 1,82,000



CONSUMER CIR

CONSUMER: CHETAN DALICHAND SHAH  
 MEMBER ID: BS00115012\_MUMB17897  
 MEMBER REFERENCE NUMBER:

DATE: 09-01-2024  
 TIME: 15:20:22  
 CONTROL NUMBER: 100747152

INDIVIDUAL					01-11-2023					MONTHLY							
					01-12-2020					5,407							
000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000
11-21	10-23	09-23	08-23	07-23	06-23	05-23	04-23	03-23	02-23	01-23	12-22	11-22	10-22	09-22	08-22	07-22	06-22
000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000
05-22	04-22	03-22	02-22	01-22	12-21	11-21	10-21	09-21	08-21	07-21	06-21	05-21	04-21	03-21	02-21	01-21	12-20

STATUS	DATE	AMOUNT
NOT DISCLOSED	06-04-2015	5,00,00,000
NOT DISCLOSED	16-03-2018	0
DISCLOSED	16-03-2018	10,36,834
CONSUMER LOAN	31-03-2018	60
GUARANTOR	01-03-2018	13,00
PROPERTY	01-03-2017	

STATUS	DATE	AMOUNT
NOT DISCLOSED	23-02-2015	20,54,000
NOT DISCLOSED	05-04-2018	0
DISCLOSED	05-04-2018	
AUTO LOAN	30-04-2018	
JOINT	01-04-2018	
	01-05-2015	

LAST PAST DUE ASSETS (ASSUMPTION UP TO 36 MONTHS LEFT TO RIGHT)

000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000
04-18	03-18	02-18	01-18	12-17	11-17	10-17	09-17	08-17	07-17	06-17	05-17	04-17	03-17	02-17	01-17	12-16	11-16
000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000
10-16	09-16	08-16	07-16	06-16	05-16	04-16	03-16	02-16	01-16	12-15	11-15	10-15	09-15	08-15	07-15	06-15	05-15

ACCOUNT	DATE	AMOUNT	STATUS
NOT DISCLOSED	13-05-2013	0	
NOT DISCLOSED	31-03-2023	1,48,190	
DISCLOSED	31-03-2023		
KISAN CREDIT CARD	01-03-2023		
INDIVIDUAL			

CONSUMER CIR

CONSUMER: CHETAN DALICHAND SHAH  
 MEMBER ID: BS00115012\_MUMB17897  
 MEMBER REFERENCE NUMBER

DATE: 09-01-2024  
 TIME: 15:20:22  
 CONTROL NUMBER: 7,00,74,71,152

01-02-2022

000 000 000 000 000 000 000 000 000 XXX 000 000 000 000  
 03-23 02-23 01-23 12-22 11-22 10-22 09-22 08-22 07-22 06-22 05-22 04-22 03-22 02-22

NOT DISCLOSED 21-01-2011 25,00,000  
 NOT 10-07-2015 0  
 DISCLOSED 10-07-2015  
 OTHER 31-07-2015  
 INDIVIDUAL 01-07-2015  
 01-06-2013

STD STD STD STD STD STD STD STD STD STD STD STD STD STD STD STD STD STD  
 07-15 06-15 05-15 04-15 03-15 02-15 01-15 12-14 11-14 10-14 09-14 08-14 07-14 06-14 05-14 04-14 03-14 02-14  
 STD STD STD STD STD STD STD  
 01-14 12-13 11-13 10-13 09-13 08-13 07-13 06-13

AMOUNTS STATUS

NOT DISCLOSED 13-02-2010 70,00,000  
 NOT 10-03-2021 0  
 DISCLOSED 10-03-2021 13.55  
 PROPERTY LOAN  
 GUARANTOR 31-03-2021  
 28200000 01-03-2021  
 PROPERTY 01-04-2018

STD STD STD STD STD STD STD STD STD STD XXX XXX XXX XXX XXX STD STD STD  
 03-21 02-21 01-21 12-20 11-20 10-20 09-20 08-20 07-20 06-20 05-20 04-20 03-20 02-20 01-20 12-19 11-19 10-19  
 STD STD STD STD STD XXX STD STD STD STD STD STD STD STD STD STD STD STD STD  
 09-19 08-19 07-19 06-19 05-19 04-19 03-19 02-19 01-19 12-18 11-18 10-18 09-18 08-18 07-18 06-18 05-18 04-18

AMOUNTS STATUS

NOT DISCLOSED 13-02-2010 70,00,000  
 NOT 13-11-2018 0  
 DISCLOSED 13-11-2018 13.40  
 PROPERTY LOAN  
 GUARANTOR 30-11-2018  
 28200000 01-11-2018

CONSUMER CIR

CONSUMER: CHETAN DALICHAND SHAH  
 MEMBER ID: BS00115012\_MUMB17897  
 CREDIT REFERENCE NUMBER:

DATE: 09-01-2024  
 TIME: 15:20:22  
 CONTROL NUMBER: 000747112

PROPERTY 01-12-2015

STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD
11-18	10-18	09-18	08-18	07-18	06-18	05-18	04-18	03-18	02-18	01-18	12-17	11-17	10-17	09-17	08-17	07-17	06-17	
STD	STD	STD	STD	XXX	XXX	STD	STD	STD	STD	STD	STD	STD	STD	STD	XXX	XXX	STD	STD
05-17	04-17	03-17	02-17	01-17	12-16	11-16	10-16	09-16	08-16	07-16	06-16	05-16	04-16	03-16	02-16	01-16	12-15	

NOT DISCLOSED	13-02-2010	70,00,000
NOT DISCLOSED	10-03-2021	0
DISCLOSED	10-03-2021	13.55
PROPERTY LOAN		62.925
INDIVIDUAL	31-03-2021	
28200000	01-03-2021	
PROPERTY	01-04-2018	

PROPERTY ASSET CLASSIFICATION (UP TO 18 MONTHS LEFT IN RIGHT)

STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	XXX	XXX	XXX	XXX	XXX	STD	STD	STD
03-21	02-21	01-21	12-20	11-20	10-20	09-20	08-20	07-20	06-20	05-20	04-20	03-20	02-20	01-20	12-19	11-19	10-19	
STD	STD	STD	STD	STD	XXX	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD
08-19	08-19	07-19	06-19	05-19	04-19	03-19	02-19	01-19	12-18	11-18	10-18	09-18	08-18	07-18	06-18	05-18	04-18	

NOT DISCLOSED	25-01-2010	65,00,000
NOT DISCLOSED	06-01-2015	0
DISCLOSED	06-01-2015	1,50,927
BUSINESS LOAN - GENERAL		60
GUARANTOR	31-03-2015	
8700000	01-01-2015	
PROPERTY	01-02-2012	

PROPERTY ASSET CLASSIFICATION (UP TO 18 MONTHS LEFT IN RIGHT)

STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX
01-15	12-14	11-14	10-14	09-14	08-14	07-14	06-14	05-14	04-14	03-14	02-14	01-14	12-13	11-13	10-13	09-13	08-13	
XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	STD	STD	XXX	XXX	XXX	XXX	XXX	XXX	STD
07-13	06-13	05-13	04-13	03-13	02-13	01-13	12-12	11-12	10-12	09-12	08-12	07-12	06-12	05-12	04-12	03-12	02-12	

REPAIRS/REPAIRS REPORT  
 UPDATE PERMITS  
 UPDATE PERMITS

ACCOUNT	DATE	AMOUNT	STATUS
---------	------	--------	--------

CONSUMER CIR

CONSUMER: CHELAN DALICHAND SHAH  
 MEMBER ID: BS00115012\_MUMB17897  
 MEMBER REFERENCE NUMBER

DATE: 09-01-2024  
 TIME: 15:20:22  
 CONTROL NUMBER: 7,00,74,71 157

NOT DISCLOSED 25-01-2010 65,00,000  
 NOT 06-01-2015 0  
 DISCLOSED 06-01-2015 1,50,927  
 BUSINESS LOAN - GENERAL 60  
 GUARANTOR 31-01-2015  
 8700000 01-01-2015  
 PROPERTY 01-02-2012

ASSET CLASSIFICATION

STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX
01-15	12-14	11-14	10-14	09-14	08-14	07-14	06-14	05-14	04-14	03-14	02-14	01-14	12-13	11-13	10-13	09-13	08-13	
XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	STD	STD	XXX	XXX	XXX	XXX	XXX	STD	
07-13	06-13	05-13	04-13	03-13	02-13	01-13	12-12	11-12	10-12	09-12	08-12	07-12	06-12	05-12	04-12	03-12	02-12	

NOT DISCLOSED 25-01-2010 65,00,000  
 NOT 06-01-2015 0  
 DISCLOSED 06-01-2015 1,50,927  
 BUSINESS LOAN - GENERAL 60  
 INDIVIDUAL 31-01-2015  
 8700000 01-01-2015  
 PROPERTY 01-02-2012

STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	STD	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX
01-15	12-14	11-14	10-14	09-14	08-14	07-14	06-14	05-14	04-14	03-14	02-14	01-14	12-13	11-13	10-13	09-13	08-13	
XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	STD	STD	XXX	XXX	XXX	XXX	XXX	STD	
07-13	06-13	05-13	04-13	03-13	02-13	01-13	12-12	11-12	10-12	09-12	08-12	07-12	06-12	05-12	04-12	03-12	02-12	

DATES AMOUNTS STATUS

NOT DISCLOSED 02-01-2010 16,20,000  
 NOT 10-12-2012 0  
 DISCLOSED 10-12-2012  
 AUTO LOAN  
 JOINT 31-12-2012  
 01-12-2012  
 01-01-2010

ASSET CLASSIFICATION (UP TO 6 MONTHS, LEFT TO RIGHT)

000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000
12-12	11-12	10-12	09-12	08-12	07-12	06-12	05-12	04-12	03-12	02-12	01-12	12-11	11-11	10-11	09-11	08-11	07-11	
000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	
06-11	05-11	04-11	03-11	02-11	01-11	12-10	11-10	10-10	09-10	08-10	07-10	06-10	05-10	04-10	03-10	02-10	01-10	

CONSUMER CIR

CONSUMER: CHETAN DALICHAND SHAH  
 MEMBER ID: BSC0115012\_MUMB17897  
 CIBIL REFERENCE NUMBER:

DATE: 09-01-2024  
 TIME: 15:20:22  
 CONTROL NUMBER: 200211112

NOT DISCLOSED 17-07-2008 -4.405  
 NOT 11-08-2023  
 DISCLOSED  
 BUSINESS LOAN - SECURED 30-11-2023  
 GUARANTOR 01-11-2023  
 NO COLLATERAL 01-12-2020

ASSIGNMENT UP TO 10 MONTHS

000	000	000	000	STD	STD	XXX	STD	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX
11-23	10-23	09-23	08-23	07-23	06-23	05-23	04-23	03-23	02-23	01-23	12-22	11-22	10-22	09-22	08-22	07-22	06-22	
XXX	XXX	XXX	XXX	XXX	XXX	XXX	STD	XXX	XXX	STD	XXX	XXX	XXX	STD	XXX	XXX	XXX	
05-22	04-22	03-22	02-22	01-22	12-21	11-21	10-21	09-21	08-21	07-21	06-21	05-21	04-21	03-21	02-21	01-21	12-20	

NOT DISCLOSED 30-03-2008 2,08,412  
 NOT 18-04-2019 0  
 DISCLOSED 14-05-2019 2,07,000  
 CREDIT CARD 20,700  
 INDIVIDUAL 08-07-2019 MONTHLY  
 01-07-2019  
 01-05-2018

PARTIAL ASSET CLASSIFICATION UP TO 10 MONTHS

000	XXX	000	000	000	XXX	000	000	000	000	000	000	000	000	000	000
07-19	06-19	05-19	04-19	03-19	02-19	01-19	12-18	11-18	10-18	09-18	08-18	07-18	06-18	05-18	

PART

NOT DISCLOSED 30-03-2008 2,08,905  
 NOT 17-10-2023 21,246  
 DISCLOSED 2,82,000  
 CREDIT CARD 08-12-2023 28,200  
 INDIVIDUAL 01-12-2023 MONTHLY  
 01-01-2021 45,445

VOLUNTARY ASSET CLASSIFICATION UP TO 10 MONTHS LEFT TO RIGHT

000	000	000	000	000	000	000	000	000	000	000	000	XXX	000	000	000	000	000
12-23	11-23	10-23	09-23	08-23	07-23	06-23	05-23	04-23	03-23	02-23	01-23	12-22	11-22	10-22	09-22	08-22	07-22
000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000
06-22	05-22	04-22	03-22	02-22	01-22	12-21	11-21	10-21	09-21	08-21	07-21	06-21	05-21	04-21	03-21	02-21	01-21

ACCOUNT DATES AMOUNTS STATUS

CONSUMER CIR

CONSUMER CHETAN DALICHAND SHAH  
 MEMBER ID: BSD0115012\_MUMB17897  
 MEMBER REFERENCE NUMBER

DATE 09-01-2024  
 TIME 15:20:22  
 CONTROL NUMBER 7007471152

NOT DISCLOSED 30-03-2008 24,755  
 NOT 20-02-2018 0  
 DISCLOSED 23-03-2018 46,000  
 CREDIT CARD 5,000  
 INDIVIDUAL MONTHLY  
 08-05-2018  
 01-05-2018  
 01-06-2015

000	XXX	000	000	000	000	000	XXX	000	000	000	000	000	000	000	000	003	000
05-18	04-18	03-18	02-18	01-18	12-17	11-17	10-17	09-17	08-17	07-17	06-17	05-17	04-17	03-17	02-17	01-17	12-16
000	000	000	000	003	000	000	000	000	000	000	000	000	XXX	000	000	000	000
11-16	10-16	09-16	08-16	07-16	06-16	05-16	04-16	03-16	02-16	01-16	12-15	11-15	10-15	09-15	08-15	07-15	06-15

SBI 28-11-2006 1  
 00000066008401517 31-10-2009 0  
 1.00  
 PERSONAL LOAN 31-12-2016  
 INDIVIDUAL 01-12-2016  
 PROPERTY 01-01-2014

STD	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX
12-16	11-16	10-16	09-16	08-16	07-16	06-16	05-16	04-16	03-16	02-16	01-16	12-15	11-15	10-15	09-15	08-15	07-15
XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX
06-15	05-15	04-15	03-15	02-15	01-15	12-14	11-14	10-14	09-14	08-14	07-14	06-14	05-14	04-14	03-14	02-14	01-14

ACCOUNT STATUS  
 NOT DISCLOSED 31-08-2006 3,00,00,000  
 NOT DISCLOSED 25-01-2010 0  
 DISCLOSED 30-01-2010  
 HOUSING LOAN REPORTED AND VERIFIED  
 PARTNERSHIP JOINT 31-01-2010  
 PARTNERSHIP JOINT 01-01-2010  
 PARTNERSHIP JOINT 01-02-2007

LAST PAST ONE ASSET CLASSIFICATION (UP TO 36 MONTHS LEFT TO RIGHT)

000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	000	020
01-10	12-09	11-09	10-09	09-09	08-09	07-09	06-09	05-09	04-09	03-09	02-09	01-09	12-08	11-08	10-08	09-08	08-08
020	000	020	020	000	020	000	020	000	000	000	000	XXX	000	XXX	000	XXX	000
07-08	06-08	05-08	04-08	03-08	02-08	01-08	12-07	11-07	10-07	09-07	08-07	07-07	06-07	05-07	04-07	03-07	02-07

BYOTF

CONSUMER CIR

CONSUMER: CHETAN DALICHAND SHAH  
MEMBER ID: BS00115012\_MUMB17897  
MEMBER REFERENCE NUMBER

DATE: 09-01-2024  
TIME: 15:20:22  
CONTROL NUMBER: 7007471152

NOT DISCLOSED 04-08-2006 1 50 00.000  
NOT 30-03-2009 0  
DISCLOSED 29-08-2009  
OTHER  
JOINT 31-08-2009  
01-08-2009  
01-09-2006

000 000 000 000 000 000 000 000 000 STD STD STD STD STD STD STD STD XXX  
08-09 07-09 06-09 05-09 04-09 03-09 02-09 01-09 12-08 11-08 10-08 09-08 08-08 07-08 06-08 05-08 04-08 03-08  
XXX XXX XXX XXX XXX XXX XXX STD STD STD STD XXX STD STD STD STD STD STD STD  
02-08 01-08 12-07 11-07 10-07 09-07 08-07 07-07 06-07 05-07 04-07 03-07 02-07 01-07 12-06 11-06 10-06 09-06

ACCOUNT DATES  
MEMBER NAME NOT DISCLOSED OPENED 03-07-2006 1,50,00,000  
NOT 27-08-2009 0  
DISCLOSED 05-09-2009  
OTHER  
JOINT 30-09-2009  
01-09-2009  
01-10-2006

DAYS PAST DUE ASSET CLASSIFICATION (UP TO 36 MONTHS, LEFT TO RIGHT)

000 000 000 000 000 XXX XXX XXX 000 000 STD STD STD STD STD STD STD STD  
09-09 08-09 07-09 06-09 05-09 04-09 03-09 02-09 01-09 12-08 11-08 10-08 09-08 08-08 07-08 06-08 05-08 04-08  
XXX XXX XXX XXX XXX XXX XXX STD STD STD STD XXX STD STD STD STD STD STD  
03-08 02-08 01-08 12-07 11-07 10-07 09-07 08-07 07-07 06-07 05-07 04-07 03-07 02-07 01-07 12-06 11-06 10-06

ACCOUNT SBI DATES  
MEMBER NAME SBI OPENED 02-06-2004 10,00,000  
MEMBER NUMBER 00000010227003307 OPENED 18-12-2006 0  
OVERDRAFT 31-12-2016 1.00  
INDIVIDUAL 01-12-2016  
01-01-2014

DAYS PAST DUE ASSET CLASSIFICATION (UP TO 36 MONTHS, LEFT TO RIGHT)

STD XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX  
12-16 11-16 10-16 09-16 08-16 07-16 06-16 05-16 04-16 03-16 02-16 01-16 12-15 11-15 10-15 09-15 08-15 07-15  
XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX XXX

CONSUMER CIR

CONSUMER: CHE TAN DALICHAND SHAH  
 MEMBER ID: BS00115012\_MUMB17897  
 MEMBER REFERENCE NUMBER:

DATE: 09-01-2024

TIME: 15:20:22

CONTROL NUMBER: 7,00,74,71,152

08-15 09-15 04-15 03-15 02-15 01-15 12-14 11-14 10-14 09-14 08-14 07-14 06-14 05-14 04-14 03-14 02-14 01-14

NOT DISCLOSED  
 NOT DISCLOSED  
 DISCLOSED  
 CREDIT CARD  
 AUTHORISED USER  
 28-03-2002  
 21-03-2013  
 22-01-2021  
 08-02-2021  
 01-01-2021  
 01-02-2018  
 STATUS  
 0  
 MONTHLY

000 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000  
 01-21 12-20 11-20 10-20 09-20 08-20 07-20 06-20 05-20 04-20 03-20 02-20 01-20 12-19 11-19 10-19 09-19 08-19  
 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000  
 07-19 06-19 05-19 04-19 03-19 02-19 01-19 12-18 11-18 10-18 09-18 08-18 07-18 06-18 05-18 04-18 03-18 02-18

NOT DISCLOSED  
 NOT DISCLOSED  
 DISCLOSED  
 CREDIT CARD  
 AUTHORISED USER  
 01-07-2001  
 31-07-2015  
 07-04-2022  
 23-04-2022  
 01-04-2022  
 01-05-2019  
 STATUS  
 0  
 MONTHLY

000 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000  
 04-22 03-22 02-22 01-22 12-21 11-21 10-21 09-21 08-21 07-21 06-21 05-21 04-21 03-21 02-21 01-21 12-20 11-20  
 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000 000  
 10-20 09-20 08-20 07-20 06-20 05-20 04-20 03-20 02-20 01-20 12-19 11-19 10-19 09-19 08-19 07-19 06-19 05-19

ENQUIRIES

MEMBER	ENQUIRY DATE	ENQUIRY PURPOSE	ENQUIRY AMOUNT
NOT DISCLOSED	11-12-2023	AUTO LOAN	1,00,00,000
NOT DISCLOSED	23-10-2023	CREDIT CARD	10,000
NOT DISCLOSED	19-10-2023	OTHER	3,46,65,000
NOT DISCLOSED	21-07-2023	HOUSING LOAN	10,00,000





## CONSUMER CIR

CONSUMER: CHETAN DALICHAND SHAH  
MEMBER ID: BS00115012\_MUMB17897  
MEMBER REFERENCE NUMBER:

DATE: 09-01-2024  
TIME: 15:20:22  
CONTROL NUMBER: 7097171152

STATUS	DATE	ACCOUNT TYPE	AMOUNT
NOT DISCLOSED	20-04-2023	OTHER	1,000
NOT DISCLOSED	15-11-2022	OTHER	8,62,00,000
NOT DISCLOSED	27-10-2022	OVERDRAFT	1,000
NOT DISCLOSED	22-03-2022	PERSONAL LOAN	2,00,000
NOT DISCLOSED	16-12-2021	BUSINESS LOAN - SECURED	75,00,000
NOT DISCLOSED	04-12-2021	CREDIT CARD	1,000
NOT DISCLOSED	04-12-2021	CREDIT CARD	1,000
NOT DISCLOSED	22-06-2021	OTHER	8,62,00,000
NOT DISCLOSED	27-05-2021	OTHER	1
NOT DISCLOSED	15-02-2021	BUSINESS LOAN - GENERAL	1
NOT DISCLOSED	11-02-2021	BUSINESS LOAN - SECURED	15,00,000
NOT DISCLOSED	11-02-2021	BUSINESS LOAN - SECURED	15,00,00,000

END OF REPORT ON CHETAN DALICHAND SHAH

All information contained in this credit report has been collated by TransUnion CIBIL Limited ( TU CIBIL) based on information provided/ submitted by its various members("Members"), as part of periodic data submission and Members are required to ensure accuracy, completeness and veracity of the information submitted. The credit report is generated using the proprietary search and match logic of TU CIBIL. TU CIBIL uses its best efforts to ensure accuracy, completeness and veracity of the information contained in the Report, and shall only be liable and / or responsible if any discrepancies are directly attributable to TU CIBIL. The use of this report is governed by the terms and conditions of the Operating Rules for TU CIBIL and its Members.



**MUNICIPAL CORPORATION OF GREATER MUMBAI**  
**Amended Plan Approval Letter**

File No. CE/7192/BP/WS/AP/337/2/AMEND dated 07.01.2022

To,  
**AR. PRIYANK BHATT**  
**GR. FLOOR DOM ANN VILLA, N.P.**  
**THAKKAR ROAD, VILEPARLE**  
**(EAST), MUMBAI - 400057**

CC (Owner),  
**M/s. Embassy Enterprises**  
**B/106, Sanjay Apartment, S.V.P.**  
**Road, Borivali(W), Mumbai- 400 092**

**Subject : Proposed Commercial & Residential building on plot bearing CTS No. 1406/10 of Village Malad (S), off Chincholi Bunder Road at Malad (W)..**

**Reference : Online submission of plans dated 29.12.2021**

Dear Applicant/ Owner/ Developer,

There is no objection to your carrying out the work as per amended plans submitted by you online under reference for which competent authority has accorded sanction, subject to the following conditions.

- 1) A. CONDITIONS TO BE COMPLIED WITH BEFORE STARTING THE WORK / BEFORE PLINTH C.C.
- 2) That the commencement certificate under Section 44/69(1)(a) of the M.R.T.P. Act will not be obtained before starting the proposed work.
- 3) That the compound wall is not constructed on all sides of the plot clear of the road widening line with foundation below level of bottom of road side drain without obstructing the flow of rain water from the adjoining holding to prove possession of holding before starting the work as per DCPR 2034.
- 4) That the low lying plot will not be filled up to a reduced level of at least 92 T.H.D. or 6" above adjoining road level whichever is higher with murum, earth, boulders, etc. and will not be leveled, rolled, consolidated and sloped towards road side, before starting the work.
- 5) That the structural design and calculations for the proposed work accounting for seismic analysis as per relevant I.S. Code and for existing building showing adequacy thereof to take up additional load along with bearing capacity of the soil strata will not be submitted before C.C. and work will not be got done as per said design.
- 6) That the regular/sanctioned/proposed lines and reservation will not be got demarcated at site through A.E. (Survey)/ E.E.(T&C)/ E.E. (D.P.)/ D.I.L.R./CSLR before applying for C.C.
- 7) That the sanitary arrangements shall not be carried out as per Municipal Specifications, and drainage layout will not be submitted before C.C.
- 8) That the affidavit shall not be submitted stating that co-owner or heirs of owner/co-owner for not taken compensation in any form from MCGM or any other authority under provision of L.A. Act or any other act.
- 9) That the requisitions of Reg. 49 and 50 of DCPR 2034 shall not be complied with and records of quality of work, verification report, etc. shall not be maintained on site till completion of the entire work.
- 10) That the work shall not be carried out strictly as per approved plan and in conformity with the DCPR 2034 in force.
- 11) That the specific remarks from concerned Assessment Department, Ward office, and D.P. Department of MCGM shall not be obtained stating that no compensation in any form for merging of road setback area into road is availed to applicant/owner/heirs of owner
- 12) That the Janata Insurance policy or policy to cover the compensation claims arising out of Workmen's Compensation Act, 1923 shall be taken out and a copy of the same shall not be submitted before asking C.C. and renewed during the construction of work and owner / developer should submit revalidated Janata Insurance Policy from time to time.
- 13) That the fresh Tax Clearance Certificate/ last paid bill with payment receipt from A.A. & C 'P/South' Ward shall not be submitted.
- 14) That provisional N.O.C. from concerned authorities/empanelled consultants for a) S.W.D. b) Parking c) Water Works d) Fire Fighting Provisions (CFO NOC) e) Tree authority f) Hydraulic Engineer g) A.A. & C ( P/north) (h) Rain water harvesting i) shall not be submitted before occupation.
- 15) That the board displaying the details of development of the work, name of owner, developer, Architect, Structural Engineer etc. shall not be displayed at site.
- 16) That the following consultant shall not be appointed for the work and their appointment and acceptance letter along with their licensed copy, identification and pan card shall not be submitted before C.C.: a. Structural Engineer, b. Site Supervisor, c. Licensed Plumber

- (SWD, Water ,SP), d. Public Health consultant (RWH/PCO/SWM), e. Horticulturist
- 17) That the work shall be carried out between 6.00 a.m. to 10.00 pm., only in accordance with Rule 5A(3) of the Noise Pollution (Regulation & Control) Rules, 2000 and the provision of notification issued by Ministry of Environment & Forest Dept. from time to time shall not be duly observed.
  - 18) That the registered undertaking for followings shall not be submitted before C.C. a) Special attendant shall be deployed to control the maneuvering & the movement of car entry/exit. b) The area of parking spaces are reserved for parking only. c) Indemnifying the M.C.G.M against any litigation arising out of hardship to user in case of the failure of mechanized system/ nuisance due to mechanical system to the building under reference. d) No nuisance to surrounding will not be submitted before C.C./starting the work. e) To demolish the excess area if constructed beyond permissible F.S.I. before asking for C.C. f) To pay the difference in premium paid and calculated as per revised land rates The Owner /Developer / Builder to sell the tenements / flats on carpet area basis only and to abide by the provisions of Maharashtra Ownership Flats (Regulation of the promotion of construction, sale management and transfer) Act (MOFA), amended up to date and the Indemnity Bond indemnifying the M.C.G.M. and its Officers from any legal complications arising due to MOFA. g) Agreeing to hand over excess parking spaces to M.C.G.M free of cost in case full permissible F.S.I. is not consumed. h) The owner shall not have any objection if the neighboring plot owner comes for development with deficiency in open spaces. i) Condition shall be incorporated in the sale agreement with prospective buyers that the building under reference is constructed with open spaces deficiency
  - 19) That the C.C. shall be asked unless payment of advance for providing treatment at construction site to prevent epidemics like Dengue, Malaria, etc. is made to the Insecticide Officer of the concerned Ward Office and provision shall be made as and when required by Insecticide Officer for inspection of water tanks by providing safe and stable ladder, etc. and requirements as communicated by the Insecticide Officer shall not be complied with.
  - 20) That the specification & design of Rain Water Harvesting scheme as per the State Govt.'s directives u/No. TPB-4307/396/CR-124/2007/UD-11 dated 6th June 2007 shall not be submitted.
  - 21) That the undertaking from owner stating that they will not object to the development on neighbouring building in future shall be submitted.
  - 22) That the requisition of clause No. 49 of DCPR 2034 shall be complied with and records of quality of work, verification of report shall not be kept on site till completion of work.
  - 23) That the Extra Water Charges & Extra Sewerage Charges / No Dues clearance certificate from A.E.W.W. 'P/South' Ward shall not be submitted.
  - 24) That all the conditions & directions specified in the order of Hon. Supreme Court dated 15.03.2018 in Dumping Ground case will not be complied with before starting of demolition of existing structure and/or starting any construction work.
  - 25) That adequate safeguards are not employed in consultation with S.W.M. Dept. of MCGM for preventing dispersal of particles through air and the construction debris generated shall not be deposited in specific sites inspected and approved by MCGM.
  - 26) That the debris shall not be managed in accordance with the provisions of Construction & Demolition Waste Management Rules 2016 and requisite Bank Guarantee as demanded by MCGM for faithful compliances of Waste/Debris Management plan shall not be furnished before demolition or construction
  - 27) That the Indemnity Bond, indemnifying the Corporation for damages, risks, accidents to the occupiers and an Undertaking regarding no nuisance will not be submitted before C.C./ starting the work.
  - 28) That the Revised CFO NOC shall not be submitted before CC.
  - 29) That the requisite undertaking for compliance of CFO NOC conditions shall not be submitted.
  - 30) All the cantilevers (Projections) shall not be designed for five times the load as per IS Code 1993-2002 including the columns projecting beyond the terrace and carrying the overhead water storage tank, etc.
  - 31) That the structural engineer will not be appointed. Supervision memo as per Appendix-XI (Regulation-5(3)(ix)) will not be submitted by him.
  - 32) That the qualified/Registered Site supervisor through Architect / Structural Engineer shall not be appointed before applying for C.C.
  - 33) That the Registered Undertaking shall not be submitted for agreeing to hand over the setback land free of compensation for future road widening, to MCGM as and when required.
  - 34) That the registered undertaking and additional copy of plan shall not be submitted for agreeing to handover the setback land free of compensation and that the setback handing over certificate shall not be obtained from Asst. Commissioner [ P/S ] that the ownership of the setback land shall not be transferred in the name of M.C.G.M. before demolition of existing building.
  - 35) That the Comprehensive U/T and Indemnity bond as per EODB shall not be submitted.
  - 36) That the Indemnity Bond indemnifying M.C.G.M. against disputes, litigations, claims, arising out of ownership of plot shall not be submitted.
  - 37) That it is not noted that if untoward incidence/accident occurs during the demolition of the existing buildings and during new building construction, the entire responsibility will rest with the developer, MCGM and its staff shall not be held responsible in any way.
  - 38) That the precautionary measures to avoid dust nuisance such as erection of G.I. sheet screens at plot boundaries upto reasonable height shall not be provided before demolition of existing structures at site.
  - 39) That the Regd. Undertaking shall not be submitted by the Owner / Developer / Builder to sell the tenements / flats on carpet area basis only and to abide by the provisions of Maharashtra Ownership Flats (Regulation of the promotion of construction, sale management and transfer) Act (MOFA), amended up to date and the Indemnity Bond indemnifying the M.C.G.M. and its Officers from any legal complications arising due to MOFA will not be submitted.
  - 40) That the registered Private Pest Control Agency for providing anti larval treatment at the construction site shall be appointed.

- 41) That the Regd U/T to handover Society office & Fitness center shall not be submitted
- 42) That the N.O.C. from Insecticide Officer shall not be submitted
- 43) That adequate care in planning, designing and carrying out construction will not be taken in the proposed building to provide for the consequence of settlement of floors and plinth filling etc.
- 44) That the undertaking stating that no nuisance will be created to the public & inhabitants of neighborhood and that condition shall be incorporated in the sale agreement with prospective buyers stating that the building under reference is constructed with deficient open spaces and applicant will not object for deficiency in joint open spaces for development of neighboring plots shall not be submitted.
- 45) That the NOC from collector of Mumbai shall not be submitted before CC for excavation of earth.
- 46) That the R.U.T. shall not be submitted by the owner/developer for maintaining the noise levels within permissible limits
- 47) That the developer/owner shall not demolish the structure/Building proposed to be demolished by following the guidelines proposed in the Indian Standard Code no. IS4130:1991 amended up to date in respect to the demolition of Building Code of safety under the Supervision of approved structural Engineer duly registered with MCGM.
- 48) That the Registered Undertaking stating that the conditions of E.E. (T & C) / Parking Consultant NOC will be complied shall not be submitted.
- 49) That in the R.C.C. framed structures, the external walls shall not be less than 230 mm if in brick masonry or 150 mm. autoclaved cellular concrete block excluding plaster thickness as per policy.
- 50) That the NOC from Electric supply company for not to required the electric substation shall not be submitted before CC
- 51) That the Registered Undertaking/ Indemnity for contravening toilet shall not be submitted before CC
- 52) That the registered Undertaking for faithful compliance of all the IOD conditions shall not be submitted before CC.
- 53) That the builder / developer / owner shall not prepare a "debris management plan" showing the prospective quantum of debris likely to be generated, arrangements for its proper storage at the site, transportation plan of the agency appointed for the same, with numbers and registration numbers of vehicles to be deployed and the final destination where the debris would be unloaded by them and submit the same to the Zonal Executive Engineer of S.W.M. Department and the same shall not be got approved before demolition of existing building or commencing any construction activity.
- 54) C: CONDITIONS TO BE COMPILED BEFORE FURTHER C.C
- 55) That the plinth / stilt height & plinth dimensions shall not be got checked from this office before asking for further C.C. beyond plinth.
- 56) That the Structural stability certificate through Regd. Structural Engineer regarding stability of constructed plinth shall not be submitted before asking for C.C. beyond plinth
- 57) That all the structural members below the ground shall be designed considering the effect of chlorinated water, sulphur water, seepage water, etc. and any other possible chemical effect and due care while constructing the same will be taken and completion certificate to that effect shall not be submitted before granting further C.C. beyond plinth.
- 58) All the payments as intimated by various departments of MCGM shall not be paid.
- 59) That the additional development cess, if applicable, shall not be paid before further C.C.
- 60) That every year before on set of monsoon / revalidation of C.C., structural stability certificate of work executed on site shall not be submitted by appoint Structural Engineer.
- 61) That the half yearly progress report of the work will not be submitted by the Architect.
- 62) That the Material testing report shall not be submitted.
- 63) That the set back area shall not be handed over to MCGM and possession receipt for th same shall not be submitted
- 64) D: GENERAL CONDITIONS TO BE COMPILED BEFORE O.C
- 65) That some of the drains shall not be laid internally with C.I. Pipes.
- 66) That dry and wet garbage shall be separated and the wet garbage in the building shall not be treated separately on the same plant by the residents / occupants of the building in the jurisdiction of M.C.G.M. The necessary condition in sale agreement to that effect shall not incorporated by the developer / owner and U/T to that effect shall not submitted.
- 67) That the surface drainage arrangement shall not be made in consultation with E.E.(SWD) /Consultant or as per his remarks and a completion certificate will not be obtained and submitted before applying for occupation certificate/B.C.C.
- 68) That the surrounding open spaces, parking spaces and terrace shall not be kept open and un-built upon and will not be leveled and developed before requesting to grant permission to occupy the building or submitting the B.C.C. whichever is earlier.
- 69) That the name plate/Board showing Plot No., name of the building etc. shall not be displayed at a prominent place.
- 70) That the parking spaces shall not be provided as per Regulation No.44 of DCPR 2034.
- 71) That the N.O.C. from Inspector of Lifts, P.W.D., Maharashtra, shall not be obtained and submitted to this office.

- 72) That every part of the building construction and more particularly overhead tank shall not be provided as with the proper access for the staff of Insecticide Officer with a provision of temporary but safe and stable ladder etc.
- 73) That the installation of Rain Water Harvesting scheme as per the State Govt.'s directives U/No. TPB-4307/396/CR-124/2007/UD-11 dated 6th June 2007 shall not be provided before applying for occupation permission.
- 74) That the following documents shall not be compiled, preserved and handed over to the end user /prospective society within a period of 30 days in case of redevelopment of properties and in other cases, the same should be handed over within a period of 90 days after granting occupation certificate by M.C.G.M. a. Ownership documents. b. Copies of I.O.D., C.C., subsequent amendments, O.C.C., B.C.C. and corresponding approved plans. c. Copies of soil investigation reports. d. R.C.C. details and structural drawings. e. Structural Stability Certificate from Licensed Structural Engineer. f. Supervision certificate issued by the Licensed Site Supervisor. g. Building Completion Certificate issued by Licensed Surveyor/ Architect. h. NOC and completion certificate issued by the C.F.O.
- 75) That the certified copy of sale agreement incorporating the following conditions shall not be submitted to this office; a) That the prospective society / end user shall preserve and maintain the documents /plans received from Owner / Developer / Architect and subsequently carry out necessary repairs /structural audit/ fire audit at regular interval and also present periodical structural audit reports and repair history, similarly to check and to carry out fire safety audit time to time as per requirement of C.F.O. through the authorized agency of M.C.G.M.
- 76) The registered undertaking and indemnity bond shall not be submitted stating that the conditions mentioned at Sr.No.11 will be incorporated in the sale agreement and the same will be informed to the prospective society/ end user.
- 77) PRC in the name of MCGM for setback area shall not be submitted.
- 78) That terraces, sanitary blocks, nahanis in kitchen shall not be made water proof and same shall not be provided by method pounding and all sanitary connection shall be leak proof and smoke test shall not be done in presence of licensed plumber.
- 79) That structural engineer's final stability certificate along with R.C.C. design plans shall not be submitted.
- 80) That the Tax Clearance Certificate from 'A & C (R/South Ward) shall not be submitted.
- 81) That the vermiculture bins for the disposal of wet waste as per design and specifications of organization or companies specialized in this field as per list furnished by Solid waste Management of M.C.G.M. shall not be provided.
- 82) That the final N.O.C.s from concern authorities/empanelled consultants for a) SWD B) Sewerage C) Water works D) CFO/Firefighting provision E) Tree authority, F) H.E. shall not be submitted.
- 83) That the dust bin shall not be provided as per C.E.'s circular No. CE/9297/II of 26/6/1978.
- 84) That B.C.C. shall not be obtained and I.O.D. and debris deposit etc. will not be claimed for refund within a period of 6 years from the date of its payment.
- 85) That the Drainage completion certificate from (S.P.)(P&D)City/Consultant shall not be submitted
- 86) That the compliance of N.O.C. from H.E will not be made and certificate to that effect shall not be submitted.
- 87) That the additional development cess, if any, shall not be paid before O.C
- 88) That 3.00 mt. wide paved pathway upto staircase shall not be provided.
- 89) That the supervision certificate shall not be submitted periodically i.e. every 3 months from the L.S. /Engineer / Structural Engineer / Supervisor or Architect as the case may be as per D.C.Reg.5(3)(ix) regarding satisfactory construction on site
- 90) That carriage entrance shall not be provided as per design of registered structural engineer and carriage entrance fee shall not be paid.
- 91) That the Sample agreement with prospective buyers/members shall not be submitted with clauses stating:- a) That the building under reference is deficient in open space and M.C.G.M. will not be held liable for the same in future, b) That the buyer /member agree for no objection for the neighbourhood development with deficient open space in future, c) That the buyer /members will not held M.C.G.M. liable for any failure of mechanical Parking system in future and proper precautions and safety measures shall be taken to avoid any mishap and the damages occurs due flooding in pit if any and maintenance of mechanized parking system shall be done regularly, d) That the buyer/member will not be held M.C.G.M. liable for any mishap due to provision of additional height of still for provision of 3 level pit + stack type parking, e) That there is inadequate manoeuvring space of car parking and buyer/member will not make any complaint to M.C.G.M. in this regard in future before submission of OCC/BCC f) That permanent right way is granted to Amenity space.
- 92) That completion certificate from the rainwater harvesting consultant for effective completion and functioning of RWH system shall not be submitted and quantum of rain water harvested from the RWH completed scheme on site shall not be uploaded on RWH tab in online Auto DCR system
- 93) That Certificate from Arch/LS certifying height of proposed building w.r.t.the Civil Aviation NOC for height clearance as per Notification issued by Ministry of Civil Aviation vide no. GSR 770(E) notified on 17 Dec 2020 shall not be submitted
- 94) That the Mechanized parking system shall not be equipped with electric sensor devices and also proper precautions & Safety measures shall not be taken to avoid any mishap & the damages occurred due to flooding in pit if any & maintenance of Mechanized parking system shall not be done regularly and registered undertaking & indemnity bond to that effect shall not be submitted.
- 95) That the registered undertaking indemnifying the M.C.G.M. and its officers against any litigation arising out of hardship to user in case of the failure of Mechanized system/nuisance due to mechanized system to the building under reference & to the adjoining wing/adjoining building shall not be submitted.
- 96) That the self – declaration in respect of installing composting pit/ composite machine/ biometanise system, for processing wet waste generated at project site shall not be submitted by developer/builder/owner as per circular No. CHE/0024/GEN dated 02/04/2016.

Name : Anil Prabhakar Dhiwar  
Designation : Executive  
Engineer  
Organization : Personal  
Date : 07-Jan-2022 13: 44:32

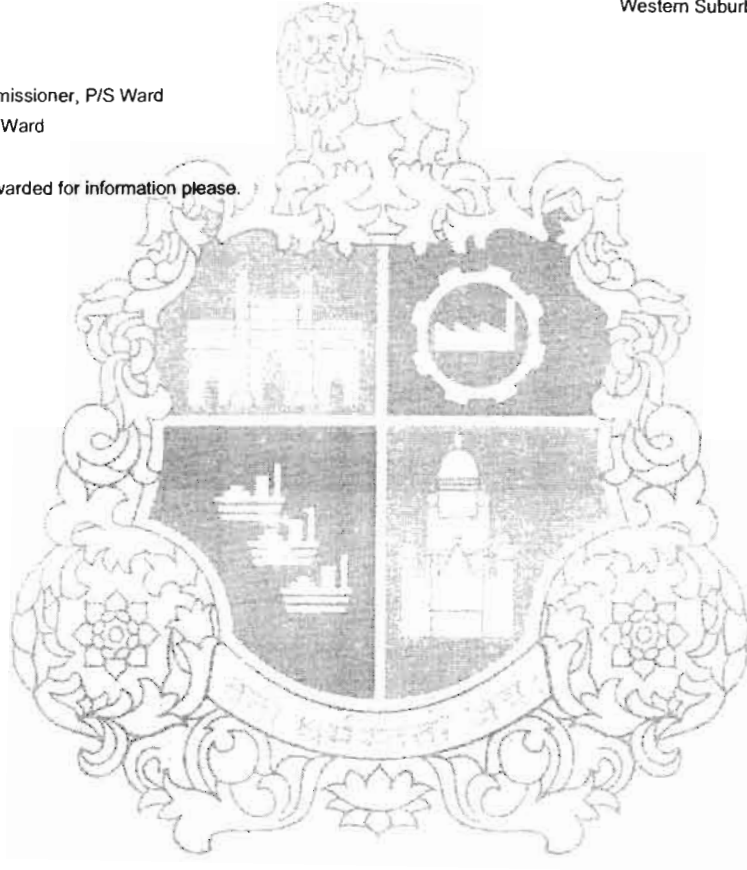


For and on behalf of Local Authority  
Municipal Corporation of Greater Mumbai  
Executive Engineer Building Proposal  
Western Suburb II

Copy to :

- 1) Assistant Commissioner, P/S Ward
- 2) A.E.W.W., P/S Ward
- 3) D.O. P/S Ward

- Forwarded for information please.



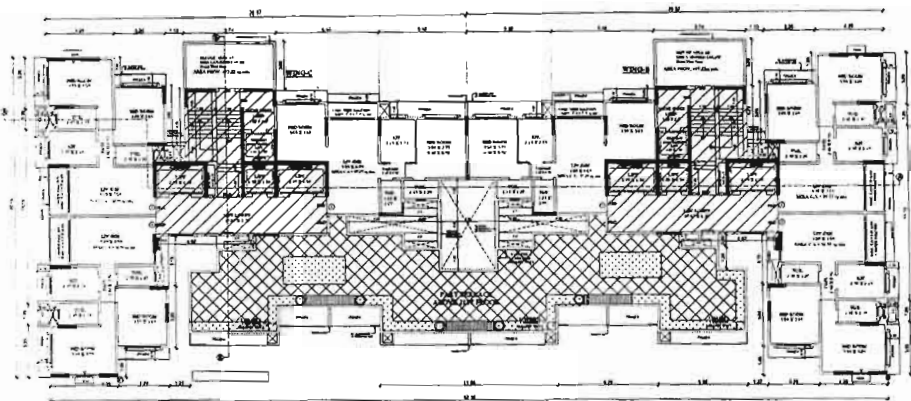




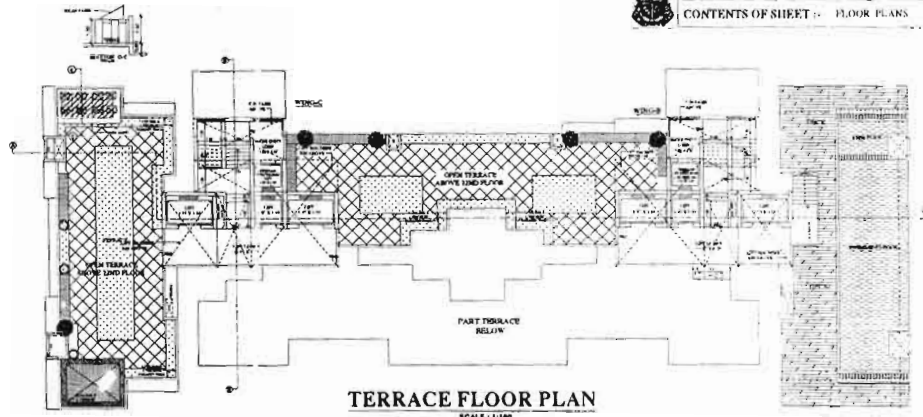




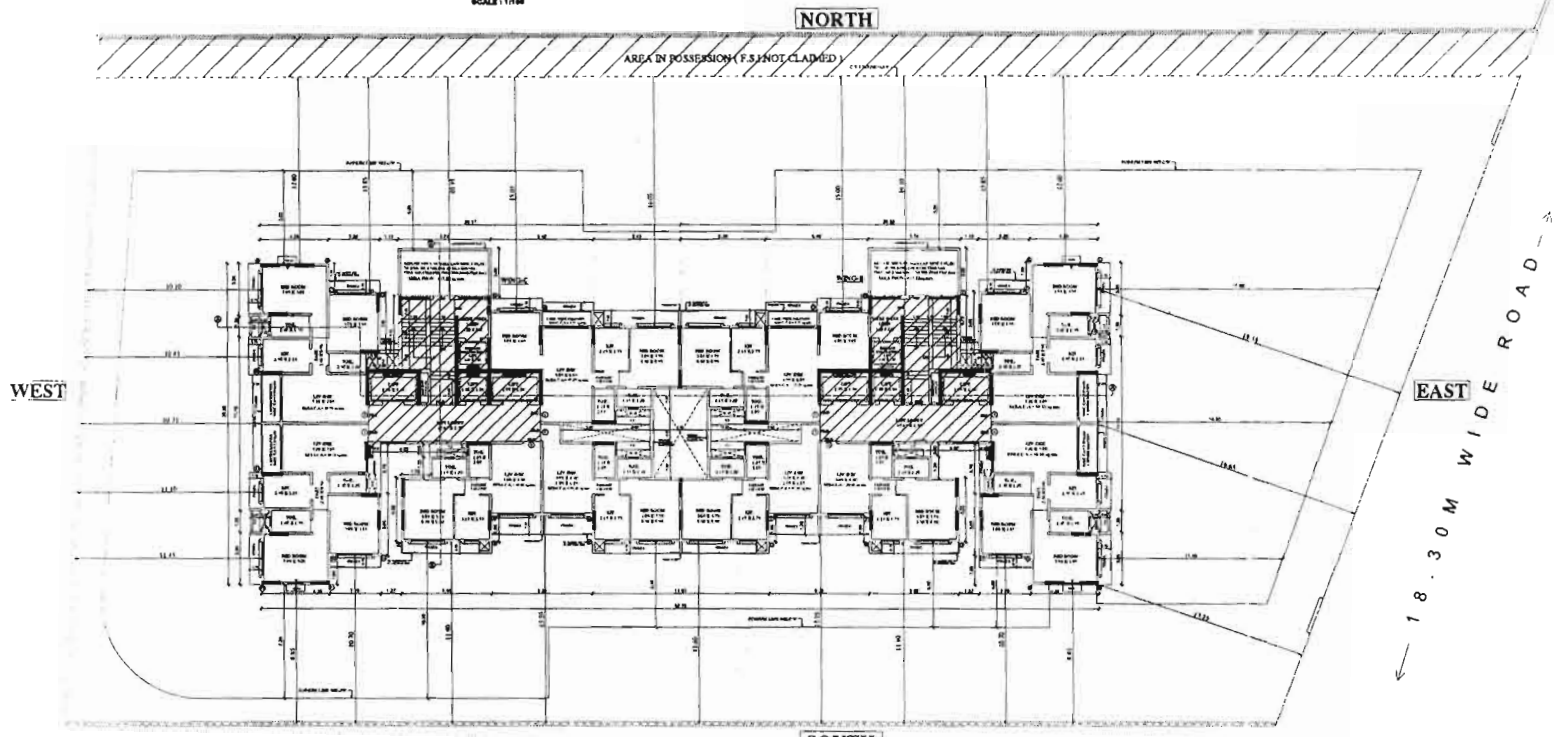




**22nd FLOOR PLAN**  
 SCALE: 1:1100



**TERRACE FLOOR PLAN**  
 SCALE: 1:1100



**TYPICAL FLOOR PLAN (4th to 21st floor)**  
 SCALE: 1:1100

**NOTE:**  
 This is digitally signed plan. It shall not require physical signatures.

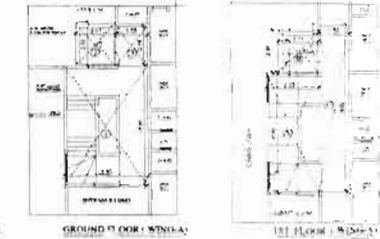
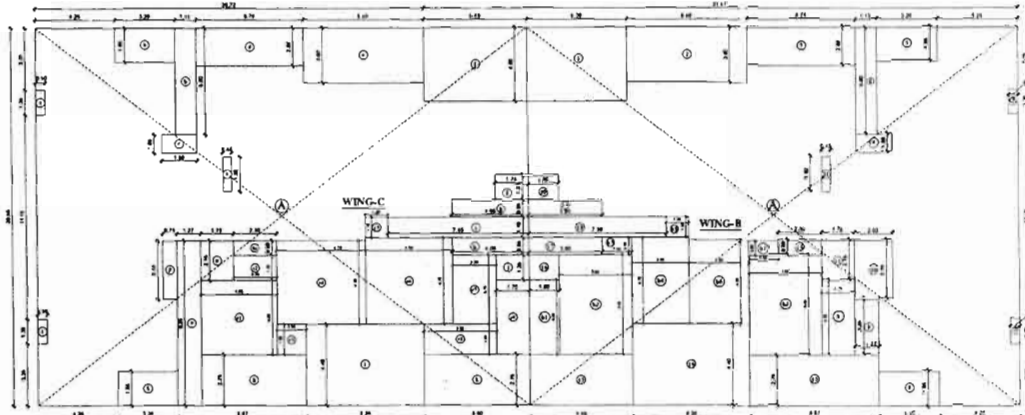
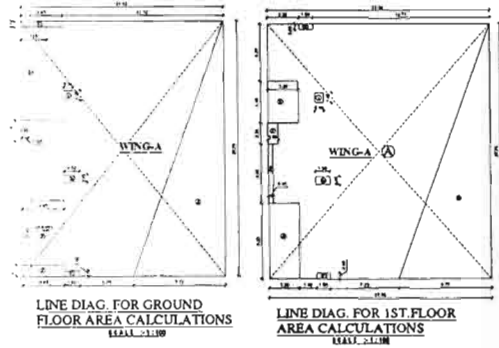
DATE: 10/01/2024  
 TIME: 10:00 AM

MR. EMBASSY ENTERPRISES 4th Floor, Plot No. 11, Sector 14, Gurgaon, Haryana Ph: 01299-420000 Email: info@embassyenterprises.com	SANJAY DALICHAN D. SHAH 10/01/2024 10:00 AM 10/01/2024 10:00 AM
---	--

**Priyank Abhay Bhatt**  
 10/01/2024 10:00 AM

ANAN D	DADU SACHDEV	HARI SH CHANAN	RAM SHAGAT
...	...	...	...





AREA STATEMENT (COMM.)

GROUND FLOOR (WING-A)

A. 1.30 x 1.10	1.43
1.30 x 2.10	2.73
1.30 x 3.00	3.90
1.30 x 4.00	5.20
1.30 x 5.00	6.50
1.30 x 6.00	7.80
1.30 x 7.00	9.10
1.30 x 8.00	10.40
1.30 x 9.00	11.70
1.30 x 10.00	13.00
1.30 x 11.00	14.30
1.30 x 12.00	15.60
1.30 x 13.00	16.90
1.30 x 14.00	18.20
1.30 x 15.00	19.50
1.30 x 16.00	20.80
1.30 x 17.00	22.10
1.30 x 18.00	23.40
1.30 x 19.00	24.70
1.30 x 20.00	26.00
1.30 x 21.00	27.30
1.30 x 22.00	28.60
1.30 x 23.00	29.90
1.30 x 24.00	31.20
1.30 x 25.00	32.50
1.30 x 26.00	33.80
1.30 x 27.00	35.10
1.30 x 28.00	36.40
1.30 x 29.00	37.70
1.30 x 30.00	39.00
1.30 x 31.00	40.30
1.30 x 32.00	41.60
1.30 x 33.00	42.90
1.30 x 34.00	44.20
1.30 x 35.00	45.50
1.30 x 36.00	46.80
1.30 x 37.00	48.10
1.30 x 38.00	49.40
1.30 x 39.00	50.70
1.30 x 40.00	52.00
1.30 x 41.00	53.30
1.30 x 42.00	54.60
1.30 x 43.00	55.90
1.30 x 44.00	57.20
1.30 x 45.00	58.50
1.30 x 46.00	59.80
1.30 x 47.00	61.10
1.30 x 48.00	62.40
1.30 x 49.00	63.70
1.30 x 50.00	65.00
1.30 x 51.00	66.30
1.30 x 52.00	67.60
1.30 x 53.00	68.90
1.30 x 54.00	70.20
1.30 x 55.00	71.50
1.30 x 56.00	72.80
1.30 x 57.00	74.10
1.30 x 58.00	75.40
1.30 x 59.00	76.70
1.30 x 60.00	78.00
1.30 x 61.00	79.30
1.30 x 62.00	80.60
1.30 x 63.00	81.90
1.30 x 64.00	83.20
1.30 x 65.00	84.50
1.30 x 66.00	85.80
1.30 x 67.00	87.10
1.30 x 68.00	88.40
1.30 x 69.00	89.70
1.30 x 70.00	91.00
1.30 x 71.00	92.30
1.30 x 72.00	93.60
1.30 x 73.00	94.90
1.30 x 74.00	96.20
1.30 x 75.00	97.50
1.30 x 76.00	98.80
1.30 x 77.00	100.10
1.30 x 78.00	101.40
1.30 x 79.00	102.70
1.30 x 80.00	104.00
1.30 x 81.00	105.30
1.30 x 82.00	106.60
1.30 x 83.00	107.90
1.30 x 84.00	109.20
1.30 x 85.00	110.50
1.30 x 86.00	111.80
1.30 x 87.00	113.10
1.30 x 88.00	114.40
1.30 x 89.00	115.70
1.30 x 90.00	117.00
1.30 x 91.00	118.30
1.30 x 92.00	119.60
1.30 x 93.00	120.90
1.30 x 94.00	122.20
1.30 x 95.00	123.50
1.30 x 96.00	124.80
1.30 x 97.00	126.10
1.30 x 98.00	127.40
1.30 x 99.00	128.70
1.30 x 100.00	130.00

1ST FLOOR (WING-A)

1ST FLOOR (WING-B)

1ST FLOOR (WING-C)

ST CASE LIFT & LIFT PASSAGE AREA CALCULATIONS (COMM.)

GROUND FLOOR (WING-A)

1ST FLOOR (WING-A)

1ST FLOOR (WING-B)

1ST FLOOR (WING-C)

AREA STATEMENT (RES.)

TYPICAL FLOOR (4TH TO LIFT WING-C)

A. 1.30 x 1.10	1.43
1.30 x 2.10	2.73
1.30 x 3.00	3.90
1.30 x 4.00	5.20
1.30 x 5.00	6.50
1.30 x 6.00	7.80
1.30 x 7.00	9.10
1.30 x 8.00	10.40
1.30 x 9.00	11.70
1.30 x 10.00	13.00
1.30 x 11.00	14.30
1.30 x 12.00	15.60
1.30 x 13.00	16.90
1.30 x 14.00	18.20
1.30 x 15.00	19.50
1.30 x 16.00	20.80
1.30 x 17.00	22.10
1.30 x 18.00	23.40
1.30 x 19.00	24.70
1.30 x 20.00	26.00
1.30 x 21.00	27.30
1.30 x 22.00	28.60
1.30 x 23.00	29.90
1.30 x 24.00	31.20
1.30 x 25.00	32.50
1.30 x 26.00	33.80
1.30 x 27.00	35.10
1.30 x 28.00	36.40
1.30 x 29.00	37.70
1.30 x 30.00	39.00
1.30 x 31.00	40.30
1.30 x 32.00	41.60
1.30 x 33.00	42.90
1.30 x 34.00	44.20
1.30 x 35.00	45.50
1.30 x 36.00	46.80
1.30 x 37.00	48.10
1.30 x 38.00	49.40
1.30 x 39.00	50.70
1.30 x 40.00	52.00
1.30 x 41.00	53.30
1.30 x 42.00	54.60
1.30 x 43.00	55.90
1.30 x 44.00	57.20
1.30 x 45.00	58.50
1.30 x 46.00	59.80
1.30 x 47.00	61.10
1.30 x 48.00	62.40
1.30 x 49.00	63.70
1.30 x 50.00	65.00
1.30 x 51.00	66.30
1.30 x 52.00	67.60
1.30 x 53.00	68.90
1.30 x 54.00	70.20
1.30 x 55.00	71.50
1.30 x 56.00	72.80
1.30 x 57.00	74.10
1.30 x 58.00	75.40
1.30 x 59.00	76.70
1.30 x 60.00	78.00
1.30 x 61.00	79.30
1.30 x 62.00	80.60
1.30 x 63.00	81.90
1.30 x 64.00	83.20
1.30 x 65.00	84.50
1.30 x 66.00	85.80
1.30 x 67.00	87.10
1.30 x 68.00	88.40
1.30 x 69.00	89.70
1.30 x 70.00	91.00
1.30 x 71.00	92.30
1.30 x 72.00	93.60
1.30 x 73.00	94.90
1.30 x 74.00	96.20
1.30 x 75.00	97.50
1.30 x 76.00	98.80
1.30 x 77.00	100.10
1.30 x 78.00	101.40
1.30 x 79.00	102.70
1.30 x 80.00	104.00
1.30 x 81.00	105.30
1.30 x 82.00	106.60
1.30 x 83.00	107.90
1.30 x 84.00	109.20
1.30 x 85.00	110.50
1.30 x 86.00	111.80
1.30 x 87.00	113.10
1.30 x 88.00	114.40
1.30 x 89.00	115.70
1.30 x 90.00	117.00
1.30 x 91.00	118.30
1.30 x 92.00	119.60
1.30 x 93.00	120.90
1.30 x 94.00	122.20
1.30 x 95.00	123.50
1.30 x 96.00	124.80
1.30 x 97.00	126.10
1.30 x 98.00	127.40
1.30 x 99.00	128.70
1.30 x 100.00	130.00

STAIR CASE LIFT & LIFT PASSAGE AREA CALCULATIONS (RES.)

4TH FLOOR (WING-C)

5TH FLOOR (WING-C)

6TH FLOOR (WING-C)

7TH FLOOR (WING-C)

8TH FLOOR (WING-C)

9TH FLOOR (WING-C)

10TH FLOOR (WING-C)

11TH FLOOR (WING-C)

12TH FLOOR (WING-C)

13TH FLOOR (WING-C)

14TH FLOOR (WING-C)

15TH FLOOR (WING-C)

16TH FLOOR (WING-C)

17TH FLOOR (WING-C)

18TH FLOOR (WING-C)

19TH FLOOR (WING-C)

20TH FLOOR (WING-C)

21TH FLOOR (WING-C)

22ND FLOOR (WING-C)

SUMMARY OF WING-C (COMM.) (IN SQ MTR)

FLOOR	FLOOR AREA	LIFT ST CASE & LIFT AREA	NET FLOOR AREA
GROUND FLR	360.40	17.15	343.25
1ST FLR	448.17	17.15	431.02
TOTAL	808.57	34.30	774.27

SUMMARY OF WING-B & C (RES.) (IN SQ MTR)

FLOOR	FLOOR AREA	LIFT ST CASE & LIFT AREA	NET FLOOR AREA
1ST FLR	362.97	364.18	727.15
2ND FLR	362.97	364.18	727.15
3RD FLR	362.97	364.18	727.15
4TH FLR	362.97	364.18	727.15
5TH FLR	362.97	364.18	727.15
6TH FLR	362.97	364.18	727.15
7TH FLR	362.97	364.18	727.15
8TH FLR	362.97	364.18	727.15
9TH FLR	362.97	364.18	727.15
10TH FLR	362.97	364.18	727.15
11TH FLR	362.97	364.18	727.15
12TH FLR	362.97	364.18	727.15
13TH FLR	362.97	364.18	727.15
14TH FLR	362.97	364.18	727.15
15TH FLR	362.97	364.18	727.15
16TH FLR	362.97	364.18	727.15
17TH FLR	362.97	364.18	727.15
18TH FLR	362.97	364.18	727.15
19TH FLR	362.97	364.18	727.15
20TH FLR	362.97	364.18	727.15
21TH FLR	362.97	364.18	727.15
22ND FLR	362.97	364.18	727.15
TOTAL	8085.32	6436.71	14522.03

TOTAL BUILT UP AREA

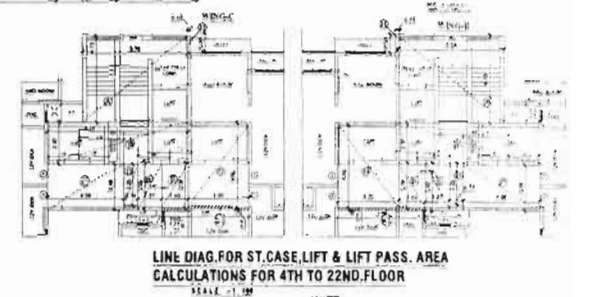
RESI AREA	10765.28
COMM. AREA	783.51
TOTAL	11548.79

RERA CARPET AREA STATEMENT

FLOOR	FLAT NO.	AREA (SQ. FT.)	CARPET AREA (SQ. FT.)	NET FLOOR AREA (SQ. FT.)
1ST FLOOR	1	1125	1050	1050
2ND FLOOR	2	1125	1050	1050
3RD FLOOR	3	1125	1050	1050
4TH FLOOR	4	1125	1050	1050
5TH FLOOR	5	1125	1050	1050
6TH FLOOR	6	1125	1050	1050
7TH FLOOR	7	1125	1050	1050
8TH FLOOR	8	1125	1050	1050
9TH FLOOR	9	1125	1050	1050
10TH FLOOR	10	1125	1050	1050
11TH FLOOR	11	1125	1050	1050
12TH FLOOR	12	1125	1050	1050
13TH FLOOR	13	1125	1050	1050
14TH FLOOR	14	1125	1050	1050
15TH FLOOR	15	1125	1050	1050
16TH FLOOR	16	1125	1050	1050
17TH FLOOR	17	1125	1050	1050
18TH FLOOR	18	1125	1050	1050
19TH FLOOR	19	1125	1050	1050
20TH FLOOR	20	1125	1050	1050
21TH FLOOR	21	1125	1050	1050
22ND FLOOR	22	1125	1050	1050
TOTAL		24750	23625	23625

CAR PARKING STATEMENT

FLOOR	FLAT NO.	AREA (SQ. FT.)	CARPET AREA (SQ. FT.)	NET FLOOR AREA (SQ. FT.)
1ST FLOOR	1	1125	1050	1050
2ND FLOOR	2	1125	1050	1050
3RD FLOOR	3	1125	1050	1050
4TH FLOOR	4	1125	1050	1050
5TH FLOOR	5	1125	1050	1050
6TH FLOOR	6	1125	1050	1050
7TH FLOOR	7	1125	1050	1050
8TH FLOOR	8	1125	1050	1050
9TH FLOOR	9	1125	1050	1050
10TH FLOOR	10	1125	1050	1050
11TH FLOOR	11	1125	1050	1050
12TH FLOOR	12	1125	1050	1050
13TH FLOOR	13	1125	1050	1050
14TH FLOOR	14	1125	1050	1050
15TH FLOOR	15	1125	1050	1050
16TH FLOOR	16	1125	1050	1050
17TH FLOOR	17	1125	1050	1050
18TH FLOOR	18	1125	1050	1050
19TH FLOOR	19	1125	1050	1050
20TH FLOOR	20	1125	1050	1050
21TH FLOOR	21	1125	1050	1050
22ND FLOOR	22	1125	1050	1050
TOTAL		24750	23625	23625



NOTE: This is digitally signed plan & does not require physical signatures

FORM - II

M/S. EMBASSY ENTERPRISES  
 SANJAY DALICHAN D SHAH  
 ANAND SALVE  
 HARESH CHANDI RAM BHAGAT  
 Anil Prabhakar Dhanraj

**STATEMENT OF ACCOUNT**

**EMBASSY ENTERPRISES**  
 B-106  
 SANJAY APARTMENT  
 SVP ROAD BORIVALI WEST  
 400092

**CENTRAL BANK OF INDIA**  
 MALAD, MALAD, MUMBAI  
 VISHNU BHAVAN  
 ANAND ROAD, OPP. RLY. STATION  
 Branch Code : 618  
 GSTIN : 27AAACC2496P123

Account No.: 5370396093  
 Product : CD-GEN-PUB-OTH-METRO-1NR  
 Currency : INR

Nomination: R  
 Date : 27/07/2023 Time : 10:14:38 E-mail :  
 Cleared Balance : 57,264.00Cr Uncleared Amount : 0.00  
 Limit : 0.00 Drawing Power : 0.00 Int. Rate : 0.0000% p.a.  
 Statement From 21/03/2023 to 27/07/2023 Page No. : 1

Value	Post Date	Details	Chq. No.	Debit	Credit	Balance
		<b>CARRIED FORWARD :</b>				0.00
13/03/23	23/03/23	NEFT EMBASSY ENTERPRISES NICBN233062004874			1,500.00	7,500.00Cr
27/06/23	27/06/23	NEFT EMBASSY ENTERPRISES NICBN23178004607			50,000.00	57,500.00Cr
07/07/23	07/07/23	JCR CHQ 18806		200.00		57,300.00Cr
07/07/23	07/07/23	GST		36.00		57,264.00Cr

**CARRIED FORWARD :**

**57,264.00Cr**

**Page Summary** Dr. Count 2 Cr. Count 2 236.00 57,500.00

In Case Your Account Is Operated By A Letter Of Authority/Power Of Attorney Holder, Please Check The Transaction With Extra Care.

— END OF STATEMENT — \*\*\*\* Toll Free No. 1800221911\*\*\*\*



**STATEMENT OF ACCOUNT**

CENTRAL BANK OF INDIA  
MALAD\_MALAD, MUMBAI  
VISHNU BHAVAN  
ANAND ROAD, OPP.RLY.STATION  
Branch Code : 618  
GSTIN:27AAAC2498P123

**EMBASSY ENTERPRISES**  
B-106  
SANDAY APARTMENT  
SVP ROAD BORIVALI WEST  
400092

Account No.: 5370258383  
Product : CD-GEN-PUB-OTH-METRO-1NR  
Currency : INR

Nomination:R  
Date : 27/07/2023

Time : 10:17:18

E-mail :

Cleared Balance :

57,264.00Cr

Uncleared Amount :

0.00

Limit :

0.00

Drawing Power :

0.00

Int. Rate : 0.0% 10% p.a.

Statement From 21/03/2023 to 27/07/2023

Page No. : 1

Value Date	Post Date	Details	Chq. No.	Debit	Credit	Balance
		BROUGHT FORWARD :				0.00
23/03/23	23/03/23	NEFT EMBASSY ENTERPR NICBN23082004620			7,500.00	7,500.00Cr
27/06/23	27/06/23	NEFT EMBASSY ENTERPR NICBN231178004782			50,000.00	57,500.00Cr
27/07/23	07/07/23	MICR CHD ISSUE		200.00		57,300.00Cr
27/07/23	07/07/23	GST		36.00		57,264.00Cr

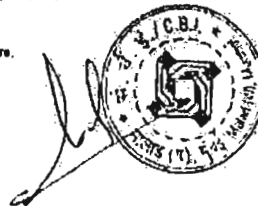
CARRIED FORWARD :

57,264.00Cr

Page Summary      Dr. Count 2      Cr. Count 2      236.00      57,500.00

In Case Your Account is Operated By A Letter Of Authority/Power Of Attorney Holder, Please Check The Transaction With Extra Care.

\*— END OF STATEMENT —\*      \*\*\*\*Toll Free No. 1800221911\*\*\*\*



**EMBASSY ENTERPRISES**

B/106, Sanjay Apartment,  
S.V.P Road, Borivali (West)  
Mumbai – 400 092.

Date : 28/07/2023

Housing Development Finance Corporation Limited  
Ramon House, H T Parekh Marg  
169, Backbay Reclamation  
Churchgate, Mumbai 400 020

Dear Sir,

We have submitted documents of project Marquis Residences Phase-I and Marquis Residences Phase-II situated at- CTS. No.1406/10 of Village- Malad (s), off Chincholi Bunder Road, Malad (W), Mumbai-64 to you for approval for financing individual customers who have purchased a unit in the project.

The project is registered under RERA and the RERA registration number of Marquis Residences Phase- I is P51800050800 and Marquis Residences Phase-II is P51800051092. Under these RERA registration numbers we have registered 3 numbers) Buildings and they are identified as Wings (A wing, B & C wing) (Wings/Number/Types) on the RERA site.

We are aware that HDFC under instructions from the customer will be disbursing the loan in favour of the developer. We would like to register our bank account with HDFC and confirm that we have no objection receiving the disbursement amount by way of Electronic Funds Transfer facility.

We are also attaching a copy of Bank Letter for your records.

1. Credit the amount received from HDFC to the account of the customer (purchaser) without any delay.
2. Issue necessary receipts to the customer (purchaser) for such payments.
3. Inform HDFC and the customer of any change in the RERA Bank account.

We also declare and confirm that in compliance with RERA, the amounts realized for the real estate project from the flat/shop/commercial space purchasers, from time to time, shall be deposited in a separate account maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose.

**This is also to confirm following are the authorized signatories for the project**

Name of the authorized signatory –



**EMBASSY ENTERPRISES**

B/106, Sanjay Apartment,  
S.V.P Road, Borivali (West)  
Mumbai – 400 092.

1. Mr.Sanjay D.Shah
2. Mr.Chetan D.Shah
3. Mr.Ramesh B.Gurnani
4. Mrs.Sonia R.Gurnani

**Designation of the authorized signatory : Partner/s**

Email ID : [info@marquisresidences.in](mailto:info@marquisresidences.in)

Yours Sincerely,

**For M/s. Embassy Enterprises,**



---

(Partner/Authorized Signatory)





महाराष्ट्र शासन

## मालमत्ता पत्रक

[महाराष्ट्र जमीन महसूल (गाव, नगर व शहर भूमापन) नियम, १९६९ यातील नियम ७ नमुना "ड"]

ULPIN:  
50024375765



50024375765

गाव/पेठ : मालाड (द)	तालुका/न.भू.का. : नगर भूमापन अधिकारी, मालाड	जिल्हा : मुंबई उपनगर
नगर भूमापन क्रमांक	शिफ्ट नंबर	प्लॉट नंबर
क्षेत्र चौ.मी.	धारणाधिकार	शासनाला दिलेल्या आकारणीचा किंवा भाव्याचा तपशील आणि त्याच्या फेरतपासणीची नियत वेळ
१४०६/१०/१		३४०६.७० सी

सुविधाधिकार :
हक्काचा मूळ धारक :
वर्ष : २०२२
पट्टेदार :
इतर मार :
इतर शेर :

दिनांक	व्यवहार	खंड क्रमांक	नवीन धारक(घ), पट्टेदार(प) किंवा मार (झ)	समजांकन
06/09/2022	पोटहिस्सा आदेश नोंद - जिल्हाधिकारी, मुंबई उपनगर यांचेकडील आदेश क्रमांक : सी/कार्या-७ब/पोवि/एसआरबी-५८६९ आदेश दिनांक : २३/०६/२०२२, Executive Engineer Building Proposal मंजूर रेखांकन क्रमांक : Ch.E./DP३४२०२१०९११३४५१४४ दिनांक : २५/०९/२०२१, पोटहिस्सा मो.र.क्र. : ६२०/२०२२ दिनांक : २३/०८/२०२२ अन्वये न.भू.क्र. १४०६/१० मध्ये पोटहिस्से झाल्याने न.भू.क्र. १४०६/१० ची मिल्कत पत्रिका रद्द करून न.भू.क्र. १४०६/१०/२, १४०६/१०/१, या नवीन मिल्कत पत्रिका तयार केल्या असत.		H मेसर्स अॅम्बेसी इंटरप्रायझेस	फेरफार क्र. १२८५ प्रमाणे सती- 06/09/2022 न.भू.अ. मालाड

<p>हि मिल्कत पत्रिका (दिनांक 06/09/2022 03:09:34 PM रोजी) डिजिटल स्वाक्षरी केली आहे</p>	<p>डिजिटल स्वाक्षरी केली आहे</p>
---	----------------------------------



महाराष्ट्र शासन

## मालमत्ता पत्रक

[महाराष्ट्र जमीन महसूल (गाव, नगर व शहर भूमापन) नियम, १९६९ यातील नियम ७ नमुना "ड"]

ULPIN:  
50024918218



50024918218

गाव/पेठ : मालाड (द)		तालुका/न.भू.का. : नगर भूमापन		जिल्हा : मुंबई उपनगर	
		अधिकारी, मालाड			
नगर भूमापन क्रमांक	सिट नंबर	प्लॉट नंबर	क्षेत्र चौ.मी.	वारणाधिकार	शासनाला दिलेल्या आकारणीचा किंवा भाड्याचा तपशील आणि त्याच्या फेरतपासणीची नियत वेळ
१४०६/१०/२			१८९.३०	सी	

सुविधाधिकार :
हक्काचा मूळ धारक :
वर्ष : २०२२
पट्टेदार :
इतर भार :
इतर शर्रे :

दिनांक	व्यवहार	खंड क्रमांक	नविन धारक(घा), पट्टेदार(घ) किंवा भार (इ)	साक्षात्करण
06/09/2022	पोटहिस्सा आदेश नोंद - जिल्हाधिकारी मुंबई उपनगर यांचेकडील आदेश क्रमांक : सी/कार्या-हब/पोवि/एसआरबी-५८६९ आदेश दिनांक : २३/०६/२०२२, Executive Engineer Building Proposal मंजूर रेखांकन क्रमांक : Ch.E./DP३४२०२१०९१११३४५५४४ दिनांक : २५/०९/२०२५, पोटहिस्सा मो.र.क्र. : ६२०/२०२२ दिनांक : २३/०८/२०२२ अन्वये न.भू.क्र. १४०६/१० मध्ये पोटहिक्ये झाल्याने न.भू.क्र. १४०६/१० ची मिळकत पत्रिका रद्द करून न.भू.क्र. १४०६/१०/२, १४०६/१०/१, या नवीन मिळकत पत्रिका तयार केल्या असत.		H [ मेसर्स अॅम्बेसी इंटरप्रायझेस रोड सेट बॅक ]	फेरफार क्रं. १२८५ प्रमाणे सही- 06/09/2022 न.भू.अ. मालाड
21/12/2022	ताबापावती नोंद सह दु.नि. बोरीवली ६ यांचेकडील र.द.क्र. २३६०३/२०२२ दिनांक २३/११/२०२२ अन्वये मेसर्स अॅम्बेसी इंटरप्रायझेस यांनी ताबापावती दिल्याने ताबापावती क्षेत्रासाठी ताबापावती देणार यांचे नाव कमी करून ताबापावती घेणार यांचे नाव दाखल केले.	सह दु.नि. बोरीवली ६ 23603/2022 23/11/2022	H बृहन्मुंबई महानगर पालिका १८९.३० चौ.मी	फेरफार क्रं. १२९३ प्रमाणे सही- 21/12/2022 न.भू.अ., न.भू.अ. मालाड

हे मिळकत पत्रक डिजिटल स्वाक्षरी केलेले आहे	
हे मिळकत पत्रिका (दिनांक 21/12/2022 07:12:53 PM रोजी) डिजिटल स्वाक्षरी केली आहे	



**मालमत्ता पत्रक**

भाग/मोजे - मालाड (र)

तत्सुका/न.भु.मा.का. -- न.भु.अ.मालाड

जिल्हा - मुंबई उपनगर जिल्हा

गर वृत्तन सिट नंबर प्लॉट नंबर क्षेत्र धारणाधारक शासकता दिक्तीना अकरावीचा किंवा पादपत्रक तपसले आणि त्याच्या फेर तपसलोची रिपट वेळ)

१४०६/१०

इनांक	ध्यावहार	खंड क्रमांक	नविन घरक (धा) पट्टेदार (ध) किंवा पार (धा)	समाप्तिना
१९/०१/२०१३	पैकी (खरोपीने) सह दुय्यम निर्बंधक बोटीपली क्र. १ बर-२/५, २६०/१६ व नोंदणी दि. २०/५/२०११ अन्वये खरोपी देणार खोलीनी आर.कमू यांनी न.भु.क्र.१४०६/१० पैकी आपला अधिभाजित हिस्सा खरोपी दिलेने त्यांचे नाव कमी करून खरोपी देणार मेसर्स ओम्बेसी इंटरप्रायझेस यांचे नाव राखल केलेली नोंद केलेली.		घरक मेसर्स ओम्बेसी इंटरप्रायझेस. क्षेत्र ८९९.० चौ.मी.	फेरपत्रक क्र.५६५ प्रमाणे खंड - १९/०१/२०१३ न.भु.अ.मालाड
१९/०१/२०१३	पैकी (खरोपीने) सह दुय्यम निर्बंधक बोटीपली क्र. १ बर-२/५, २६२/१६ दि. २१/२/१६ व नोंदणी दि. २०/५/२०११ अन्वये खरोपी देणार किना सौ. बदलाची यांनी न.भु.क्र.१४०६/१० पैकी आपला अधिभाजित हिस्सा खरोपी दिलेने त्यांचे नाव कमी करून खरोपी देणार मेसर्स ओम्बेसी इंटरप्रायझेस यांचे नाव राखल केलेली नोंद केलेली.		घरक मेसर्स ओम्बेसी इंटरप्रायझेस. क्षेत्र ८९९.० चौ.मी.	फेरपत्रक क्र.५६५ प्रमाणे खंड - १९/०१/२०१३ न.भु.अ.मालाड
१९/०१/२०१३	पैकी (खरोपीने) सह दुय्यम निर्बंधक बोटीपली क्र. १ बर-२/५, २५९/१६ दि. २१/२/१६ व नोंदणी दि. २०/५/२०११ अन्वये खरोपी देणार कानका आर. कुमल यांनी न.भु.क्र.१४०६/१० पैकी आपला अधिभाजित हिस्सा खरोपी दिलेने त्यांचे नाव कमी करून खरोपी देणार मेसर्स ओम्बेसी इंटरप्रायझेस यांचे नाव राखल केलेली नोंद केलेली.		घरक मेसर्स ओम्बेसी इंटरप्रायझेस. क्षेत्र ८९९.० चौ.मी.	फेरपत्रक क्र.५६५ प्रमाणे खंड - १९/०१/२०१३ न.भु.अ.मालाड
०७/१३/२०१५	या कारणाची आयुक्त आणि संचालक भूमि अधिस्त्रेख (प.सुन्य) पुणे यांचेकडील धोरणक्र. क्र. न.भु.६/६/५/ अकरावे नोए/२०१५ पुणे दिनांक १६/०२/२०१५ व इकाईल आदेश क्र. न.भु.मालाड/६/५/क्र.८४४ दिनांक ०५/१३/२०१५ अन्वये एकूण चौ.मी./हे.टु./चि.से. सोपली नुसार क्षेत्र कायदा केले असलेने व सराचे क्षेत्र व भिन्नकृत पत्रकेवरील क्षेत्र येथेच असलेने भिन्नकृत पत्रकेवर नमुद अन्वये क्षेत्र अक्षरी तीनु इन्वार पाचवे नकाशाव्यव पुणेकर शून्य दरारास चौ.मी. राखल केलेली.			फेरपत्रक क्र.८४४ प्रमाणे खंड - ०७/१३/२०१५ न.भु.अ.मालाड
०६/११/२०२०	या सह दुय्यम निर्बंधक खोरीकला-३ मुंबई उपनगर जिल्हा यांचेकडील खोलीकृत दस्त क्र.बाल ६/६१०५/२०२० दिनांक ०६/०९/२०२० व सृष्टी क्र.२ अन्वये सरा भिन्नकृतीचे पार्षीत धारक श्री. सत्यपाल ने. वावलांनी यांनी त्यांचा अंशकत्व १/४ हिस्सा ८९९.०० चौ.मी. क्षेत्र मेसर्स ओम्बेसी इंटरप्रायझेस यांना कालक्रमानुसार खरोपीने दिलेने भिन्नकृत पत्रकेवरील धारक श्री. सत्यपाल ने. वावलांनी यांचे नाव कमी करून ८९९.०० क्षेत्र धारक सराठी मेसर्स ओम्बेसी इंटरप्रायझेस यांचे नाव राखल केलेली नोंद केलेली खरोपीने		घरक मेसर्स ओम्बेसी इंटरप्रायझेस क्षेत्र ८९९.० चौ.मी.	फेरपत्रक क्र.११२० प्रमाणे खंड - ६/११/२०२० न.भु.अ.मालाड



त्यासणी करमात - ५/११/२०२० खरो नकाशा - २००१-  
०६/११/२०२०  
अर्थ संचालक  
अर्थ संचालक कार्यालय  
२०२०

अर्थ संचालक  
अधिकारी



# भारतीय विमानपत्तन प्राधिकरण AIRPORTS AUTHORITY OF INDIA

JUHU/WEST/B/111821/635875

मालिक का नाम एवं पता

Mr.Chetan Shah Partner of M/s.Embassy  
Enterprises

दिनांक/DATE: 23-12-2021

OWNERS Name &  
Address

B-106,Sanjay  
Apartments,S.V.P.Road,Borivali  
(West),Mumbai-400092.

वैधता/ Valid Up to: 22-12-2029

## ऊँचाई की अनुमति हेतु अनापत्ति प्रमाण पत्र (एनओसी) No Objection Certificate for Height Clearance

1) यह अनापत्ति प्रमाण पत्र भारतीय विमानपत्तन प्राधिकरण (भाविप्रा) द्वारा प्रदत्त दायित्वों के अनुक्रम तथा सुरक्षित एवं नियमित विमान प्रचालन हेतु भारत सरकार (नागर विमानन मंत्रालय) की अधिसूचना जी. एस. आर. 751 (ई) दिनांक 30 सितम्बर, 2015, जी. एस. आर. 770 (ई) दिनांक 17 दिसंबर 2020 द्वारा संशोधित, के प्रावधानों के अंतर्गत दिया जाता है।  
1. This NOC is issued by Airports Authority of India (AAI) in pursuance of responsibility conferred by and as per the provisions of Govt. of India (Ministry of Civil Aviation) order GSR751 (E) dated 30th Sep.2015 amended by GSR770(E) dated 17th Dec 2020 for safe and Regular Aircraft Operations.

2) इस कार्यालय को निम्नलिखित विवरण के अनुसार प्रस्तावित संरचना के निर्माण पर कोई आपत्ति नहीं है।  
2. This office has no objection to the construction of the proposed structure as per the following details:

अनापत्ति प्रमाणपत्र आईडी / NOC ID	JUHU/WEST/B/111821/635875 ✓
आवेदक का नाम / Applicant Name*	Mr.Vilas Sawant
स्थल का पता / Site Address*	C.T.S.No.1406/10 of Village Malad (South) at Vibgyor School Road,Malad (West),Mumbai.,Malad,Mumbai,Maharashtra ✓
स्थल के निर्देशांक / Site Coordinates*	19 10 39.46N 72 50 00.31E, 19 10 40.75N 72 50 00.70E, 19 10 38.86N 72 50 02.87E, 19 10 40.14N 72 50 03.74E
स्थल की ऊँचाई एएमएसएल मीटर में (औसतन समुद्र तल से ऊपर), (जैसा आवेदक द्वारा उपलब्ध कराया गया) / Site Elevation in mtrs AMSL as submitted by Applicant*	5.03 M ✓
अनुमन्य अधिकतम ऊँचाई एएमएसएल मीटर में (औसतन समुद्र तल से ऊपर) / Permissible Top Elevation in mtrs Above Mean Sea Level(AMSL)	155.03 M ✓

\* जैसा आवेदक द्वारा उपलब्ध कराया गया / As provided by applicant\*

30/12/21



क्षेत्रीय मुख्यालय पश्चिमी क्षेत्र पोर्ट केबिंस, नई एयरपोर्ट कॉलोनी, हनुमान रोड के सामने, विलेपारले ईस्ट  
मुंबई- 400099 दूरभाष संख्या : 91-22-28300606

Western Region, Porta Cabins, New Airport Colony, Opposite Hanuman Road, Vile Parle East  
Mumbai-400099 Tel. no. 91-22-28300606



# भारतीय विमानपत्तन प्राधिकरण AIRPORTS AUTHORITY OF INDIA

JUHU/WEST/B/111821/635875

क्षेत्र का नाम / Region Name: पश्चिम/WEST

पदनामित अधिकारी/Designated Officer	पश्चिम 23/12/2021 मूसा टी. एफ. / MOOSA T. F. महाप्रबंधक (ए.टी.एम.), पश्चिमी क्षेत्र General Manager (A.T.M.), Western Region भारतीय विमानपत्तन प्राधिकरण / Airports Authority of India मुंबई / Mumbai - 400 099.
नाम/ पदनाम/दिनांक सहित हस्ताक्षर Name/Designation/Sign with date	
द्वारा तैयार Prepared by	 Koradkary 23/12/21 Astok Tirkey GM (ATM)
द्वारा जांचा गया Verified by	P.K. Sinha 23/12/2021 AGM (ATM - DADR)

ईमेल आईडी / EMAIL ID : nocwr@aai.aero  
फोन/ Ph: 022-28300656

ANNEXURE/अनुलग्नक

## Distance From Nearest Airport And Bearing/निकटतम विमानक्षेत्र से दूरी और बीयरिंग

Airport Name/ विमानक्षेत्र का नाम	Distance (Meters) from Nearest ARP/निकटतम विमानक्षेत्र संदर्भ बिंदु से दूरी (मीटर में)	Bearing(Degree) from Nearest ARP/निकटतम विमानक्षेत्र संदर्भ बिंदु से बीयरिंग (डिग्री)
Juhu	8848.12	0.83
Navi Mumbai	32071.43	309.86
Santa Cruz	10084.36	341.29
NOCID	JUHU/WEST/B/111821/635875	

क्षेत्रीय मुख्यालय पश्चिमी क्षेत्र पोर्टा कैबिंस, नई एयरपोर्ट कॉलोनी, हनुमान रोड के सामने, विलेपारले ईस्ट  
मुंबई- 400099 दूरभाष संख्या : 91-22-28300606

Regional headquarter Western Region, Porta Cabins, New Airport Colony, Opposite Hanuman Road, Vile Parle East  
Mumbai-400099 Tel. no. 91-22-28300606

EC

ENVIRONMENTAL  
CLEARANCE

**PARIVESH**  
*(Pro-Active and Responsive Facilitation by Interactive,  
and Virtuous Environmental Single-Window Hub)*



**Government of India**  
**Ministry of Environment, Forest and Climate Change**  
**(Issued by the State Environment Impact Assessment**  
**Authority(SEIAA), Maharashtra)**

To,

The PARTNER  
EMBASSY ENTERPRISES  
b/106 SANJAY AOARTMENT S.V.P ROAD BORIVALI WEST MUMBAI  
400092 -400092

**Subject:** Grant of Environmental Clearance (EC) to the proposed Project Activity under the provision of EIA Notification 2006-regarding

Sir/Madam,

This is in reference to your application for Environmental Clearance (EC) in respect of project submitted to the SEIAA vide proposal number SIA/MH/MIS/258226/2022 dated 24 Feb 2022. The particulars of the environmental clearance granted to the project are as below:

- |  |                                      |
|--|--------------------------------------|
| 1. EC Identification No.                   | EC22B038MH146455                     |
| 2. File No.                                | SIA/MH/MIS/258226/2022               |
| 3. Project Type                            | Other                                |
| 4. Category                                | Other                                |
| 5. Project/Activity including Schedule No. | (a) Bridge and Construction projects |
| 6. Name of Project                         | Embassy Enterprises                  |
| 7. Name of Company/Organization            | EMBASSY ENTERPRISES                  |
| 8. Location of Project                     | Maharashtra                          |
| 9. TOR Date                                | N/A                                  |



The project details along with terms and conditions are appended herewith from page no 2 onwards.

Date: 25/07/2022

(e-signed)  
Manisha Patankar Mhaiskar  
Member Secretary  
SEIAA - (Maharashtra)

*Note: A valid environmental clearance shall be one that has EC identification number & E-Sign generated from PARIVESH. Please quote identification number in all future correspondence.*

*This is a computer generated cover page.*

**STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY**

No. SIA/MH/MIS/258226/2022  
Environment & Climate  
Change Department  
Room No. 217, 2<sup>nd</sup> Floor,  
Mantralaya, Mumbai- 400032.

To  
M/s. EMBASSY ENTERPRISES,  
CTS No. 1406/10 of Village Malad (S),  
off Chincholi Bunder Road at Malad (W),  
Mumbai.

**Subject** : Environmental Clearance for proposed Residential cum Commercial Project at CTS No. 1406/10 of Village Malad (S), off Chincholi Bunder Road at Malad (W), Mumbai by M/s. EMBASSY ENTERPRISES.

**Reference** : Application no. SIA/MH/MIS/258226/2022

This has reference to your communication on the above-mentioned subject. The proposal was considered by the SEAC-2 in its 174<sup>th</sup> meeting under screening category 8 (a) B2 as per EIA Notification, 2006 and recommend to SEIAA. Proposal then considered in 245<sup>th</sup> (Day-2) meeting of State Level Environment Impact Assessment Authority (SEIAA).

2. Brief Information of the project submitted by you is as below:-

Sr. No.	Description	Details	
1	Proposal Number	SIA/MH/MIS/258226 /2022	
2	Name of Project	M/s. Embassy Enterprises	
3	Project category	8 a	
4	Type of Institution	Private	
5	Project Proponent	Name	Mr. Sanjay D. Shah
		Regd. Office address	B/106, Sanjay Apartment, S.V.P Road, Borivali – West, Mumbai – 400 092
		Contact Detail	98676 69398
		e-mail	info@kdigroup.in
6	Consultant	EIA Coordinator: Sourabh Jaiswar Pollution & Ecology Control Service NABET/EIA/2023/SA/0165 Validity till 16-10-2022	
7	Applied for	Greenfield	
8	Location of the project	CTS No. 1406/10 of Village Malad (S), off Chincholi Bunder Road at Malad (W),	



		Mumbai, Maharashtra- 400 064					
9	Latitude and Longitude	19° 10' 40. 24" N & 72° 50' 02. 10" E					
10	Plot Area (sq.m.)	3596.00					
11	Deductions (sq.m.)	189.24					
12	Net Plot area (sq.m.)	3406.76					
13	Ground coverage (m <sup>2</sup> ) & %	48.11 %					
14	FSI Area (sq.m.)	11548.85					
15	Non-FSI (sq.m.)	13695.35					
16	Proposed built-up area (FSI + Non FSI) (sq.m.)	25844.20					
17	TBUA (m <sup>2</sup> ) approved by Planning Authority till date	25844.20 approved by MCGM dated 04-01-2022					
18	Earlier EC details with Total Construction area, if any.	NA					
19	Construction completed, as per earlier EC (FSI + Non FSI) (sq.m.)	NA					
20	<b>Previous EC / Existing Building</b>	<b>Proposed Configuration</b>				<b>Reason for Modification / Change</b>	
		<b>Building Name</b>	<b>Configuration</b>	<b>Height (m)</b>	<b>Building Name</b>	<b>Configuration</b>	<b>Height (m)</b>
		NA	NA	NA	01 Bldg.	B + Gr/St + 1st floor part for Commercial & part for Parking + 2 Podium + 4th to 22nd upper floors)	69.95
21	No. of Tenements & Shops	Tenements: 186, Shops 12					
22	Total Population	838 No's					
23	Total Water Requirements CMD	121 KLD					
24	Under Ground Tank (UGT) location	Basement					
25	Source of water	MCGM					
26	STP Capacity & Technology	120 KLD MBBR Technology					
27	STP Location	Basement					
28	Sewage Generation CMD & % of sewage discharge in sewer line	103 & discharge 44.58 %					
29	Solid Waste Management during Construction Phase	<b>Type</b>	<b>Quantity (Kg/d)</b>	<b>Treatment / disposal</b>			
		Dry waste	12.5	Mcgm			

		Wet waste	10.0	Vendor
		Construction waste	250 cum	Sent to approved site
30	Total Solid Waste Quantities with type during Operation Phase & Capacity of OWC to be installed	Type	Quantity (Kg/d)	Treatment / disposal
		Dry waste	330	Mcgm Vendor
		Wet waste	220	OWC
		E-Waste	15	Mcgm Vendor
		STP Sludge (dry)	12	manure
31	R.G. Area in sq.m.	RG required – 420.18 sq.m		
		RG provided on Mother earth- 420.18 sq.m		
		RG provided on podium – 439.20 sq.m		
		Total – 859.38		
		Existing trees on plot:19		
		Number of trees to be planted:		
		a) In RG area: 50		
		b) In Miyawaki Plantation (with area): Nil		
		Number of trees to be cut: 14		
		Number of trees to be transplanted: Nil		
32	Power requirement	During Operation Phase:		
		Details	MSEB	
		Connected load (KW)	1555	
		Demand load (KW)	700	
33	Energy Efficiency	a) Total Energy saving (%): 20%		
		b) Solar energy (%): 5.10 %		
34	D.G. set capacity	400 KVA		
35	No. of 4-W & 2-W Parking with 25% EV	2W: 25, 4W: 209		
36	No. & capacity of Rain water harvesting tanks /Pits	01 RWH tank : 48 cum		
37	Project Cost in (Cr.)	74.73		
38	EMP Cost	0.90 Cr		
39	CER Details with justification if any as per MoEF&CC circular dated 01/05/2018	NA		
40	Details of Court Cases/litigations w.r.t the project and project location, if any.	NA		

3. Proposal is a new construction project. Proposal has been considered by SEIAA in its 245<sup>th</sup> (Day-2) meeting and decided to accord Environment Clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implantation of following terms and conditions:-

**Specific Conditions:**

**A. SEAC Conditions-**

1. PP to submit IOD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions as per the Circular dated 30.01.2014 issued by the Environment Department, Govt. of Maharashtra.
2. PP to obtain Tree NOC.
3. PP to explore for making Miyawaki plantation on North side of the plot; PP to revise tree list including nos. of trees to be planted in Miyawaki plantation.
4. PP to explore to shift OWC from basement to ground level.
5. PP to relocate parking proposed adjacent to the substation.
6. PP to ensure that minimum 25% of 4-wheeler and 2-wheeler parking are provided with electric charging facility.
7. PP to submit basement ventilation plan along with air purification system & include the cost of same in EMP.
8. PP to reduce discharge of excess treated water up to 35% in to sewer line. PP to submit undertaking from concerned authority/agency/third party regarding use of excess treated water.
9. PP to provide portable STP for workers during construction phase & adopt water conservation measures in operation phase by providing Low Flow Devices (LFD) as plumbing fixtures & accordingly, revise EMP of Construction phase & Operation phase.

**B. SEIAA Conditions-**

1. PP submitted that, there are 19 trees on site and as they have proposed to cut/transplant 14 trees and to retain 4 trees. PP further submitted that, they have proposed to plant 134 trees as compensatory plantation as per amended Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975. PP again submitted that, out of 134 trees PP proposed to plant 50 trees on site and balance trees will be planted as per the directions of planning authority. PP to strictly comply with amended Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975.
2. PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement.
3. PP to achieve at least 5% of total energy requirement from solar/other renewable

sources.

4. PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
5. SEIAA after deliberation decided to grant EC for – FSI – 11548.85 m<sup>2</sup>, Non FSI- 13695.35 m<sup>2</sup>, Total BUA- 25844.20 m<sup>2</sup>. (Plan approval No. CE/7192/BP/AS/WP, Date-07.01.2022).

**General Conditions:**

**a) Construction Phase :-**

- I. The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. Disposal of muck, Construction spoils, including bituminous material during construction phase should not create any adverse effect on the neighbouring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in the approved sites with the approval of competent authority.
- III. Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
- IV. Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
- V. Arrangement shall be made that waste water and storm water do not get mixed.
- VI. Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.
- VII. The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- VIII. Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
- IX. Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
- X. The Energy Conservation Building code shall be strictly adhered to.
- XI. All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- XII. Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- XIII. Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.

- XIV. PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.
- XV. The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environment (Protection) Rules prescribed for air and noise emission standards.
- XVI. PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.
- XVII. Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.
- XVIII. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- XIX. Diesel power generating sets proposed as source of backup power for elevators and common area illumination during construction phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- XX. Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environment cell /designated person.

**B) Operation phase:-**

- I. a) The solid waste generated should be properly collected and segregated. b) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. c) Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
- III. a) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP. b) PP to give 100 % treatment to sewage /Liquid waste and explore the possibility to recycle at

- least 50 % of water, Local authority should ensure this.
- IV. Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.
  - V. The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
  - VI. Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
  - VII. PP to provide adequate electric charging points for electric vehicles (EVs).
  - VIII. Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
  - IX. A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
  - X. Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.
  - XI. The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at [parivesh.nic.in](http://parivesh.nic.in)
  - XII. Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
  - XIII. A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
  - XIV. The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO<sub>2</sub>, NO<sub>x</sub> (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.

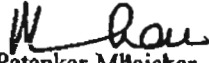
**C) General EC Conditions:-**

- I. PP has to strictly abide by the conditions stipulated by SEAC & SEIAA.
  - II. If applicable "Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
  - III. Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
  - IV. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
  - V. The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
  - VI. No further Expansion or modifications, other than mentioned in the EIA Notification, 2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.
  - VII. This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any, or action initiated under EP Act.
5. This Environment Clearance is issued purely from an environment point of view without prejudice to any court cases and all other applicable permissions/ NOCs shall be obtained before starting proposed work at site.
6. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
7. **Validity of Environment Clearance:** The environmental clearance accorded shall be valid

as per EIA Notification, 2006, amended from time to time.

8. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

9. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1<sup>st</sup> Floor, D-Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.

  
Manisha Patankar-Mhaikar  
(Member Secretary, SEIAA)  
22/7/2022

Copy to:

1. Chairman, SEIAA, Mumbai.
2. Secretary, MoEF & CC, IA- Division MOEF & CC
3. Member Secretary, Maharashtra Pollution Control Board, Mumbai.
4. Regional Office MoEF & CC, Nagpur
5. District Collector, Mumbai Suburban.
6. Commissioner, Municipal Corporation of Greater Mumbai
7. Regional Officer, Maharashtra Pollution Control Board, Mumbai.







FR HOC

**MUNICIPAL CORPORATION OF GREATER MUMBAI**  
**MUMBAI FIRE BRIGADE**

**Sub:** Fire safety requirements for the proposed amendments in construction of high-rise residential building on plot bearing C.T.S. No. 1406/10 of Village Malad (S), off Chinchunder Road at Malad (W), Mumbai.

**Ref:** 1. Online submission from **Mr. Priyank Abhay Bhatt**, Architect.  
2. Online file No. **CE/7192/BP/WS/AP/CFO/2/Amend.**

**Mr. Priyank Abhay Bhatt, Architect**

In this case, please refer to this office N.O.C. issued by this department u/No. FBM/S/506/618 dated 06/10/2006, stipulating fire protection and fire-fighting requirements for construction of High-rise building comprising two wings i.e. residential hotel wing and office wing with lower ground floor, upper level basement & lower level basement. The office block having seven upper floors (part 7th floor) with the height of 25.50 mtrs. from ground level to terrace level. The residential wing having 22nd upper floors with a total height of 81.10 mtrs from general ground level to terrace level.

Further, refer to this Office revised NOC issued under No. CE/7192/BP/WS/AP/CFO/1/Amend dated 28/11/2021 for the proposed construction of High rise residential building comprising of 03 wings designated as Wing 'A', 'B' & 'C'. (Each wing annexed to each other). Whereas Wing 'A' is low rise commercial wing having ground floor & 1<sup>st</sup> upper commercial floor with a total height of 9.00 mtrs measured from general ground level upto terrace level and Wing 'B' & 'C' are high rise wings having common basement (-4.65 mtrs) for car parking by way of 7.00 mtrs wide two way ramp + common ground floor + common 1<sup>st</sup> to 3<sup>rd</sup> podium floor for car parking by way of 7.00 mtrs wide two way ramp + 4<sup>th</sup> to 22<sup>nd</sup> upper residential floors (part 22<sup>nd</sup> floor in wing 'C' only) with a total height of 69.65 mtrs. measured from general ground level up to terrace level.

**Now, Architect has submitted amended plans for approval & proposed the following amendments.**

- 1) Architect has changed the layout of 22<sup>nd</sup> floor of wing 'B' & 'C' and proposed to construct 03 nos. of residential flats + part terrace on 22<sup>nd</sup> floor of Wing 'B' & 'C' instead of earlier approved 05 nos. of Residential flats + Swimming pool (open to sky) in Wing 'B' & 04 nos. of Residential flats + part terrace in Wing 'C' as shown on the plan.
- 2) Architect has changed the location of earlier approved swimming pool (open to sky) on terrace floor of wing 'B' as shown on the plan.
- 3) There are minor internal changes on each floor of each wing as shown on the plan.
- 4) There are changes in parking layout / statement as shown on the plan.

As per the Architect, there is no any other change/modification except above amendments.

**The proposal is considered favourably in view of the facts that:**

- i) N.O.C. from this department for above mentioned building is already issued U/no: FBM/S/506/618 dated 06/10/2006 (treated as cancelled) & CE/7192/BP/WS/AP/CFO/1/Amend dated 28/11/2021.
- ii) The plot abuts on 18.30 mtrs wide Road on East side as shown on the plan.
- iii) There shall be no compound wall on 18.30 mtrs wide Road on East side as shown on the plan.
- iv) Automatic sprinkler system will be provided in car parking areas in basement & each podium floor covering each level of car parking, in each shop (above & below loft) on ground & 1<sup>st</sup> floor of wing 'A', in society office, in fitness center, in each room of each residential flats on each floor of wing 'B' & 'C' & in each lift lobby/common corridor of each floor of each wing as per relevant I.S. standards laid down.
- v) Feasible active and passive fire protection and fire-fighting requirements or any additional fire recommendation/requirements if any for proposed building will be recommended in future from Mumbai Fire Brigade Officer before final occupation.

In the view of the above as far as this department is concerned, there would be no objection for the proposed above mentioned amendments in construction of the high rise residential building comprising of 03 wings designated as Wing 'A', 'B' & 'C'. (Each wing annexed to each other). Whereas Wing 'A' is low rise commercial wing having ground floor & 1<sup>st</sup> upper commercial floor with a total height of 9.00 mtrs measured from general ground level upto terrace level and Wing 'B' & 'C' are high rise wings having common basement (-4.65 mtrs) for car parking by way of 7.00 mtrs wide two way ramp + common ground floor + common 1<sup>st</sup> to 3<sup>rd</sup> podium floor for car parking by way of 7.00 mtrs wide two way ramp + 4<sup>th</sup> to 22<sup>nd</sup> upper residential floors (part 22<sup>nd</sup> floor in wing 'B' & 'C') with a total height of 69.65 mtrs. measured from general ground level up to terrace level as shown on enclosed plans, signed in token of approval subject to satisfactory compliance with the following requirements;

1. All the requirements stipulated earlier vide N.O.C. under No. CE/7192/BP/WS/AP/CFO/1/Amend dated 28/11/2021 shall be strictly adhered to entire building.

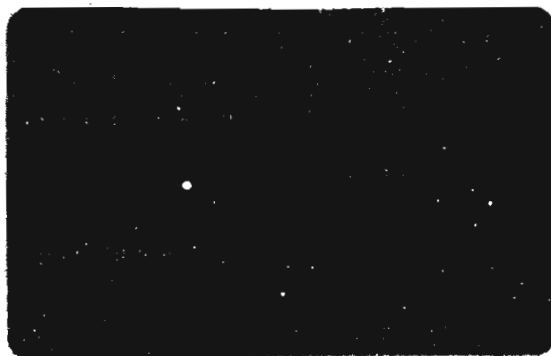
Earlier, party has paid scrutiny fees of Rs. 2,31,700/- vide receipt No. 676242 dated 05/10/2006 on the total gross built-up area of 23,170.00 sq. mtrs. as certified by the Architect.

Further, the Architect vide his letter has certified the total gross built-up area as 23,600.00 sq. mtrs. and party has paid additional scrutiny fees of Rs. 13,02,300/- vide Receipt No. 1117033, 1117034 & 1117035 SAP DOC No. 1004191345 dated 15/11/2021 towards the difference.

Now the Architect vide his letter dated 17/01/2022 has certified the gross built up area as 23,600.00 sq. mtrs and the party has already paid the required scrutiny fees as per the present norms, hence no additional scrutiny fees is applicable.

However, E.E.B.P. (W.S) is requested to verify the gross built up area and inform this department if the same is found to be more for levying the additional scrutiny fees if any.





Note:- This Photo Copy Is Submitted to  
Bank of Baroda For  
Bank APF Dated 21/07/2023

**JINESH A. CHOKSI**

B-27, OUR HOME Society,  
Sahakar Nagar, J.P. Road,  
Andheri (West),  
Mumbai - 400 053

FORM-2

**ENGINEER'S CERTIFICATE**

(To be submitted at the time of Registration of Ongoing Project and for withdrawal  
of Money from Designated Account- Project wise)

Date: 30/12/2023

To

M/s. Embassy Enterprises (Promoter),  
B/106, Sanjay Apartment,  
S.V.P Road, Borivali (West),  
Mumbai - 400 092.

Subject: Certificate of Cost Incurred for Development of Project MARQUIS RESIDENCES PHASE - 2 for Plot bearing Survey No. 504 (pt), old Survey No.271 Bearing CTS No.1406/10 reformulated as CTS No.1406/10/1 bearing area 3406.70 sq.mts. and CTS No.1406/10/2 bearing area 189.30 sq.mts. MAHARERA REG. NO. P51800051092 demarcated by its boundaries (latitude and longitude of the end points) By Plot AB & G of the said layout Scheme on or towards the North, By Plot No.1 of the said layout Scheme on or towards the South, By 60' wide existing Road on or towards the East, Survey No.504 (pt) to the West, Village Malad (s). off Chincholi Bunder Road, Malad (West), Mumbai- 400064. Totally Admeasuring 3596 sq.mts. plot area (as per CTS Record) being developed by "M/s. Embassy Enterprises." ("Promoters").

Reference : Maha RERA Registration Number P51800051092

=====

*J. Choksi*

# JINESH A. CHOKSI

B-27, OUR HOME Society,  
Sahakar Nagar, J.P. Road,  
Andheri (West),  
Mumbai - 400 053

Sir,

// We Mr. Jinesh A. Choksi have undertaken assignment of certifying Estimated Cost for the Subject Real Estate Project proposed to be registered under MAHA RERA, being the project MARQUISE RESIDENCES PHASE - II for Plot bearing Survey No. 504 (pt), old Survey No.271 Bearing CTS No.1406/10 reformulated as CTS No.1406/10/1 bearing area 3406.70 sq.mts. and CTS No.1406/10/2 bearing area 189.30 sq.mts. totally admeasuring 3596 sq.mts. being developed by M/s. Embassy Enterprises [Promoter],

1. Following technical professionals are appointed by Owner / Promoter :-

(i)	M/s. DP Associates Mr. Priyank Bhatt	Licensed Surveyor
(ii)	M/s. DP Associates Mr. Devang Mody	Designing Architect
(iii)	M/s. Sura & Associates (Mr. Piyushkumar K. Sura)	Structural Consultant
(iv)	M/s. Urja Building Services Consultants Pvt. Ltd., (Mr. Mandhar Bhilkar and Mrs. Sheetal M. Bhilkar)	MEP Consultant
(v)	Mr. Mahendra A. Mane	Site Supervisor
(vi)	Mr. Jinesh Ashok Choksi	Site Engineer

2. We have estimated the cost of the completion to obtain part/full Occupation Certificate/ Completion Certificate, of the Civil, MEP and Allied works, of the Building(s) of the project. Our estimated cost calculations are based on the Drawings/plans made available to us for the project under reference by the Developer and Consultants and the Schedule of items and quantity for the entire work as calculated by quantity Surveyor\* appointed by Developer/Engineer, and the assumption of the cost of material, labour and other inputs made by developer, and the site inspection carried out by us.



# JINESH A. CHOKSI

B-27, OUR HOME Society,  
Sabakar Nagar, J.P. Road,  
Andheri (West),  
Mumbai - 400 053

3. We estimate Total Estimated Cost of completion of the building(s) of the aforesaid project under reference as Rs.75,25,37,335/- (Rupees Seventy Five Crore Twenty Five Lakhs Thirty Seven Thousand Three Hundred and Thirty Five only) ( Total of Table A and B). The estimated Total Cost of project is with reference to the Civil, MEP and allied works required to be completed for the purpose of obtaining part/full occupation certificate / completion certificate for the building(s) from the MCGM being the Planning Authority under whose jurisdiction the aforesaid project is being implemented.
4. The Estimated Cost Incurred till date 30/12/2023 is calculated at Rs.9,25,00,000/- (Rupees Nine Crore Twenty Five Lakhs Only) (Total of Table A and B). The amount of Estimated Cost Incurred is calculated on the base of amount of Total Estimated Cost.
5. The Balance cost of Completion of the Civil, MEP and Allied works of the Building(s) of the subject project to obtain Occupation Certificate / Completion Certificate from MCGM(planning Authority) is estimated at Rs.66,00,37,335/-(Rupees Sixty Six Crore Thirty Seven Thousand Three Hundred Thirty Five Only) ( Total of Table A and B).
6. I certify that the Cost of the Civil, MEP and allied work for the aforesaid Project as completed on the date of this certificate is as given in Table A and B below

TABLE A (Wing B)

PROJECT NAME : "MARQUISE RESIDENCES PHASE - II "

Sr. No	Particulars	Amounts (Rs)
1	Total Estimated cost of the building/Wing as on 21/01/2023 date of Registration is	Rs.33,86,41,800/-
2	Cost incurred as on 30/12/2023 (based on the estimated cost)	Rs.4,62,50,000 /-
3	Work done in Percentage (as Percentage of the estimated cost)	13.65%

**JINESH A. CHOKSI**

B-27, OUR HOME Society,  
Sahakar Nagar, J.P. Road,  
Andheri (West),  
Mumbai - 400 053

4	Balance cost to be Incurred (Based on Estimated cost)	Rs.29,23,91,800/-
5	Cost Incurred on Additional/Extra Items as on 23/01/2023 not included in the Estimated cost (Annexure A)	Rs.Nil /-

TABLE A (Wing C)

PROJECT NAME : "MARQUISE RESIDENCES PHASE - II "

Sr. No	Particulars	Amounts (Rs)
1	Total Estimated cost of the building/Wing as on 21/01/2023 date of Registration is	Rs.33,86,41,800/-
2	Cost incurred as on 30/12/2023 (based on the estimated cost)	Rs.4,62,50,000 /-
3	Work done in Percentage (as Percentage of the estimated cost)	13.65%
4	Balance cost to be Incurred (Based on Estimated cost)	Rs.29,23,91,800/-
5	Cost Incurred on Additional/Extra Items as on 23/01/2023 not included in the Estimated cost (Annexure A)	Rs.Nil /-



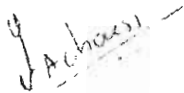
**JINESH A. CHOKSI**

B-27, OUR HOME Society,  
Sahakar Nagar, J.P. Road,  
Andheri (West),  
Mumbai - 400 053

TABLE B

Sr. No	Particulars	Amounts(Rs)
1	Total Estimated cost of the Internal and External Development works including amenities and facilities as on 21/01/2023 date of Registration is	Rs. 7,52,53,733 5
2	Cost Incurred as on 30/12/2023 (based on the Estimated cost)	0.00/-
3	Work done in Percentage (as percentage of the estimated cost)	0.00%
4	Balance cost to be Incurred (Based on Estimated Cost)	Rs. 7,52,53,733 5
5	Cost Incurred on Additional/Extra Items as on----- not included in the estimated cost (Annexure A)	N/A

Yours Faithfully



Jinesh A. Choksi

Engineer

# JINESH A. CHOKSI

B-27, OUR HOME Society,  
Sahakar Nagar, J.P. Road,  
Andheri (West),  
Mumbai - 400 053

## \* Note

1. The scope of work is to complete entire Real Estate Project as per drawings approved from time to time so as to obtain part/full Occupation Certificate /Completion Certificate.
2. (\*) Quantity survey can be done by office of Engineer or can be done by an independent Quantity Surveyor, whose certificate of quantity calculated can be relied upon by the Engineer. In case of independent quantity surveyor being appointed by Developer, the name has to be mentioned at the place marked (\*) and in case quantity are being calculated by office of Engineer, the name of the person in the office of Engineer, who is responsible for the quantity calculated should be mentioned at the place marked (\*).
3. The estimated cost includes all labour, material, equipment and machinery required to carry out entire work.
4. As this is an estimated cost, any deviation in quantity required for development of the Real estate Project will result in amendment of the cost incurred/to be incurred. 5. All components of work with specifications are indicative and not exhaustive.

## Annexure A

List of Extra / Additional Items executed with Cost

(which were not part of the original Estimate of Total Cost)

*J. Choksi*

**ANNEXURE - A**

**DISCLOSURE OF INTEREST IN OTHER REAL ESTATE ORGANIZATIONS**

1) Name: Chetan Dalichand Shah

2) DIN/DPIN (If applicable): **Not Applicable**

3) Are you Director/~~Designated Partner~~/**Partner**/~~Proprietor~~ of any Organization whose real estate Project is registered with any Real Estate Regulatory Authority (RERA) across the Country?

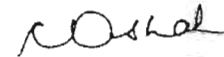
If yes, please provide the following Information.

S. No.	Name of the Organization	Address	RERA Registration Number of each of the Registered Project
1	M/S Sidharth Enterprises	B-106, Sanjay Apartments, S.V.P Road Borivali(West) Bombay - 400092	P51800031740
2	M/s KDI Holdings Pvt. Ltd.	B-106, Sanjay Apartments, S.V.P Road Borivali(West) Bombay - 400092	P51800004899

4) Status of the Real estate project mentioned at point 3 above

S. No.	RERA Registration Number	Proposed Date of Completion/Completed	Any Complaints pending against the project in RERA. If Yes, the Complaints Number	Any Warrants issued against the project by RERA(YES/NO)	Has the project been revoked by RERA?(YES/NO)
1	P51800031740	31-12-2026	NO	NO	NO
2	P51800004899	31-12-2022	NO	NO	NO

For EMBASSY ENTERPRISES



Partner

**MR.CHETAN DALICHAND SHAH**  
(Partner/ Director/Authorized Signatory)

Date: 13/04/2023

Place: Mumbai

ANNEXURE- A

DISCLOSURE OF INTEREST IN OTHER REAL ESTATE ORGANIZATIONS

1) Name Sanjay Dalichand Shah

2) DIN/DPIN (If applicable) Not Applicable

3) Are you Director/Designated Partner/Partner/Proprietor of any Organization whose real estate Project is registered with any Real Estate Regulatory Authority (RERA) across the Country?

If yes, please provide the following Information

S. No.	Name of the Organization	Address	RERA Registration Number of each of the Registered Project
1	M/S Sidharth Enterprises	B-106, Sanjay Apartments, S.V P Road Borivali(West) Bombay 400092	P51800031740
2	M/s KDI Holdings Pvt Ltd	B-106, Sanjay Apartments, S V P Road Borivali(West) Bombay - 400092	P51800004899

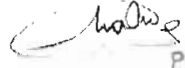
4) Status of the Real estate project mentioned at point 3 above

S. No.	RERA Registration Number	Proposed Date of Completion/Completed	Any Complaints pending against the project in RERA. If Yes, the Complaints Number	Any Warrants issued against the project by RERA(YES/NO)	Has the project been revoked by RERA?(YES/NO)
1	P51800031740	31-12-2026	NO	NO	NO
2	P51800004899	31-12-2022	NO	NO	NO

Date 13/04/2023

Place: Mumbai

For EMBASSY ENTERPRISES

  
Partner

MR.SANJAY DALICHAND SHAH  
(Partner/ Director/ Authorised Signatory)

ANNEXURE- A

DISCLOSURE OF INTEREST IN OTHER REAL ESTATE ORGANIZATIONS

1) Name: **Goyam Holdings Ltd.**

2) DIN/DPIN (If applicable): **Not Applicable**

3) Are you Director/Designated Partner/**Partner**/Proprietor of any Organization whose real estate Project is registered with any Real Estate Regulatory Authority (RERA) across the Country?

If yes, please provide the following Information.

S. No.	Name of the Organization	Address	RERA Registration Number of each of the Registered Project
1	N/A	N/A	N/A

4) Status of the Real estate project mentioned at point 3 above:

S. No.	RERA Registration Number	Proposed Date of Completion/Completed	Any Complaints pending against the project in RERA. If Yes, the Complaints Number	Any Warrants issued against the project by RERA(YES/NO)	Has the project been revoked by RERA?(YES/NO)
1	N/A	N/A	N/A	N/A	N/A

For EMBASSY ENTERPRISES

Date: 13/04/2023

Place: Mumbai

  
Partner

(Goyam Holdings Ltd. through it's director  
MR.SANJAY DALICHAND SHAH)

**EMBASSY ENTERPRISES**

B106, Sanjay Apartment,  
S V P Road, Borivali (West),  
Mumbai - 400 092

**ANNEXURE - A****DISCLOSURE OF INTEREST IN OTHER REAL ESTATE ORGANIZATIONS**

- 1) Name: Sonia Ramesh Gurnani
- 2) DIN/DPIN (If applicable): Not Applicable
- 3) Are you Director/Designated Partner/Partner/Proprietor of any Organization whose real estate Project is registered with any Real Estate Regulatory Authority (RERA) across the Country?

If yes, please provide the following Information.

S. No.	Name of the Organization	Address	RERA Registration Number of each of the Registered Project
1	INTERINTEL CONSTRUCTIONS	4-B. Jimit Apartments, Marve Road Opposite Kapol Co-operative Bank, Malad [West] Maharashtra ,400064.	P51800005611

- 4) Status of the Real estate project mentioned at point 3 above:

S. No.	RERA Registration Number	Proposed Date of Completion	Any Complaints pending against the project in RERA. If Yes, the Complaints Number	Any Warrants issued against the project by RERA(YES/NO)	Has the project been revoked by RERA?(YES/NO)
1	P51800005611	31-12-2018	NO	NO	NO

FOR EMBASSY ENTERPRISES

  
PARTNER

Mrs. Sonia Ramesh Gurnani [Partner]

Date: 14.04.2023

Place: Mumbai



**EMBASSY ENTERPRISES**

B 106, Sanjay Apartment,  
S V P Road, Borivali (West),  
Mumbai - 400 092.

**ANNEXURE- A****DISCLOSURE OF INTEREST IN OTHER REAL ESTATE ORGANIZATIONS**

- 1) Name: Ramesh Bhojraj Gurnani
- 2) DIN/DPIN (If applicable): Not Applicable
- 3) Are you Director/Designated Partner/Partner/Proprietor of any Organization whose real estate Project is registered with any Real Estate Regulatory Authority (RERA) across the Country?

If yes, please provide the following information.

S. No.	Name of the Organization	Address	RERA Registration Number of each of the Registered Project
1	INTERINTEL CONSTRUCTIONS	4-B, Jimit Apartment, Marve Road Opposite Kapol Co-operative Bank, Malad [West], Maharashtra. 400064	P51800005611

- 4) Status of the Real estate project mentioned at point 3 above:

S. No.	RERA Registration Number	Proposed Date of Completion	Any Complaints pending against the project in RERA. If Yes, the Complaints Number	Any Warrants issued against the project by RERA(YES/NO)	Has the project been revoked by RERA?(YES/NO)
1	P51800005611	31-12-2018	NO	NO	NO

For EMBASSY ENTERPRISES

PARTNER

Mr. Ramesh Bhojraj Gurnani [Partner]

Date: 14.04.2023

Place: Mumbai

**DISCLOSURE OF SOLD / BOOKED / UNSOLD INVENTORY**

Name of the Project: "MARQUIS RESIDENCES PHASE 2"

MahaRERA Registration No. : P51800051092

**INFORMATION OF SOLD/BOODED/UNSOLD INVENTORY**

Information as on: 30-09-2023 ✓

Building Name: MARQUIS RESIDENCES PHASE 2

Sr. No.	Win g	Flat/Bungl ow/Office/ Plot no.	Carpet Area (in sq.mts.)	Balcony Area (Sq. mtr.)	Booked unit Received Amount	Registration date of sub registrar
1	B	401	57.27	2.75	0	
2	B	402	41.29	0.00	0	
3	B	403	39.98	0.00	0	
4	B	404	58.51	3.20	0	
5	B	405	58.51	3.20	0	
6	B	501	57.27	2.75	0	
7	B	502	41.29	0.00	0	
8	B	503	39.98	0.00	0	
9	B	504	58.51	3.20	18,20,000	14/09/2023
10	B	505	58.51	3.20	0	
11	B	601	57.27	2.75	0	
12	B	602	41.29	0.00	0	
13	B	603	39.98	0.00	0	

**REGISTERED OFFICE**

Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P. Road, Borivali (W), Mumbai - 400092



E-mail: info@marquisresidences.in

**ADMIN OFFICE**

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

**EMBASSY ENTERPRISES**  
Accounting Group & E-ET Group Initiative

14	B	604	58.51	3.20	0	
15	B	605	58.51	3.20	0	
16	B	701	57.27	2.75	0	
17	B	702	41.29	0.00	0	
18	B	703	39.98	0.00	0	
19	B	704	58.51	3.20	0	
20	B	705	58.51	3.20	0	
21	B	801	57.27	2.75	0	
22	B	802	41.29	0.00	0	
23	B	803	39.98	0.00	0	
24	B	804	58.51	3.20	0	
25	B	805	58.51	3.20	0	
26	B	901	57.27	2.75	0	
27	B	902	41.29	0.00	0	
28	B	903	39.98	0.00	0	
29	B	904	58.51	3.20	0	
30	B	905	58.51	3.20	0	
31	B	1001	57.27	2.75	0	
32	B	1002	41.29	0.00	20,00,000	
33	B	1003	39.98	0.00	0	
34	B	1004	58.51	3.20	0	
35	B	1005	58.51	3.20	0	
36	B	1101	57.27	2.75	0	
37	B	1102	41.29	0.00	0	
38	B	1103	39.98	0.00	0	
39	B	1104	58.51	3.20	12,00,000	
40	B	1105	58.51	3.20	0	
41	B	1201	57.27	2.75	0	

**REGISTERED OFFICE**

Embassy Enterprises - B-106, Sanjay Apartment  
 S.V.P Road, Borivali (W), Mumbai - 400092

*Handwritten signature*



E-mail: info@embassyenterprises.com

**ADMIN OFFICE**

Marquis Residences - Mindspace, Off New Link Rd  
 Behind Inorbit Mall, Malad (W), Mumbai - 400064



**EMBASSY ENTERPRISES**  
REGULATED UNDER THE SECURITIES AND EXCHANGE ACT OF 1956

70	B	1705	58.51	3.20	0
71	B	1801	57.27	2.75	0
72	B	1802	41.29	0.00	0
73	B	1803	39.98	0.00	0
74	B	1804	58.51	3.20	0
75	B	1805	58.51	3.20	0
76	B	1901	57.27	2.75	0
77	B	1902	41.29	0.00	0
78	B	1903	39.98	0.00	0
79	B	1904	58.51	3.20	0
80	B	1905	58.51	3.20	0
81	B	2001	57.27	2.75	0
82	B	2002	41.29	0.00	0
83	B	2003	39.98	0.00	0
84	B	2004	58.51	3.20	0
85	B	2005	58.51	3.20	0
86	B	2101	57.27	2.75	0
87	B	2102	41.29	0.00	0
88	B	2103	39.98	0.00	0
89	B	2104	58.51	3.20	0
90	B	2105	58.51	3.20	0
91	B	2201	57.27	2.75	0
92	B	2204	58.51	3.20	0
93	B	2205	58.51	3.20	0
94	C	401	57.27	2.75	0
95	C	402	41.29	0.00	0
96	C	403	39.98	0.00	0
97	C	404	58.51	3.20	0

**REGISTERED OFFICE**

Embassy Enterprises - B-106, Sanjay Apartment  
 S.V.P. Road, Borivali (W), Mumbai - 400092



**ADMIN OFFICE**

Marquis Residences - Mindspace, Off New Link Rd  
 Behind Inorbit Mall, Malad (W), Mumbai - 400064

EMBASSY ENTERPRISES

A Curran Group and Curran Properties

98	C	405	58.51	3.20	0	
99	C	501	57.27	2.75	0	
100	C	502	41.29	0.00	0	
101	C	503	39.98	0.00	0	
102	C	504	58.51	3.20	0	
103	C	505	58.51	3.20	0	
104	C	601	57.27	2.75	0	
105	C	602	41.29	0.00	0	
106	C	603	39.98	0.00	24,00,000	28/08/2023
107	C	604	58.51	3.20	0	
108	C	605	58.51	3.20	0	
109	C	701	57.27	2.75	0	
110	C	702	41.29	0.00	0	
111	C	703	39.98	0.00	0	
112	C	704	58.51	3.20	0	
113	C	705	58.51	3.20	0	
114	C	801	57.27	2.75	0	
115	C	802	41.29	0.00	0	
116	C	803	39.98	0.00	0	
117	C	804	58.51	3.20	0	
118	C	805	58.51	3.20	0	
119	C	901	57.27	2.75	0	
120	C	902	41.29	0.00	0	
121	C	903	39.98	0.00	0	
122	C	904	58.51	3.20	0	
123	C	905	58.51	3.20	0	
124	C	1001	57.27	2.75	0	
125	C	1002	41.29	0.00	0	

REGISTERED OFFICE

Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P. Road, Borivali (W), Mumbai - 400092



ADMIN OFFICE

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

EMBASSY ENTERPRISES  
- Eminent Group & HDF Group Initiative -

126	C	1003	39.98	0.00	0
127	C	1004	58.51	3.20	0
128	C	1005	58.51	3.20	0
129	C	1101	57.27	2.75	0
130	C	1102	41.29	0.00	0
131	C	1103	39.98	0.00	0
132	C	1104	58.51	3.20	0
133	C	1105	58.51	3.20	0
134	C	1201	57.27	2.75	0
135	C	1202	41.29	0.00	0
136	C	1203	39.98	0.00	0
137	C	1204	58.51	3.20	0
138	C	1205	58.51	3.20	0
139	C	1301	57.27	2.75	0
140	C	1302	41.29	0.00	0
141	C	1303	39.98	0.00	0
142	C	1304	58.51	3.20	0
143	C	1305	58.51	3.20	0
144	C	1401	57.27	2.75	0
145	C	1402	41.29	0.00	0
146	C	1403	39.98	0.00	0
147	C	1404	58.51	3.20	0
148	C	1405	58.51	3.20	0
149	C	1501	57.27	2.75	0
150	C	1502	41.29	0.00	0
151	C	1503	39.98	0.00	0
152	C	1504	58.51	3.20	0
153	C	1505	58.51	3.20	0

**REGISTERED OFFICE**

Embassy Enterprises - B-106, Sanjay Apartment  
 S.V.P Road, Borivali (W), Mumbai - 400092



E-mail: [embassyresidences.in](mailto:embassyresidences.in)

**ADMIN OFFICE**

Marquis Residences - Mindspace, Off New Link Rd  
 Behind Inorbit Mall, Malad (W), Mumbai - 400064

EMBASSY ENTERPRISES  
Embassy - Secured - Office - Mumbai

154	C	1601	57.27	2.75	0
155	C	1602	41.29	0.00	0
156	C	1603	39.98	0.00	0
157	C	1604	58.51	3.20	0
158	C	1605	58.51	3.20	0
159	C	1701	57.27	2.75	0
160	C	1702	41.29	0.00	0
161	C	1703	39.98	0.00	0
162	C	1704	58.51	3.20	0
163	C	1705	58.51	3.20	0
164	C	1801	57.27	2.75	0
165	C	1802	41.29	0.00	0
166	C	1803	39.98	0.00	0
167	C	1804	58.51	3.20	0
168	C	1805	58.51	3.20	0
169	C	1901	57.27	2.75	0
170	C	1902	41.29	0.00	0
171	C	1903	39.98	0.00	0
172	C	1904	58.51	3.20	0
173	C	1905	58.51	3.20	0
174	C	2001	57.27	2.75	0
175	C	2002	41.29	0.00	0
176	C	2003	39.98	0.00	0
177	C	2004	58.51	3.20	0
178	C	2005	58.51	3.20	0
179	C	2101	57.27	2.75	0
180	C	2102	41.29	0.00	0
181	C	2103	39.98	0.00	0

REGISTERED OFFICE

Embassy Enterprises - B-106, Sanjay Apartment  
 S.V.P. Road, Borivali (W), Mumbai - 400092



ADMIN OFFICE

Marquis Residences - Mindspace, Off New Link Rd  
 Behind Inorbit Mall, Malad (W), Mumbai - 400064





# TAMHANE & CO.

ADVOCATES & SOLICITORS

Tel. : 2287 6332 / 2287 6333  
Email : tamhaneco@rediffmail.com  
tamhaneco@gmail.com

AJIT C. TAMHANE

Office :  
306, 3rd Floor, 29, Rustam Bldg.,  
Veer Nariman Road, Fort,  
Mumbai - 400 023.

To,

Maha RERA,  
BKC, HOUSEFIN BHAVAN,  
Near RBI, E Block, Bandra Kurla Complex,  
Bandra [East], Mumbai 400 051.

## LEGAL TITLE REPORT

Sub: This clearance certificate with respect of land bearing C.T.S. No 1406/10 admeasuring 3596.00 Sq. Meters or thereabouts [as per the government records] 3834 Square meters [as per physical survey] of Village Malad, lying being and situated at Cincholi Bunder Road, Malad [West], Mumbai 400 064, Taluka Borivali in the Registration District and Sub-district of Mumbai City (hereinafter referred to as "the said Property").

I have investigated the title of the said property on the request of M/s Embassy Enterprises and the following documents / details:-

- a) Description of the said property as stated aforesaid.
- b) Property register card
- c) Search report for 30 years from 1991 to March'2020
- d) Deed of Sale dated 02.12.1996 Mrs. Kanchan R Kubal & M/s Embassy Enterprises.
- e) Deed of sale dated 02.12.1996 Mrs. Bina C Badlani & M/s Embassy Enterprises.
- f) Deed of Sale dated 02.12.1996 Mrs. Mohini I Kapoor & M/s Embassy Enterprises.
- g) Deed of Conveyance dated 01.09.2020 Mr. Satyapal J Badlani & M/s Embassy Enterprises.
- h) Part of the Property to the extent of 189.30 Sq. Mtrs, is affected by Setback of 18 Mtr. Wide D.P. Road. The competent Authorities have separated the Property Cards of C.T.S .No 1406/10, accordingly being C.T.S. No. 1406/10/1 bearing an area of 3406.70 Sq. Meters and C.T.S No. 1406/10/2 bearing an area of 189.30 Sq, Meters.

...2...

[2]

2. On perusal of the above mentioned documents and all other relevant documents relating to title of the said property, search report and press notice, I am of the opinion that the title of M/s Embassy Enterprises is clear, marketable and without any encumbrances, unless as stated hereinbelow.

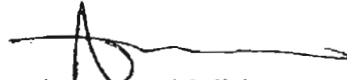
Owner of the said Land: M/s EMBASSY ENTERPRISES.

3. The report reflecting the flow of title of the owners M/s Embassy Enterprises of the said Property is enclosed herewith as Annexure.

Encl: Annexure

Dated: 28/11/2022.

Yours Truly,  
For, M/s. Tamhane & Co.,

  
Advocates and Solicitors

## ANNEXURE

Sr. No.

1. M/s EMBASSY ENTERPRISES is the owner of the said property as per the property card dated 23<sup>rd</sup> August, 2022, issued by the competent authority.
2. I have perused the mutation entries.
3. I have carried out search report for 30 (Thirty) year from 1991 to March'2020.

## FLOW OF TITLE

M/s EMBASSY ENTERPRISES, a registered Partnership Firm duly registered under the Indian Partnership Act, 1932 having their registered office address at B-106, Sanjay Apartment, S.V.P. Road, Borivali [West], Mumbai 400 092, we have investigated title of M/s EMBASSY ENTERPRISES, in respect of property more particularly described in the Schedule hereunder written (hereinafter called "the said property") and would like to state as follows:

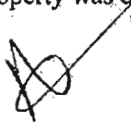
1. Mr. SATYAPAL. J. BADLANI, (2). Mrs. MOHINI I KAPOOR, (3). Smt. BINA C BADLANI and (4). Mrs. KANCHAN R KUBAL all of Mumbai,

...3... 

[3]

Indian Inhabitants, were together carrying on business as equal partners, of the partnership business in the firm name and style of M/s SUNSHINE BUILDERS, having their office at 30, Colombia, St. Dominic Road, Bandra, Mumbai 400 050. All the four partners of M/s SUNSHINE BUILDERS hereinafter for sake of brevity, are collectively referred to as "THE PARTNERS".

2. "M/s SUNSHINE BUILDERS" by and under a conveyance dated 30<sup>th</sup> July' 1974, registered under Sr. No. 1189 of 1974, with the Sub-Registrar of Assurances at Bandra, Mumbai became absolutely seized and possessed of all that piece or parcel of freehold land of ground situate in the Mumbai Suburban District and Registration Sub-District Bandra admeasuring about 4301.66 sq. yards OR 3596.00 sq. meters or thereabout forming part of Survey No. 504 pt. old Survey No. 271, and bearing GTS No 1406/10 of Village Malad and being layout plot No. H, situate at Cincholi Bunder Road, Malad [West], Mumbai 400 064, and the said plot of land is hereinafter referred to as "the said property".
3. By a Deed of Dissolution dated 23.02.1979 all "the Partners" dissolved the partnership business of M/s SUNSHINE BUILDERS, upon the terms and conditions therein contained.
4. By an arrangement and agreement dated 23.02.1979 also executed simultaneously by the partners of M/s SUNSHINE BUILDERS, it was therein agreed upon that each partner shall hold individually one fourth undivided right, title and interest in the land more particularly referred to as the said property, as owner, and each partner shall be entitled to the exclusive physical possession of the respective portions thereof more particularly referred to in the said agreement dated 23.02.1979 and shown in plan annexed thereto and development of "the said property" shall be developed as per the terms and conditions more particularly mentioned therein. However, no formal sub-division of the said property was done by any partner / Owner under the above said arrangement.



...4...

[4]

5. By an Agreement for Sale dated 03.09.1993 registered under Sr. No. BDR/3924/1993 and subsequent Deed of Sale / Conveyance dated 02.12.1996 registered under Sr. No. BDR2/5260/1996 M/s EMBASSY ENTERPRISES, purchased and acquired the  $\frac{1}{4}$ <sup>th</sup> undivided right, title, interest of the Partner Mrs. MOHINI I KAPOOR, in the said property being portion marked 'A', admeasuring about 899 sq. meters upon such terms and conditions as mentioned in the said Agreement for Sale dated 03.09.1993 and Deed of Sale dated 02.12.1996, referred to herein.
6. By an Agreement for Sale dated 02.09.1993 registered under Sr. No. BDR/4207/1993 and subsequent Deed of Sale / Conveyance dated 02.12.1996 registered under Sr. No. BDR2/5261/1996, M/s EMBASSY ENTERPRISES, purchased and acquired the  $\frac{1}{4}$ <sup>th</sup> undivided right, title, interest of the Partner Mrs. BINA C BADLANI, in the said property being portion marked 'B', admeasuring about 899 sq. meters upon such terms and conditions as mentioned in the said Agreement for sale dated 02.09.1993 and deed of sale dated 02.12.1996, referred to herein.
7. By an Agreement for sale dated 01.09.1993 registered under Sr. No. BDR/4056/1993 and subsequent Deed of sale/Conveyance dated 02.12.1996 registered under Sr. No. BDR2/5259/1996 M/s EMBASSY ENTERPRISES, purchased and acquired the  $\frac{1}{4}$ <sup>th</sup> undivided right, title, interest of the Partner Mrs. KANCHAN R KUBAL, in the said property being portion marked 'C', admeasuring about 899 sq. meters upon such terms and conditions as mentioned in the said Agreement for sale dated 01.09.1993 and deed of sale dated 02.12.1996, referred to herein.
8. By an Deed of sale / Conveyance dated 01.09.2020 registered under Sr. No. BRD/6105/2020 M/s Embassy Enterprises, Purchased and acquired the  $\frac{1}{4}$ <sup>th</sup> undivided right, title, interest of the Partner Mr. SATYAPAL J BADLANI, in the said property being portion marked 'D', admeasuring about 899 sq. meters

...5...



[5]

upon such terms and conditions as mentioned in the said Agreement of sale dated 01.09.1993 and deed of Sale / Conveyance dated 01.09.2020, referred to herein.

9. M/s Embassy Enterprises by virtue of the above four separate conveyance are now the OWNERS in respect of the undivided right, title, interest of the said property of portion marked 'A', 'B', 'C' & 'D' which in totality also comprise the said property OR all that piece or parcel of ground or Land situate lying and being at Village Malad in the Registration District and Sub-District of Mumbai City and Mumbai Suburban, forming part of Survey No. 504 (pt), old Survey No. 271 bearing CTS No 1406/10 of Village Malad, being layout plot No - 'H' situate at Chincholi Bunder Road, Malad [West], Mumbai 40 064, admeasuring 4301.66 Sq. yards i.e. 3596.00 Sq, Meters or thereabout.
10. The name of M/s Embassy Enterprises stands mutated in the City Survey Register and in the property Register Cards, in respect of the said property.
11. Part of the Property to the extent of 189.30 Sq, Meters is affected by Setback of 18 Mtr. Wide D.P. Road. The Competent Authorities have separated the property cards of C.T. S. No. 1406/10, accordingly being C.T.S No. 1406/10/1 bearing an area of 3406.70 Sq, Meters and C.T.S. No 1406/10/2 bearing an area of 189.30 Sq, Meters.
12. Prior to issue of this title certificate in favour of M/s EMBASSY ENTERPRISES, we have caused a public notice to be published in two newspapers viz. in Free Press Journal and Nav Shakti both dated 15.12.2020 inviting objection from the general public. Pursuant to the said Public Notice no objections or claims were received by us.
13. We have also caused a search to be taken in respect of the said property and on perusal of notes in respect of the said property, we found no adverse entries / remark other than what is stated hereinabove.



...6...

[6]

14. Subject to what is stated hereinabove, the title of **M/s EMBASSY ENTERPRISES** is clear, marketable and free from encumbrances.

15. There are no litigation of any nature whatsoever in relation to the said Property.

**THE SCHEDULE OF THE PROPERTY ABOVE REFERRED TO :**

ALL that piece or parcel of ground or Land situate lying and being at Village Malad in the Registration District and Sub-District of Mumbai City and Mumbai Suburban, forming part of Survey No. 504 (pt), old Survey No. 271 bearing CTS No. 1406/10 of Village Malad, being layout plot No – 'H' situate at Chincholi Bunder Road, Malad [West], Mumbai 400 064, admeasuring 4301.66 Sq. yards i.e.3596.00 Sq. Meters or thereabout and the said plot is bounded as follows:

On or towards the WEST By	:	S.No. 504(pt)
On or towards the EAST By	:	60' wide existing Road
On or towards the NORTH By	:	by plot AB& G of the said layout Scheme.
On or towards the SOUTH By	:	by plot No-I of the said layout Scheme.

Dated: 28/11/2022.

Yours Truly,  
For, M/s. Tamhane & Co.,



Advocates and Solicitors

EMBASSY ENTERPRISES  
A Sunmar Group & KDI Group Initiative

DISCLOSURE OF SOLD / BOOKED / UNSOLD INVENTORY

Name of the Project: "MARQUIS RESIDENCES PHASE 2"

MahaRERA Registration No. : P51800051092

INFORMATION OF SOLD/BOOKED/UNSOLD INVENTORY

Information as on: 31-12-2023

Building Name: MARQUIS RESIDENCES PHASE 2

Sr. No.	Wing	Flat/Bungalow/Office/Plot no.	Carpet Area (in sq.mts.)	Balcony Area (Sq. mtr.)	Booked unit Received Amount	Registration date of sub registrar
1	B	401	57.27	2.75	0	
2	B	402	41.29	0	0	
3	B	403	39.98	0	0	
4	B	404	58.51	3.2	0	
5	B	405	58.51	3.2	0	
6	B	501	57.27	2.75	0	
7	B	502	41.29	0	0	
8	B	503	39.98	0	0	
9	B	504	58.51	3.2	33,20,000	14-09-2023
10	B	505	58.51	3.2	0	
11	B	601	57.27	2.75	0	
12	B	602	41.29	0	0	
13	B	603	39.98	0	0	
14	B	604	58.51	3.2	0	
15	B	605	58.51	3.2	0	
16	B	701	57.27	2.75	0	

REGISTERED OFFICE

Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P Road, Borivali (W), Mumbai - 400092



E.- info@marquisresidences.in

ADMIN OFFICE

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064



EMBASSY ENTERPRISES  
A. Corridor Group & KDF Group in Table

17	B	702	41.29	0	0
18	B	703	39.98	0	0
19	B	704	58.51	3.2	0
20	B	705	58.51	3.2	0
21	B	801	57.27	2.75	0
22	B	802	41.29	0	0
23	B	803	39.98	0	0
24	B	804	58.51	3.2	0
25	B	805	58.51	3.2	0
26	B	901	57.27	2.75	0
27	B	902	41.29	0	0
28	B	903	39.98	0	0
29	B	904	58.51	3.2	0
30	B	905	58.51	3.2	0
31	B	1001	57.27	2.75	0
32	B	1002	41.29	0	0
33	B	1003	39.98	0	0
34	B	1004	58.51	3.2	0
35	B	1005	58.51	3.2	0
36	B	1101	57.27	2.75	0
37	B	1102	41.29	0	0
38	B	1103	39.98	0	0
39	B	1104	58.51	3.2	0
40	B	1105	58.51	3.2	0
41	B	1201	57.27	2.75	0
42	B	1202	41.29	0	0
43	B	1203	39.98	0	0
44	B	1204	58.51	3.2	0
45	B	1205	58.51	3.2	0
46	B	1301	57.27	2.75	0

REGISTERED OFFICE

ADMIN OFFICE



Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P Road, Borivali (W), Mumbai - 400092

E:- [into@marquisresidences.in](mailto:into@marquisresidences.in)

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

EMBASSY ENTERPRISES  
A Gurgaon Group's Residential Projects

47	B	1302	41.29	0	20.00,000
48	B	1303	39.98	0	0
49	B	1304	58.51	3.2	46.48,000
50	B	1305	58.51	3.2	26.02,000
51	B	1401	57.27	2.75	0
52	B	1402	41.29	0	0
53	B	1403	39.98	0	0
54	B	1404	58.51	3.2	0
55	B	1405	58.51	3.2	0
56	B	1501	57.27	2.75	0
57	B	1502	41.29	0	0
58	B	1503	39.98	0	0
59	B	1504	58.51	3.2	0
60	B	1505	58.51	3.2	0
61	B	1601	57.27	2.75	0
62	B	1602	41.29	0	0
63	B	1603	39.98	0	0
64	B	1604	58.51	3.2	0
65	B	1605	58.51	3.2	0
66	B	1701	57.27	2.75	0
67	B	1702	41.29	0	0
68	B	1703	39.98	0	0
69	B	1704	58.51	3.2	0
70	B	1705	58.51	3.2	0
71	B	1801	57.27	2.75	0
72	B	1802	41.29	0	0
73	B	1803	39.98	0	0
74	B	1804	58.51	3.2	0
75	B	1805	58.51	3.2	0
76	B	1901	57.27	2.75	0

REGISTERED OFFICE

ADMIN OFFICE

Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P. Road, Borivali (W), Mumbai - 400092



E:- info@marquisresidences.in

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

EMBASSY ENTERPRISES

A Golden Circle & RE Group Initiative

77	B	1902	41.29	0	0
78	B	1903	39.98	0	0
79	B	1904	58.51	3.2	0
80	B	1905	58.51	3.2	0
81	B	2001	57.27	2.75	0
82	B	2002	41.29	0	0
83	B	2003	39.98	0	0
84	B	2004	58.51	3.2	0
85	B	2005	58.51	3.2	0
86	B	2101	57.27	2.75	0
87	B	2102	41.29	0	0
88	B	2103	39.98	0	0
89	B	2104	58.51	3.2	0
90	B	2105	58.51	3.2	0
91	B	2201	57.27	2.75	0
92	B	2204	58.51	3.2	0
93	B	2205	58.51	3.2	0
94	C	401	57.27	2.75	0
95	C	402	41.29	0	0
96	C	403	39.98	0	0
97	C	404	58.51	3.2	0
98	C	405	58.51	3.2	0
99	C	501	57.27	2.75	0
100	C	502	41.29	0	0
101	C	503	39.98	0	0
102	C	504	58.51	3.2	0
103	C	505	58.51	3.2	0
104	C	601	57.27	2.75	0
105	C	602	41.29	0	0
106	C	603	39.98	0	0

REGISTERED OFFICE

24,00,000 28-08-2023  
ADMIN OFFICE



Embassy Enterprises - B-106, Sanjay Apartment  
S V P Road, Borivalh (W), Mumbai - 400092

E: info@marquisresidences.in

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

EMBASSY ENTERPRISES

A Curran Group & KPI Group Company

107	C	604	58.51	3.2	0
108	C	605	58.51	3.2	0
109	C	701	57.27	2.75	0
110	C	702	41.29	0	0
111	C	703	39.98	0	0
112	C	704	58.51	3.2	0
113	C	705	58.51	3.2	0
114	C	801	57.27	2.75	0
115	C	802	41.29	0	0
116	C	803	39.98	0	0
117	C	804	58.51	3.2	0
118	C	805	58.51	3.2	0
119	C	901	57.27	2.75	0
120	C	902	41.29	0	0
121	C	903	39.98	0	0
122	C	904	58.51	3.2	0
123	C	905	58.51	3.2	0
124	C	1001	57.27	2.75	0
125	C	1002	41.29	0	0
126	C	1003	39.98	0	0
127	C	1004	58.51	3.2	0
128	C	1005	58.51	3.2	0
129	C	1101	57.27	2.75	0
130	C	1102	41.29	0	0
131	C	1103	39.98	0	0
132	C	1104	58.51	3.2	0
133	C	1105	58.51	3.2	0
134	C	1201	57.27	2.75	0
135	C	1202	41.29	0	0
136	C	1203	39.98	0	0

REGISTERED OFFICE

ADMIN OFFICE

Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P. Road, Borivali (W), Mumbai - 400092

E. - info@marquisresidences.in

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064



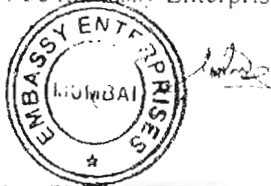


EMBASSY ENTERPRISES  
A Gurgaon Group & LSI Group Initiative

167	C	1804	58.51	3.2	0
168	C	1805	58.51	3.2	0
169	C	1901	57.27	2.75	0
170	C	1902	41.29	0	0
171	C	1903	39.98	0	0
172	C	1904	58.51	3.2	0
173	C	1905	58.51	3.2	0
174	C	2001	57.27	2.75	0
175	C	2002	41.29	0	0
176	C	2003	39.98	0	0
177	C	2004	58.51	3.2	0
178	C	2005	58.51	3.2	0
179	C	2101	57.27	2.75	0
180	C	2102	41.29	0	0
181	C	2103	39.98	0	0
182	C	2104	58.51	3.2	0
183	C	2105	58.51	3.2	0
184	C	2201	57.27	2.75	0
185	C	2204	58.51	3.2	0
186	C	2205	58.51	3.2	0

Note: This information has been tallied and confirmed from details submitted in Annexure "A" of Form 3 issued by Chartered Accountant.

For, M/s Embassy Enterprises



(Partner/Authorised Signatory)

Date: 02-01-2024

Place: Mumbai

**REGISTERED OFFICE**

Embassy Enterprises - B-106, Sanjay Apartment  
S.V.P. Road, Borivali (W), Mumbai - 400092

**ADMIN OFFICE**

Marquis Residences - Mindspace, Off New Link Rd  
Behind Inorbit Mall, Malad (W), Mumbai - 400064

E - info@marquisresidences.in



# D. P. ASSOCIATES

FORM 1 [see Regulation 3]

## ARCHITECT'S CERTIFICATE

(To be submitted at the time of Registration of Ongoing Project and for withdrawal of Money from Designated Account)

Date: 25/01/2023

To.

M/s. Embassy Enterprises (Promoter).  
B/106, Sanjay Apartment  
S.V.P Road, Borivali (West),  
Mumbai - 400 092.

**Subject :** Certificate of Percentage of Completion of Construction Work of the Project **MARQUIS RESIDENCES PHASE - II** for Plot bearing Survey No. 504 (pt), old Survey No.271 Bearing CTS No.1406/10 reformulated as CTS No.1406/10/1 bearing area 3406.70 sq.mts. and CTS No.1406/10/2 bearing area 189.30 sq.mts. MAHARERA REG. NO. Applied demarcated by its boundaries (latitude and longitude of the end points) By Plot ^B & G of the said layout Scheme on or towards the North, By Plot No.I of the said layout Scheme on or towards the South, By 60' wide existing Road on or towards the East, Survey No.504 (pt) to the West, Village Malad (s), off Chincholi Bunder Road, Malad (West), Mumbai- 400064. Totally Admeasuring 3596 sq.mts. plot area (as per CTS Record) being developed by "M/s. Embassy Enterprises." ("Promoters").

Sir,

I/We have undertaken assignment as Architect / Licensed Surveyor of certifying Percentage of Completion of Construction Work of the Project **MARQUIS RESIDENCES PHASE - II** for Plot bearing Survey No. 504 (pt), old Survey No.271 Bearing CTS No.1406/10, reformulated as CTS No.1406/10/1 bearing area 3406.70 sq.mts. and CTS No.1406/10/2 bearing area 189.30 sq.mts. totally admeasuring **3596 sq.mts.** of Village Malad (s) off Chincholi Bunder Road, Malad (West), Mumbai- 400064 being developed by "M/s. Embassy Enterprises [Promoters].



# D. P. ASSOCIATES

OF CHHATTISGARH

Following technical professionals are appointed by Owner / Promoter :-

(i)	M/s. DP Associates Mr. Priyank Bhatt	Licensed Architect
(ii)	M/s. DP Associates Mr. Devang Mody	Designing Architect
(iii)	M/s. Sura & Associates (Mr. Piyushkumar K. Sura)	Structural Consultant
(iv)	M/s. Urja Building Services Consultants Pvt. Ltd. (Mr. Mandhar Bhilkar and Mrs. Sheetal M. Bhilkar)	MEP Consultant
(v)	Mr. Mahendra A. Mane	Site Supervisor
(vi)	Mr. Jinesh Ashok Choksi	Site Engineer

Based on Site Inspection dated 21/01/2023 with respect to each of the Building/Wing of the aforesaid Real Estate Project, I certify that as on the date of this certificate, the Percentage of Work done for each of the building/Wing of the Real Estate Project as registered vide number under Maha RERA is as per table A herein below. The percentage of the work executed with respect to each of the activity of the entire phase is detailed in Table B.

*(Handwritten signature)*

# D. P. ASSOCIATES

Table A (Wing B)

Sr. No	Tasks /Activity	Percentage of work done
1	Excavation	0%
2	Single number of Basement(s) and Plinth	0%
3	Stilt Floor	0%
4	3 number of Podiums	0%
5	20 Number of Slabs of Super Structure (4 <sup>th</sup> to 22 <sup>nd</sup> floor)	0%
6	(i) Internal walls, Internal Plaster within flats/Premises, (ii) Floorings, Doors and Windows to each of the Flat/Premises	0%
7	(i) Sanitary Fittings within the Flat/Premises. (ii) Electrical Fittings within the Flat/Premises	0%
8	(i) Staircases, Lifts Wells and Lobbies at each Floor level connecting Staircases and Lifts (ii) Overhead and Underground Water Tanks	0%
9	(i) External plumbing and external plaster. (ii) Elevation, Completion of terraces with waterproofing of the Building	0%
10	Installation of lifts, water pumps, Fire Fighting Fittings and Equipment as per CFO NOC, Electrical fittings to Common Areas, Basement ventilation, Finishing to entrance lobby/s, plinth protection, paving of areas appurtenant to the Building, Compound Wall and all other requirements as may be required to Obtain Part Occupation /Completion Certificate.	0%

# D. P. ASSOCIATES

Table A (Wing C)

Sr. No	Tasks /Activity	Percentage of work done
1	Excavation	0%
2	Single number of Basement(s) and Plinth	0%
3	Stilt Floor	0%
4	3 number of Podiums	0%
5	20 Number of Slabs of Super Structure (4 <sup>th</sup> to 22 <sup>nd</sup> floor)	0%
6	(iii) Internal walls, Internal Plaster within flats/Premises, (iv) Floorings, Doors and Windows to each of the Flat/Premises	0%
7	(i) Sanitary Fittings within the Flat/Premises. (ii) Electrical Fittings within the Flat/Premises	0%
8	(i) Staircases, Lifts Wells and Lobbies at each Floor level connecting Staircases and Lifts (ii) Overhead and Underground Water Tanks	0%
9	(i) External plumbing and external plaster, (ii) Elevation, Completion of terraces with waterproofing of the Building	0%
10	Installation of lifts, water pumps, Fire Fighting Fittings and Equipment as per CFO NOC. Electrical fittings to Common Areas, Basement ventilation, Finishing to entrance lobby/s, plinth protection, paving of areas appurtenant to the Building, Compound Wall and all other requirements as may be required to Obtain Part Occupation /Completion Certificate.	0%

# D. P. ASSOCIATES


TABLE-B

Internal & External Development Works in Respect of the entire Registered Phase

S. No	Common areas and Facilities, Amenities	Proposed (Yes/No)	Percentage of Work done	Details
1	Internal Roads & Footpaths	NO	-	No
2.	Water Supply	YES	0%	
3.	Sewerage (chamber lines, Septic Tank, STP)	YES	0%	----
4	Storm Water Drains	YES	0%	----
5.	Landscaping & Tree Planting	YES	0%	----
6.	Street Lighting	-	0%	
7.	Community Buildings	-	0%	----
8.	Disposal of sewage and sullage water	YES	0%	----
9.	Solid Waste management & Disposal	YES	0%	----
10.	Rain water harvesting	YES	0%	----
11.	Energy management	YES	0%	----
12.	Fire protection and fire safety requirements	YES	0%	----
13.	Electrical meter room, sub-station, receiving station	YES	0%	----

The above Certificate is issued as per the approved concessions / plans for building under reference as per DCPR 2034 & is correct to the best of my knowledge as per the details provided by our client.

Yours Faithfully,

  
 Ar Priyank Bhatt  
 Lic. No. CA/2003/30923  
 For M/s. D.P. Associates



**MUNICIPAL CORPORATION OF GREATER MUMBAI**  
**FORM 'A'**  
**MAHARASHTRA REGIONAL AND TOWN PLANNING ACT, 1966**

No CE/7192/BP/WS/AP/CC/1/Amend

**COMMENCEMENT CERTIFICATE**

To,  
M/s. Embassy Enterprises  
B/106, Sanjay Apartment, S.V.P. Road, Borivali(W),  
Mumbai- 400 092

Sir,

With reference to your application No. **CE/7192/BP/WS/AP/CC/1/Amend** Dated. **25 Oct 2021** for Development Permission and grant of Commencement Certificate under Section 44 & 69 of the Maharashtra Regional and Town Planning Act, 1966, to carry out development and building permission under Section 346 no 337 (New) dated **25 Oct 2021** of the Mumbai Municipal Corporation Act 1888 to erect a building in Building development work of on plot No. - G.T.S. No. **1406/10** Division / Village / Town Planning Scheme No. **Malad South (P South)** situated at **Chincholi Bunder Road Road / Street in P/S Ward Ward** .

The Commencement Certificate / Building Permit is granted on the following conditions:--

1. The land vacated on consequence of the endorsement of the setback line/ road widening line shall form part of the public street.
2. That no new building or part thereof shall be occupied or allowed to be occupied or used or permitted to be used by any person until occupancy permission has been granted.
3. The Commencement Certificate/Development permission shall remain valid for one year commencing from the date of its issue.
4. This permission does not entitle you to develop land which does not vest in you.
5. This Commencement Certificate is renewable every year but such extended period shall be in no case exceed three years provided further that such lapse shall not bar any subsequent application for fresh permission under section 44 of the Maharashtra Regional and Town Planning Act, 1966.
6. This Certificate is liable to be revoked by the Municipal Commissioner for Greater Mumbai if :-
  - a. The Development work in respect of which permission is granted under this certificate is not carried out or the use thereof is not in accordance with the sanctioned plans.
  - b. Any of the conditions subject to which the same is granted or any of the restrictions imposed by the Municipal Commissioner for Greater Mumbai is contravened or not complied with.
  - c. The Municipal Commissioner of Greater Mumbai is satisfied that the same is obtained by the applicant through fraud or misrepresentation and the applicant and every person deriving title through or under him in such an event shall be deemed to have carried out the development work in contravention of Section 43 or 45 of the Maharashtra Regional and Town Planning Act, 1966.
7. The conditions of this certificate shall be binding not only on the applicant but on his heirs, executors, assignees, administrators and successors and every person deriving title through or under him.

The Municipal Commissioner has appointed Shri. **Shri.Santosh H. Sankhe (EE-BP-WS - 2) P ward**. Executive Engineer to exercise his powers and functions of the Planning Authority under Section 45 of the said Act.

This CC is valid upto 1/12/2007

Issue On : 02 Dec 2006                      Valid Upto :              01 Dec 2007

Application Number :                      CE/7192/BP/WS/APCC/1/Old

Remark :

C.C. UP TO PLINTH LEVEL I.E.TOP OF BASEMENT

E.E.

Executive Engineer

Issue On : 02 Nov 2022

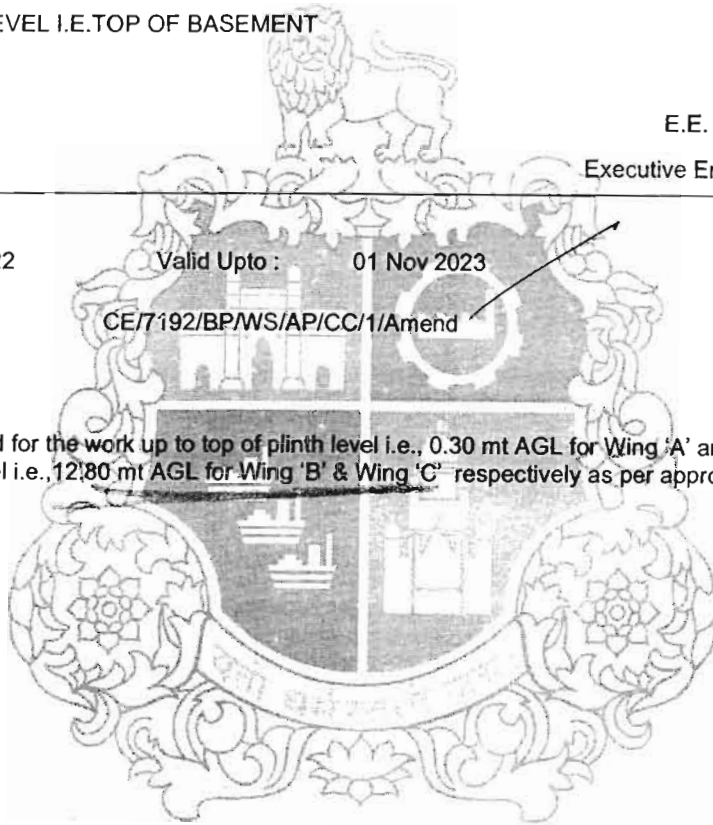
Valid Upto :              01 Nov 2023

Application Number :

CE/7192/BP/WS/AP/CC/1/Amend

Remark :

The first C.C. is granted for the work up to top of plinth level i.e., 0.30 mt AGL for Wing 'A' and up to top of 3rd podium floor level i.e., 12.80 mt AGL for Wing 'B' & Wing 'C' respectively as per approved plan dtd. 07/01/2022.



Digitally signed by SANTOSH HARISHCHANDRA SANKHE  
Date: 02 Nov 2022 12:43:58  
Organization: Brihanmumbai Municipal Corporation  
Designation: Executive Engineer



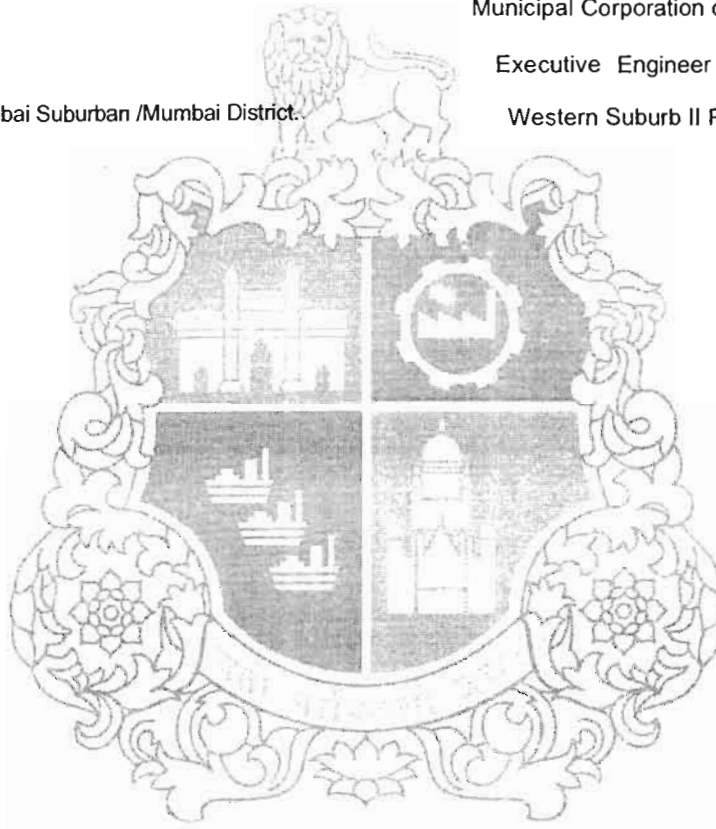
For and on behalf of Local Authority  
Municipal Corporation of Greater Mumbai

Executive Engineer . Building Proposal

Western Suburb II P/S Ward Ward

Cc to :

1. Architect.
2. Collector Mumbai Suburban /Mumbai District.





# ADV. HARSHALA G. PAWAR

(B.A.L.L.B.)

- OFFICE ADD.: Sion –Bandra Link Road, Mumbai
- Mob- 7040120867
- E-mail: hg\_pawar2306@rediffmail.com

=====  
Date-10<sup>th</sup> August, 2023

To,

**The Branch Manager,**  
Housing Development Finance Corporation Limited  
Ramon House, H T Parekh Marg  
169, Backbay Reclamation  
Churchgate, Mumbai 400 020

Sir/Madam,

I have verified the following documents with original regarding the property bearing CTS. No.1406/10 of Village- Malad (s), off Chincholi Bunder Road, Malad (W), Mumbai-64.

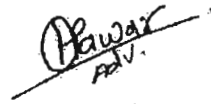
Sr. No.	Description
1	Deed of Sale dated 2/12/1996 (Executed by Kanchan Kubal in favour of Embassy Enterprises)
2	Deed of Sale dated 2/12/1996 (Executed by Bina Badlani in favour of Embassy Enterprises)
3	Deed of sale dated 2/12/1996( Executed by Mohini Kapoor in favour of Embassy Enterprises)

*HP Pawar*



4	Deed of Conveyance dated 1/09/2020 (Executed by Satyapal Badlani in favour of Embassy Enterprises)
5	Deed of Reconstruction of Partnership dated 30/11/2005
6	Resignation Letter from directorship of M/s. Goyam Holding Ltd. by Mr. Paresh Shah
7	Resolutions of M/s. Goyam Holding Ltd. dated 02/01/2019
8	Environment Clearance Certificate
9	Fire NOC
10	Title Report issued by M/s.Tamhane & Co.(Advocate & Solicitors) dated 28/11/2022
11	IOD with Plan
12	Property Card
13	NOC for Height Clearance
14	Commencement Certificate

Yours truly,



(Harshala G.Pawar )  
Advocate

## **EMBASSY ENTERPRISES**

B/106, Sanjay Apartment,  
S.V.P Road, Borivali (West)  
Mumbai – 400 092.

Date:28/07/2023

To,  
The Manager  
HDFC Bank

**Sub: Please Find details of bank Account for our Project**

Dear Sir/Madam,

Requesting you to consider the mention details for Fund Transfer.

**Enclosed copy of Bank Letter:**

**I) Our RERA A/c details are:**

Builder Name : M/s. Embassy Enterprises

Project Name : Marquis Residences Phase-I

Wing Name : Wing - A

Account Name : **EMBASSY ENTERPRISES- MARQUIS RESIDENCES 'A' WING COLLECTION A/C**

(A/c name as per Bank records)

Account No. : 5370396093 (RERA Collection account)

Bank Name : CENTRAL BANK OF INDIA

Branch Name : MALAD WEST, MUMBAI -400064

IFSC Code : CBIN0280618

Email ID : [info@marquisresidences.in](mailto:info@marquisresidences.in)

**II. Our Bank A/c for GST Amount transfer is given below:**

Account Name : **EMBASSY ENTERPRISES- GST COLLECTION A/C MARQUIS RESIDENCES**

(A/c name as per Bank records)

Account No. : 5370260017

Bank Name : CENTRAL BANK OF INDIA

Branch Name : MALAD WEST, MUMBAI -400064



## **EMBASSY ENTERPRISES**

B/106, Sanjay Apartment,  
S.V.P Road, Borivali (West)  
Mumbai – 400 092.

IFSC Code : CBIN0280618  
Email ID : [info@marquisresidences.in](mailto:info@marquisresidences.in)

### **III) Our RERA A/c details are: (All fields are mandatory)**

Builder Name : M/s. Embassy Enterprises  
Project Name : Marquis Residences Phase-II  
Wing Name : Wing – B & C  
Account Name: EMBASSY ENTERPRISES -MARQUIS RESIDENCES 'B' & 'C' WING COLLECTION A/C  
(A/c name as per Bank records)  
Account No. : 5370258383 (RERA Collection account)  
Bank Name : CENTRAL BANK OF INDIA  
Branch Name : MALAD WEST, MUMBAI -400064  
IFSC Code : CBIN0280618  
Email ID : [info@marquisresidences.in](mailto:info@marquisresidences.in)

Yours Sincerely,

For M/s. Embassy Enterprises,



(Partner/Authorized Signatory)



BRANCH MALAD

BM/MALAD/2023-2024

12.07.2023


**WHOMSOEVER IT MAY CONCERN**

This is to Inform that M/s Embassy Enterprises is maintaining their following 2 RERA collection account with our branch.

1	5370396093	Embassy Enterprises- Marquis Residences 'A' Wing collection A/c
3	5370258383	Embassy Enterprises- Marquis Residences 'B' & 'C' Wing collection A/c.

As it is RERA collection account Cheque book issuance is not allowed in the above two RERA accounts.

The above is for your information.

  
Branch Manager  
Central Bank of India  
Malad West.

Vishnu Dhawan Anand Road, Opp Malad Railway Station, Malad West Mumbai-400064  
Tel-2889 1551, 2882 1375 Email- bhmsro0618@centralbank.co.in



Inhabitant of Mumbai of the THIRD PART hereinafter referred to as the Continuing Partners AND M/S. GOYAM HOLDINGS LTD. represented by MR. PARESH DALICHAND SHAH Hindu Indian, Inhabitant of Mumbai of the FOURTH PART and MR. RAMESH GURNANI Hindu Indian, Inhabitant of Mumbai of the FIFTH PART hereinafter referred to as the Incoming Partners (reference to the parties of First to Fifth Parts shall unless it be repugnant to the context or meaning thereof deem to mean and include their heirs, executors, administrators and assigns).

The Residential Address of the above Parties is as below:

- (a) Mrs. Sonia R. Gurnani. (Party of First Part)  
7, Naval Co-op. Hsg. Soc. Ltd.,  
19/20, Union Park, Khar Pali Road,  
Khar (West), Mumbai - 52.
- (b) Mr. Sanjay D. Shah (Party of Second Part)  
502, Abhilasha-I, Punjabi Lane,  
Borivali (West), Mumbai - 92.
- (c) Mr. Chetan D. Shah. (Party of Third Part)  
502, Abhilasha-I, Punjabi Lane,  
Borivali (West), Mumbai - 92.
- (d) Mr. Parash D. Shah Director of M/s. Goyam Holdings Ltd.  
(Party of Fourth Part)  
502, Abhilasha-I, Punjabi Lane,  
Borivali (West), Mumbai - 92.
- (e) Mr. Ramesh B. Gurnani. (Party of Fifth Part)  
7, Naval Co-op. Hsg. Soc. Ltd.,  
19/20, Union Park, Khar Pali Road,  
Khar (West), Mumbai - 52.

cdh      md      [Signature]      [Signature]

firm name and style of "M/S. EMBASSY ENTERPRISE" at 602, Shanker Smruti, 37, Marve Road, Malad (W), Mumbai - 400 064, as per Deed of Partnership w.e.f. 1.6.2000 carrying on the business of building construction, property developments etc. alongwith (1) MR. ARVIND DAYABHAI PANCHAL, (2) MR. BIMAL ARVIND PANCHAL (3) MRS. MRUCULA S. PATEL and (4) MR. SURESH SHANKAR PATEL, who have retired from the said partnership dated 1.6.2000 by a separate Deed of Retirement dated even (30/11/2005) executed by them with the party of the FIRST PART, SECOND PART, AND THIRD PART herein.

AND WHEREAS the party of the FIRST TO THIRD PARTS herein have agreed to admit the party of the FOURTH PART and FIFTH PART as a partner to assist the Continuing partners in the business activity of the Firm and accordingly the Continuing partners have decided that the party of the FOURTH PART namely M/s. GOYAM HOLDINGS LTD., represented by their duly authorized Director MR. PARESH SHAH and Party of the FIFTH PART MR. RAMESH GURNANI shall be admitted as an Incoming partner subject to certain terms & conditions mutually agreed to by and between the partners.

AND WHEREAS the parties hereto desire to record the terms and conditions governing their partnership.

ced



Sy.

NOW THEREFORE THIS PRESENTS WITNESSETH AS UNDER:

1. The Partnership shall be deemed to have continued business under the terms and conditions provided in this Deed w.e.f. 30<sup>th</sup> November 2005.
2. The duration of Partnership shall be "AT WILL".
3. The partnership business shall be carried on in the name and style of M/S. EMBASSY ENTERPRISES and/or such other name or names to be decided by the partners.
4. The Principal place of business shall be at E-106, Sanjay Apartments, S.V.P. Road, Borivali (West), Mumbai - 400 092 or any other place or places as they may mutually agree upon.
5. The Firm shall carry on the Business of "Building Construction and Property development" or any other business as may be mutually agreed upon by the partners from time to time.
6. The Bankers of the Firm shall be as the partners may from time to time mutually agree upon and the same shall be operated jointly by the party of the First Part OR the Party of the Fifth part, ~~together~~ with the party of the Second Part OR the Party of the Third Part OR the Party of the Fourth Part.
7. The Capital required for the firm's business shall be arranged by parties hereto with mutual consent. Further, if agreed amongst partners interest @ 12% p.a.

rod      H.S.      Sg1



... the amount payable to the partner shall  
be charged interest @ 12% p.a. The rate of interest may be varied by the partners  
by mutual consent, in writing.

8. The partners shall be entitled to increase or reduce the above remuneration.  
The parties hereto may also mutually agree and decide to pay salary and grant the  
benefit of House rent Allowance, Rent Free Quarters, Motor Car/Car or  
Conveyance Allowance, Medical Expenses, Accident and/or Life Insurance  
Policy Premium, Provident Fund, Gratuity, Bonus, Commission on sales/ Gross  
Receipt and/or other benefits to the above as they may mutually agree upon.  
such yearly remuneration as and when agreed and payable to the partners  
shall be credited to their respective current accounts at the close of Accounting  
year when the final accounts of the partnership are made up and the account of  
remuneration due to them is determined

The partners shall be entitled to modify the above terms relating to  
remuneration, interest etc, payable to the partners by executing a  
supplementary deed, and any such deed, when executed shall have effect,  
unless otherwise provided, from the first day of the accounting year in  
which case such supplementary deed shall be executed and the same shall  
form part of this deed of partnership.

9. Goodwill of the firm shall belong to the firm.

ad id



sp.

10. The accounting year of the firm will be from April to March on the 31<sup>st</sup> of March of every accounting year, during the continuance of this agreement, the Books of account of the firm shall be closed adjusted and profit and loss account and balance sheet shall be drawn.

11. All partnership money (in excess of requirements) and securities for money as and when received unless otherwise determined by the Partners shall be paid or deposited to the credit of partnership account.

12. The Net Profit and Loss of the Firm after payment of Rent, Salaries other outgoings and the interest on the loans advanced to the Partnership shall be respectively divided and borne by the partners in the following proportions:

i) MRS. SONIA RAMESH GURNANI	35%
ii) MR. SANJAY DALICHAND SHAH	22%
iii) MR. CHETAN DALICHAND SHAH	22%
iv) M/S. GOYAM HOLDINGS LTD	6%
v) MR. RAMESH GURNANI	15%

13. That the necessary and proper books of accounts shall be kept by the firm. The accounting year of the firm shall end on 31<sup>st</sup> March of every year. At the end of each accounting year an account shall be taken of all assets and liabilities and of the profit and loss of the firm for the year and a Balance

CDs ill  
6

by each Partner and when so signed each Partner shall be bound thereby, and the same shall not be liable to be disputed or re-opened unless some manifested error is discovered and pointed out by any of the Partner to the other partners within three months of such signing in which case such error shall be forthwith rectified. As soon as the annual accounts shall have been signed by the partners the Net Profits or losses of the partnership shall be divisible amongst them in accordance with the provisions of this agreement.

14. Each of the Partners shall be just and faithful to the other in all transactions to the said Partnership and shall at all times give to the other a just and true account of the same without concealment and suppression of facts and shall also upon every reasonable request give a full and correct information and explanation thereof to the other.

15. Each partner shall:-

- (a) Punctually pay his/her separate debts and indemnify the other partners and the assets of the firm against the loss and all expenses on account thereof.
- (b) Forthwith pay all moneys, cheques and negotiable instruments received by him/her on account of the firm into the firms account.
- (c) Be just and faithful to the other Partners and at all times give to each other partner full information and truthful explanations of the

*Handwritten signatures and initials:*  
7

the business for their mutual advantage.

16. No partner shall without the previous consent of all partners:-

(a) Lend Money or make delivery upon credit of any of the goods of the firm to any person or persons to whom the other partners shall have previously in writing forbidden him to trust.

(b) Give any security or promise for the payment of money on account of the firm except in the ordinary course of business.

(c) Enter into any bond or become bail or surety for any person or knowingly cause or suffer to be done anything whereby the business of the Partnership may be endangered.

(d) Sell, alienate, mortgage or charge his share or any part thereof in the assets of or profits of the firm.

(e) Draw, accept or endorse any Bill of exchange or Promissory Note on account of the firm. Any Partner committing breach of any of the foregoing stipulations shall indemnify the other Partner or Partners against all losses and expenses on account thereof.

17. Each of the partners shall be entitled to carry on separate business on his own and/or Partnership with other including business which may be competitive with business of the Partnership hereby constituted. The business shall not

tdb      ad      8      1/1

name of the Partnership firm constitutes).

18. That the Parties hereto may admit any new Partner or Partners upon such terms and conditions as may be mutually agreed upon. A Partner may carry on or be interested in any other business whether competing with the business of the Partnership or not and the Partnership shall have no concern with or liability for the profit or loss of such business.

19. Death, Insolvency or Retirement of any partner shall not dissolve the firm and Partnership shall continue to be carried on by the surviving Partners. In the case of insolvency of any Partner the share of the insolvent Partner shall devolve on the remaining Partners who shall pay the amount which may ascertained to be due to such insolvent Partner on taking proper accounts, to the official assigns or receiver of the estate of the insolvent Partner.

20. If any partner shall die during the continuance of the Partnership, the surviving partners have been entitled to continue and conduct the partnership business in the name of the firm. The heir of deceased Partner shall be taken as partner in place of the deceased partner with same share of profit and loss as of the deceased Partner.

21. Any Partner may retire from the Partnership by giving three months notice in writing to the other partners of his/her intention to do so and on the expiration of the period of such notice, the partnership shall stand determined so far as it

*MS* *TH* *[Signature]* *[Signature]*

Partner shall be ascertained after property and other assets valued at proper price after providing for all proper liabilities.

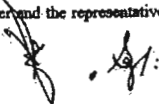
Death, Insolvency or retirement of any partner shall not dissolve the firm and Partnership shall continue to be carried on by the surviving partners. In the case of insolvency of any Partner, the share of the insolvent partner shall devolve on the remaining Partners who shall pay the amount which may be ascertained to be due to such insolvent Partner on taking proper accounts, to the official assignee or receiver of the estate of the insolvent Partner.

22. In case of retirement (otherwise than as referred to in clause herein, death or insolvency of any of the Partners, the Partnership hereby constituted shall not be dissolved but the remaining Partner shall be entitled to continue the said business and any one of the heirs of the retiring deceased partner as may be nominated by the remaining heirs will be admitted into Partnership in place of the retiring, deceased Partner or as may be mutually agreed upon by the heirs of the deceased partner and the Partners of the firm.

23. No Partner shall assign/deal with his/her share in Partnership without the written consent of other partners.

24. All disputes and difference whatsoever which shall arise either during the partnership or after termination thereof between the Partners or their respective legal representatives or between any Partner and the representatives of the other

200 74 10



clause of thing herein contained or any account valuation, division debts or liabilities to be made hereunder or as to any act, deed or commission of any partner or other matter in any way relating to the partnership business or the affairs thereof or the right, duties, liabilities of any Partner under these presents, shall be referred to arbitration in accordance with and subject to the provisions of the arbitration and Conciliation Act, 1996 or any statutory modification or reenactment thereof for the time being in force and the award or awards of such arbitrator or arbitrators as the case may be shall be binding on all the parties hereto in the said disputes.

25. Notwithstanding anything stated or provided herein the Partners shall have full power and discretion to modify, alter or vary the terms and conditions of this Partnership Deed in any manner whatsoever they think fit by mutual agreement.

IN WITNESS WHEREOF the parties hereto have hereunto set and subscribed their respective hands to these presents the day and the year first hereinabove mentioned.

SIGNED, SEALED AND DELIVERED BY)

the withinnamed )

MRS. SONIA RAMESH GURNANI )

in the presence of ..... )



the withinnamed )  
MR. SANJAY DALICHAND SHAH )  
in the presence of ..... )

*Sanjay.D. Shah*

SIGNED, SEALED AND DELIVERED BY)  
the withinnamed )  
MR. CHETAN DALICHAND SHAH )  
in the presence of ..... )

*Chetan*

SIGNED, SEALED AND DELIVERED BY)  
the withinnamed )  
M/S. Goyam Holdings Ltd. )  
MR. PARBHU D. SHARMA, Director )  
in the presence of ..... )

SIGNED, SEALED AND DELIVERED BY)  
the withinnamed )  
MR. RAMESH GURNANI )  
in the presence of ..... )

*Ramesh Gurnani*



## Embassy Enterprises

Following Documents for (Bank APF) Project Known as "MARQUIS RESIDENCES PHASE - I" & "MARQUIS RESIDENCES PHASE - II" at Village Malad (s), off Chincholi Bunder Road, Malad (West), Mumbai-400064.

Sr No.	Description
1 ✓	Deed of Sale dated 2/12/1996 (Kanchan Kubal and Embassy Enterprises)
2 ✓	Deed of Sale dated 2/12/1996 (Bina Badlani and Embassy Enterprises)
3 ✓	Deed of sale dated 2/12/1996 (Mohini Kapoor and Embassy Enterprises)
4 ✓	Deed of Conveyance dated 1/09/2020 (Satyapal Badlani and Embassy Enterprises)
5	Deed of Reconstruction of Partnership dated 30/11/2005
6	Resignation Letter
7	Resolution
8 ✓	Environment Clearance
9 ✓	Fire NOC
10 ✓	Title Report
11	IOD with Plan
12 ✓	Property Card
13 ✓	NOC for Height Clearance
14 ✓	Commencement Certificate
15	Brochure

16) Aera certificate - Phase - I & Phase - II